

*BEACON PLANNING BOARD*  
*One Municipal Plaza - Courtroom*  
*BEACON, NEW YORK 12508*  
*Phone (845) 838-5002 Fax (845) 838-5026*

The Planning Board will meet on **Wednesday, October 10, 2018** in the Municipal Center Courtroom. A work session will take place at 7:00 PM for a training workshop, discussion of agenda items and/or topics of interest to the Planning Board. The regular meeting will begin immediately thereafter, but not later than 7:30 p.m.

- **Regular Meeting**

1. Beekman Street - Ferry Landing  
Continue public hearing for SEQRA Environmental Review on applications for Subdivision Approval and Site Plan Approval, 6 Unit Residential "Ferry Landing at Beacon", Beekman Street, submitted by Ferry Landing at Beacon, Ltd. (*adjourned until November 14, 2018*)
2. 2 East Main Street - The Roundhouse  
Continue public hearing for SEQRA Environmental Review on application to amend an existing Special Use Permit Approval and Site Plan Approval, replace proposed spa with 10 additional hotel rooms in the Mill Building (total 51 rooms) and replace Private Dining Room in Roundhouse Building with Hotel Administration Office, 2 East Main Street, submitted by 10 Boulevard, LLC
3. 32 Alice Street  
Public hearing on the application for Subdivision Approval, 2-lot residential, 32 Alice Street, submitted by Brent Spodek
4. 554 Main Street  
Public hearing on application to amend an existing Site Plan Approval, Residential/Professional Office/Restaurant with outdoor seating and entertainment area, 554 Main Street, submitted by Dana Collins

- **Miscellaneous Business**

1. Zoning Board of Appeals  
Zoning Board of Appeals – October Agenda
2. Meeting Date Change  
Change meeting date – Wednesday, November 14, 2018 (*due to Veteran's Day Holiday*)

- **Architectural Review**

1. 98 Rombout Avenue  
Single Family House – 98 Rombout Avenue; new single family house
2. Beekman Street "The View"  
Beekman Street "The View" proposed modification of retaining wall finish material
3. 432 Main Street  
Certificate of Appropriateness – 432 Main Street; façade improvements

**City of Beacon Planning Board**  
**10/10/2018**

**Title:**

**Beekman Street - Ferry Landing**

**Subject:**

Continue public hearing for SEQRA Environmental Review on applications for Subdivision Approval and Site Plan Approval, 6 Unit Residential "Ferry Landing at Beacon", Beekman Street, submitted by Ferry Landing at Beacon, Ltd.  
***(adjourned until November 14, 2018)***

**Background:**

**City of Beacon Planning Board**  
**10/10/2018**

**Title:**

**2 East Main Street - The Roundhouse**

**Subject:**

Continue public hearing for SEQRA Environmental Review on application to amend an existing Special Use Permit Approval and Site Plan Approval, replace proposed spa with 10 additional hotel rooms in the Mill Building (total 51 rooms) and replace Private Dining Room in Roundhouse Building with Hotel Administration Office, 2 East Main Street, submitted by 10 Boulevard, LLC

**Background:**

**ATTACHMENTS:**

Description	Type
Roundhouse Cover Response Letter	Cover Memo/Letter
Roundhouse Engineer Response Letter	Cover Memo/Letter
Roundhouse Full Environmental Assessment Form Part 1 and Narrative	EAF
Roundhouse Sheet 1 Site Plan	Plans
Roundhouse Sheet 7 Roundhouse Building	Plans
Roundhouse Sheet 8 Mill Hotel	Plans

# ARYEH SIEGEL

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## ARCHITECT

John Gunn - Planning Board Chairman  
City of Beacon  
One Municipal Plaza  
Beacon, NY 12508

**Re: Roundhouse – 2 East Main Street**  
*Site Plan Application – Responses to Comments*

September 25, 2018

Dear Chairman Gunn and Members of the Planning Board,

Below please find our responses to the comments included in John Clarke Planning and Design's Memorandum, dated September 6, 2018; and Lanc & Tully's letter dated September 6, 2018:

**John Clarke Planning and Design Comment Responses:**

1. The Applicant, Architect, Landscape Designer, Tim Dexter, and John Clarke met at the site of the landbanked parking area on September 19, 2018. It was agreed that no additional planting is required in this area, and that the Applicant will remove existing gravel from the area and overseed with grass. The Applicant maintains this lawn and will continue to do so. Additionally, the Applicant agreed to trim up trees near the Creek. It was agreed that a landscaping plan for this area is not required.
2. The parking lot along East Main has been noted as being in the CMS District, instead of the LB District, per a recent zoning change. The Applicant will locate 12 arbor vitae in front of the low retaining wall, per his meeting with John Clarke at the site.
3. As-built concrete walks are now shown on the site plan. The Applicant will stripe the parking lot between the Mill Hotel Buildings and Leonard Street as indicated on the site plan. The parking lot was not previously striped per the site plan.
4. The Applicant agreed to widen the drive off of East Main Street, and to add a sidewalk connection from the hotel building to the parking lot at East Main Street. Ten parallel parking spaces will be added along the widened drive.
5. Comment noted. The project will require a Certificate of Appropriateness to review the 1 story lobby extension between the two Mill Buildings.



**Lanc & Tully Comment Responses:**

General Comments

1. The project engineer is preparing the comparative SEQRA analysis
2. Please refer to the updated EAF, and Hudson Land Design's comment response letter for General Comment items 2 through 5.

General Comments

1. The Applicant built the project to meet several LEED requirements, but decided not to pursue LEED certifications.

Sheet 1 of 19

1. There are 175 spaces now show on the site plan. Ten spaces were added along the widened drive off of East Main Street. There were 165 spaces previously shown. 173 spaces are required.
2. Since 10 spaces were added along the drive off of East Main Street, it is no longer necessary to provide any parking off site.
3. The Site Plan notes that the 46 landbanked parking spaces will be constructed if and when the City of Beacon Building Inspector calls for them to be built out. There has been no need to do so in the years since the project was originally approved and occupied. An agreement will be drafted between the Applicant and the City regarding the landbanked spaces. The agreement will be submitted to the City Attorney for review and approval.
4. The Applicant, Architect, Landscape Designer, Tim Dexter, and John Clarke met at the site of the landbanked parking area on September 19, 2018. It was agreed that no additional planting is required in this area, and that the Applicant will remove existing gravel from the area and overseed with grass. The Applicant maintains this lawn and will continue to do so. Additionally, the Applicant agreed to trim up trees near the Creek. It was agreed that a landscaping plan for this area is not required.

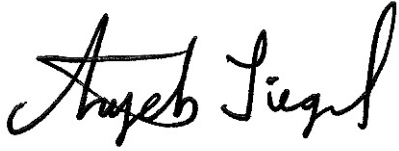
Thank you. Please let me know if you have any questions.

# ARYEH SIEGEL

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ARCHITECT

Sincerely,

A handwritten signature in black ink, reading "Aryeh Siegel". The script is fluid and cursive, with the first name "Aryeh" and last name "Siegel" clearly distinguishable.

Aryeh Siegel  
*Aryeh Siegel, Architect*



*Civil & Environmental Engineering Consultants  
174 Main Street, Beacon, New York 12508  
13 Chambers Street, Newburgh, NY 12550  
Phone: 845-440-6926 Fax: 845-440-6637  
[www.HudsonLandDesign.com](http://www.HudsonLandDesign.com)*

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September 25, 2018

Mr. John Gunn, Chairman  
City of Beacon Planning Board  
1 Municipal Center  
Beacon, NY 12508

Re: Site Plan and Special Permit for Roundhouse at Beacon Falls  
Tax parcels: 6054-30-171812 ( $\pm 2.15$  acres): City of Beacon, New York  
6054-30-195787 ( $\pm 6.76$  acres): City of Beacon, New York

Dear Chairman Gunn:

On behalf of the Applicant for the above referenced project, Hudson Land Design (HLD) has further revised the EAF and SEQRA analysis in response to Lanc & Tully's comment letter dated September 6, 2018. The following is an item-by-item response to each of the comments:

**Responses to Lanc & Tully's Comments dated September 6, 2018**

**General Comments**

1. A SEQRA analysis has been prepared for the project that compares site uses, water & sewer comparisons to the previously 2013 approved plan. Water & Sewer calculations and ITE trip generation tables are provided at the end of the Part I EAF calculation tab.
2. Questions D.2.k.i through D.2.k.i have been completed on the Long Form EAF.
3. Question D.2.r has been answered yes on the Long Form EAF.
4. Information has been provided for question E.1.e on the Long Form EAF.
5. Question E.3.f has been answered on the Long Form EAF.

**EAF Report**

1. The Roundhouse Building has been constructed to LEED Silver specifications; however, the Applicant decided not to pursue certification.

**Sheet 1 of 19**

Aryeh Siegel has responded to these comments under separate cover.

Please find five (5) copies of the revised EAF report for consultant review. We look forward to further discussing the project with you at your next available Planning Board meeting. Should you have any questions or require additional information, please feel free to call me at 845-440-6926.

Sincerely,

A handwritten signature in black ink, appearing to read "Mr. Bodendorf". The signature is fluid and cursive, with a large, stylized "B" and "D".

Michael A. Bodendorf, P.E.  
Principal

cc: 10 Boulevard LLC  
Daniel G. Koehler, P.E. (HLD File)

**ROUNDHOUSE AT BEACON FALLS**

**ENVIRONMENTAL ASSESSMENT FORM**

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**APPLICATION FOR SPECIAL USE PERMIT**

**By 10 BOULEVARD LLC**

**For premises located at:**

**2 EAST MAIN STREET  
BEACON, NY 12508**

**SUBMITTED TO:**

**CITY OF BEACON PLANNING BOARD**

**JANUARY 26, 2010**

**Revised February 26, 2013**

**Revised September 25, 2018**

*Revisions appear in red*

## **CONTRIBUTORS**

**Applicant:**

**10 Boulevard LLC**

179 Main Street  
Beacon, NY 12508

**10 Leonard Street LLC**

217 Main Street  
Beacon, NY 12508

**Architect:**

**Aryeh Siegel, Architect**

84 Mason Circle  
Beacon, NY 12508

**Landscape Designer:**

**Naomi Sachs Design**

55 South Brett Street  
Beacon, NY 12508

**Civil Engineer:**

**Hudson Land Design**

174 Main Street  
Beacon, NY 12508

**Traffic Engineer:**

**John Collins Engineers,  
P.C.**

11 Bradhurst Avenue  
Hawthorne, NY 10532

**Surveyor:**

**Badey & Watson  
Surveying and Engineering,  
P.C.**

3063 Route 9  
Cold Spring, NY 10516

**Planning Consultant:**

**Saccardi & Schiff, Inc.**

445 Hamilton Avenue  
Suite 404  
White Plains, NY 10601

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- 7. Exhibit C – Fiscal Impact Study**
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- 10. Exhibit F – Email from NYSDEC Confirming Fishkill Creek as Class C Creek**
- 11. Exhibit G – Environmental Resource Mapper for Fishkill Creek**
- 12. Exhibit H – Traffic Impact Study**

In addition, site development plans and drawings prepared by Aryeh Siegel, Architect, Hudson Land Design, Naomi Sachs Design, and Badey & Watson, and submitted to the Planning Board with the application materials, are made part of this document by reference.

## **INTRODUCTION**

### **Summary**

The Roundhouse at Beacon Falls project sits on approximately 9 acres of land near the intersection of Main Street and East Main Street and Fishkill Creek, and consists of the renovation and adaptive re-use of several existing buildings and the construction of new buildings, in addition to landscaping and other general improvements to the site to be conducted as follows (Note: All building label references refer to the Site Building Diagram attached hereto as Exhibit A):

#### **1. Roundhouse**

The existing brick Roundhouse building (Building 1) will be converted into a 14 room hotel and an 80-seat restaurant that will serve the hotel and the community. The restaurant will have a small outdoor dining patio overlooking the Fishkill Creek. The hotel rooms in this building are an adjunct to rooms contained in the Mill Building Hotel (Buildings 2 and 3). ~~The previously approved Private Dining Room on the 2<sup>nd</sup> floor will be replaced by a Hotel Administration Office.~~

#### **2. Mill Building Hotel**

The 2 existing brick mill buildings (Buildings 2 and 3) will be connected to create a hotel. There will be 37 rooms in the Mill Building Hotel, which, when combined with the 14 rooms planned for the Roundhouse, will result in a total of 51 rooms in the hotel buildings. ~~The spa will be located in this building,~~ as well as 2 Artist Live Work Lofts.

#### **3. Artist Live/Work Lofts**

The non-historic structures attached to Building 4 will be demolished to expose the original historic brick structures. The portions to be demolished are additions that detract from the historic nature of the site. Building 4 will be converted into 5 Artist Live/Work Lofts.

#### **4. Event Space**

The lower level of Building 5 will become an Event Space, capable of holding approximately 226 people for catered events. A portion of the upper level of Building 5 will serve as the reception area for the Event Space on the lower level. The lower level is reached through the upper level. Access to a patio, deck, and large landscaped garden with views of the waterfall is through doors located on the lower level. An entry addition has been added.



## **~~5. Residential Building~~ NO LONGER PART OF THE ROUNDHOUSE PROJECT**

~~A new multi-family residential building (shown as Buildings 6, 7, and 8) containing approximately 78 units will be constructed on the subdivided parcel at the northeastern portion of the site. The design of the new building will reference the 3-story brick mill buildings (Buildings 2 and 3) in keeping with the historic nature of the site.~~ However, for the purpose of this SEQRA analysis, the units are included in our calculations.

## **6. Powerhouse**

Restoration of the site's existing historic Powerhouse (Building 9) will be conducted by the Applicant's hydroelectric operator partner. The design of the building will reference Buildings 2 and 3 in keeping with the historic nature of the site. The restoration and operation of the Powerhouse will be subject to approval by the Federal Energy Regulatory Commission, which will be obtained by the Applicant's hydroelectric operator partner. The Powerhouse will be outfitted with large windows for public viewing of the hydroelectric generator and turbine inside. ~~Based on the applicant's hydroelectric operator estimate, the restoration of the Powerhouse Building is expected to occur in 2021.~~

## **Zoning**

The site is located in a number of adjacent zoning districts:

- Roundhouse (Building 1) is in the CB Zone
- Hotel (Buildings 2 and 3) are in the GB Zone
- Powerhouse (Building 9) is in the LB and GB Zone
- Artist Live/Work & Event Space (Buildings 4 and 5) are in the GB Zone
- Residential Buildings (Buildings 7, 8, and 9) are in the GB Zone
- Parking spaces occur in the GB, LB, HI, and RD-5 Zones

The proposed uses are consistent with the Zoning Code requirements for each zoning district, and are either permitted as of right, or with Special Use Permits.

## **Architecture**

The renovation and adaptive re-use of the Roundhouse (Building 1) would reestablish the building as a significant part of the traditional structures along the Main Street corridor. This structure was originally built in the 1800's and its rehabilitation and re-use as a restaurant and hotel will ensure that the neighborhood fabric of the Main Street area remains anchored to its historic roots. The Powerhouse building (Building 9) will be re-built on its existing foundation, and the exterior appearance will reflect the architecture of the existing buildings on the site. The renovation of the 2 historic mill buildings (Buildings 2 and 3) would result in almost no change to the existing condition, apart from

improvements to the under-utilized buildings. Partial demolition of the Artist Live/Work and Event Space buildings (Buildings 4 and 5) will reveal the original historic structures that have been partially concealed over time by subsequent additions that detract from the historic nature of the original buildings. The configuration of the new residential buildings (Buildings 6, 7, and 8) at the northern end of the site has been designed to be similar to the height, style and massing of the existing historic mill buildings (Buildings 2 and 3); and the siting of the new structures maintains open areas around them. The new construction would not result in a significant loss of views to the mountains from the Main Street side of Fishkill Creek; and of Fishkill Creek from the neighboring properties to the east of the site. The structures that make up the new residential buildings have sections that are raised above the 1<sup>st</sup> floor and would allow views through the site to the Fishkill Creek and beyond. The new buildings will be solid, well-built structures that will look and feel as though they have always been a part of the site.

### **Green Building Practices**

One of the original goals of the project was to obtain the highest LEED certification possible, given development budgets and existing conditions of the buildings. This can be accomplished through landscaping, stormwater management, adaptive re-use of existing buildings and construction of new buildings using environmentally responsible materials and systems. Additionally, as mentioned above, the Applicant has partnered with an experienced local hydroelectric operator to restore the historic Powerhouse building on the Fishkill Creek (Building 9) and re-use the original turbine resident in the Powerhouse to generate hydroelectric power from the waters of the Fishkill Creek. Building 9 has been built to LEED Silver specifications; however, the Applicant decided not to pursue LEED Certification due to the cost associated with the Application.

### **Ownership**

The site, excluding the construction of Buildings 6, 7, and 8 on the subdivided parcel, will be developed as a mixed-use condominium development. The condominium development will consist of the 7 artist live-work spaces (Buildings 2 & 4) (each owned as individual units), the hotel property comprising Buildings 1, 2, 3, and 5 (owned as a single unit), and the Powerhouse (Building 9) (owned as a single unit), for a total of 7 units. The Applicant will own and operate the hotel unit. The Powerhouse unit will be sold to Applicant's hydroelectric operator. The 5 artist live-work spaces will be sold to the general public on an individual basis.

Specifics regarding the condominium bylaws and other legal arrangements are currently under consideration, and will be finalized after Planning Board approval has been granted. Applicant has retained the law firm of Certilman Balin Adler & Hyman, LLP, to handle the formation of the condominium. The firm has experience in Beacon via its work on behalf of the Tallix development adjacent to Fishkill Avenue.

The Applicant has sold Buildings 6, 7 and 8 to another Owner, who is renting the apartments. ~~Units in these buildings may be rented as apartments or sold as condominiums, depending on market conditions.~~

## **Traffic Access**

Access to the restaurant, hotel, spa and event space portions of the site would be via full movement entrances/exits on East Main Street and Leonard Street. Access to the site via the access drive on East Main Street will connect at a “T”-intersection to East Main Street east of the existing bridge structure in the vicinity of the existing driveway. It is proposed that this intersection be controlled by a “stop” sign. The sight distance looking left is available up to Leonard Street, while the sight distance looking right is somewhat controlled by the bridge abutment at the Fishkill Creek crossing. The driveway as proposed on the site plan has been located to the maximum sight distance.

Access to the hotel, ~~spa~~, event space and artist live/work portions of the site on Leonard Street would be via a reconstruction of the existing driveway opposite Amity Street. Clearing of excess vegetation will be completed to ensure proper sight lines. In addition, it is proposed that new pavement markings including centerline striping and “stop” signs be installed at this intersection.

Access within the hotel, spa, event space and artist live/work portions of the site would be conducted via the internal site driveway.

~~Access to the future residential portion of the site (Buildings 6, 7, and 8) would be via two full movement entrances/exits on Leonard Street. The location of these driveways as proposed on the site plan maximize sight distances and the final design will ensure that any clearing or grading be completed to accommodate entering and exiting vehicles.~~

## **Parking**

The project will provide a total of ~~283~~ 173 parking spaces located in a number of lots on the site, as well as one remote lot for valet parking off Main Street near Herbert Street. Parking will be screened by landscaping and decorative wood fencing to mitigate views from the street and neighboring properties. The total required number of parking spaces is ~~282~~ 173. Therefore 1 extra parking space is provided in addition to the required parking. The provision of sufficient on-site parking for the residents and users of the hospitality portion of the site ensures that on-street parking would continue to be available for patrons of Main Street businesses and neighboring residents. ~~The following table summarizes the parking requirements:~~

Use & Parking Requirements	Area / Count	Proposed Parking Requirement
<b>Hotel</b> <i>1 space for each hotel room, plus 1 space for each employee, plus 1 space for each 50 square feet of floor area of restaurants, bars, and other public rooms, other than lobbies, devoted to patron use</i>	51 Rooms (14 in Roundhouse & 37 in Mill) + 8 employees	59
<b>Restaurant in Hotel</b> <i>1 space for every 50 square feet of floor area for patron use</i>  <i>Note that the net area excluding kitchen, bar, toilets, and storage is 2,182 sf. Based on area, 44 parking spaces are required.</i>	2,182 sf	44
<b>Hotel Administration Office</b> <i>Non-simultaneous accessory to hotel use</i>		0 (See Note 4)
<b>Event Space</b> (Place of Assembly) <i>1 space for each 4 seats, or in places without seats, 1 space for each 100 square feet of floor space used for public assembly</i>	226 seats (57 spaces) 4,067 sf area (41 spaces) <i>Note that area does not include reception space, which is non-simultaneous occupancy</i>	57
<b>Artist Live Work Space</b> <i>1 space for each dwelling unit, plus 1/4 space for each bedroom, plus 1/2 space for each live work space containing retail area</i>	(7) artist live/work spaces without retail area - 11 bedrooms total	10
<b>Apartments</b> <i>1 space per apartment + 1/4 space per bedroom</i>	(78) apartments (40) 1 bedroom (38) 2 bedroom	107 (SEPARATE PROPERTY OWNER - NOT PART OF ROUNDHOUSE PROJECT - NOT COUNTED IN TOTAL REQUIRED PARKING)
<b>Laundry / Utility</b> <i>1 space per 1,000 sf</i>	2,000 sf	2
<b>Power House</b>		1
<b>Total Required Parking Spaces</b>		173
<b>Total Proposed Parking Spaces</b>		173

In an effort to reduce the project's environmental impact on the Fishkill Creek, the Applicant has proposed landbanking 46 parking spots in the valet parking lot off Main Street near Herbert Street. ~~This is authorized by the City's zoning law, which permits landbanking of up to 10% (28 spots in this case) of a proposed project's parking spots.~~ Since the valet lot will most likely only be used by valets parking cars at larger events held at the event space, it is the Applicant's belief that landbanking these 46 parking spots will not adversely impact the availability of parking on the site for hotel and restaurant patrons.

The landbanked spaces can be converted to paved parking spaces if required after a determination of the actual usage requirements by the Applicant or the Planning Board. Suitable agreements between the Applicant and the City, satisfactory to the Planning Board, will be provided to assure construction of the landbanked spaces should the Planning Board determine these spaces are necessary.

### **Hotel, Restaurant and Event Space Operations**

The entire hotel premises (Buildings 2 and 3, and the hotel portion of Building 1) will be accessible to hotel guests 24 hours a day, 7 days a week, 365 days a year. Guest access to the hotel portion of the Roundhouse (Building 1) will be separated from access to the restaurant and will be via keycard. The Mill Building Hotel (Buildings 2 and 3) lobby will be staffed at all times, and all other entrances to the Mill Building Hotel will be accessible to guests via keycards. The restaurant in the Roundhouse (Building 1) will be open during standard restaurant operating hours, depending on market conditions. The Event Space building (Building 5) will be open only for events, with such events typically taking place on weekends and nights.

The Applicant intends to provide valet parking service for restaurant and hotel patrons as necessary given business conditions. Valet parking for events at the event space will be provided during those events. Valets will park patrons' cars in the valet parking lot off of Main Street near Herbert Street. Given the distance of the valet parking lot from the hotel, restaurant and event space, the Applicant intends to provide the valets with a car so they can travel from the valet lot back to the restaurant, hotel or event space to pick up patrons' cars.

### **Phasing**

The project is composed of four phases. Phase I consists of site work and landscaping, demolition of the non-historic structures surrounding Buildings 4 and 5, and the restoration and development of the Event Space (Building 5) and Artist Live-Work Units (Building 4). The existing buildings on the subdivided parcel (proposed Lot 2) will also be demolished as part of this Phase. The proposed water and sewer mains will be installed up to the proposed property line adjacent to the Artist Live-Work Units. The water and sewer mains will be stubbed into proposed Lot 2 for future Phase IV. Water and sewer service stubs will be provided for the future Phase III Mill Building Hotel,

(Buildings 2 and 3), and Powerhouse Building 9. All existing water and sewer service connections to Buildings 4 and 5 and existing buildings on Lot 2 will be disconnected from the municipal system and capped in place or removed.

Phase II consists of the restoration and development of the Roundhouse building (Building 1). The existing water main beneath the bridge over the Fishkill Creek will be repaired as part of this Phase. The existing sewer service connection to the Roundhouse will be disconnected and replaced. New water and sewer service connections will be provided to the building. It has not been determined at this time, but it is the Applicant's expectation, based on the hydroelectric operator's estimates of the length of the federal approval process, the restoration of the Powerhouse building (Building 9) will **begin as soon as approvals are granted**. New water and sewer service connections will be provided to the Powerhouse building during such restoration.

Phase III consists of the restoration and development of the Mill Building Hotel (Buildings 2 and 3). Water and sewer service connections will be connected to the buildings from the stubs provided during Phase I. **The Event Space Addition will be construction during this phase.**

Finally, Phase IV consists of the new construction of the Residential Buildings on the subdivided parcel (Buildings 6, 7, and 8). The water and sewer mains will be extended from the stubs provided as part of Phase I work to serve the new buildings. The water main will connect to the existing City water main located beneath Leonard St.

## **Landscaping**

Landscaping on this project will fulfill several goals. First, it will improve the aesthetic experience of the site through the removal of dead, diseased, and invasive vegetation, as well as non-vegetative debris, and replacement with gardens, planted parking islands, and shade trees. Additionally, a combination of fencing and plant material (trees, shrubs, perennials, vines, and ornamental grasses) will be employed to create a visual buffer between the street and parking areas. Plantings will also be designed to soften buildings while framing and enhancing views of Fishkill Creek and Mount Beacon.

Second, the landscaping will help with the management of stormwater runoff through grading, hardscape and softscape (vegetation) elements that will serve to slow, detain, and filter surface runoff. Third, implementation of the proposed landscaping plan will result in restoration of a native riparian habitat through removal of non-native and invasive species and planting of native trees, shrubs, and herbaceous plants. Fourth, the landscaping will improve safety conditions along the banks of the Fishkill Creek through planting, where possible, of evergreen or dense deciduous shrubs, obviating the need for guardrail fencing along steep drop-off areas of the creek.

A certified arborist has identified all dead, diseased, hazardous, and non-native/invasive trees that can and should be removed. He has also identified trees that should, if possible, be retained and protected during construction. Due to the industrial history of the site,

very few significant trees were identified. Trees to remain are shown on the site plan. It should be noted that while most trees along the banks of Fishkill Creek are proposed to remain, any trees to be removed will be cut close to the base, leaving the roots intact to maintain the integrity of the streambank.

### **Historic Preservation**

As reflected in the site plan and architectural drawings submitted to the Planning Board, it is the Applicant's intention to restore the historic buildings to an appearance substantially similar to those buildings' actual historical appearance. As discussed above, the Applicant intends to construct the Powerhouse building and the new Residential Buildings in keeping with the historic appearance and character of the existing buildings on the site.

### **Storm Water**

As site disturbance will exceed 1-acre, a full Storm Water Pollution Prevention Plan (SWPPP) will be prepared in order to obtain coverage under the New York State Department of Environmental Conservation (NYSDEC) State Pollution Discharge Elimination System (SPDES) General Permit GP-0-08-001. The proposed disturbance area requires quality control of the storm water along with erosion and sediment control measures. Fishkill Creek bifurcates the two properties and runs in a south direction through the site. Fishkill Creek is classified as a fourth order stream; therefore, under the current permit, quantity control is not required and discharge directly to the creek without attenuation is permitted. Since the Creek has a substantial watershed, attenuating the site runoff and delaying the discharge to the Creek could actually exacerbate flooding problems within the watershed by discharging the site's runoff at a time closer to when the peak flow of the stream occurs. Since the site is very close to the bottom of the Fishkill Creek watershed, it would be beneficial to discharge the runoff as quickly as possible. This has been confirmed with a conversation with Pat Faracane of the NYSDEC. The permit does require qualitative treatment prior to discharge off site. Qualitative treatment will be established by providing a combination of storm water practices consisting of storm water infiltration basins, bioretention areas, and rain gardens. The use of these "best management practices" BMP's will ensure that the state standard goals are met.

### **Water Supply**

At full build-out, the project is expected to require **26,116** gallons of water per day. Per conversations with the City of Beacon Water Superintendent, the anticipated increase in daily water demand is readily available. There is an existing 8" cast iron line connected to the City's 8" main in Leonard Street that feeds the existing buildings on the Leonard Street parcel. The 8" ductile iron line in Leonard St. was installed by the City in 2003. The Roundhouse building (Building 1) currently has no water service connection to the City's water main. There is a 12" cast iron water main that runs under the bridge over the Fishkill Creek, and dead ends at a hydrant on the opposite side of the street in front of the



Roundhouse building. This line is currently shut off at a water valve on the east side of the bridge due to a leak that occurred under the bridge in the winter of 2005. Repairs or replacement to the water main beneath the bridge will be necessary to put this section of water main back into service.

A new 4" service line will be provided to the Roundhouse building and will connect to the repaired 12" main beneath East Main Street. New service lines will be provided to all of the buildings on the Leonard Street parcel via a new 8" ductile iron water main connected to the existing 8" ductile iron water main beneath Leonard St. All old service lines including the 8" cast iron service line will be capped at the street ROW and abandoned in place or removed. The new on-site 8" water main will also connect to the existing 8" main beneath East Main Street to form a looped connection to the municipal system. The 8" line beneath East Main Street was installed by the city in 1997.

The proposed water main is shown on the plans as a private main with meter pits at each connection to the city's municipal system. The main will be offered to the city once it is complete. If the city takes ownership of the water main, the meter pits will not be required; however, in either case, individual meters will be provided at all of the buildings. If the new main is to remain private, cross easements will be provided along the main throughout the site with legally binding maintenance agreements for the benefit of each parcel for repair work if necessary. If the main is to be taken over by the City, an easement will be provided along the main through the site for allowance of maintenance and repairs by the Beacon Water Department.

Flow and pressure tests have been conducted on existing hydrants at both proposed water main connections. Two hydrants were tested for flow while monitoring pressure losses at two other hydrants per test hydrant. Each hydrant was flowed at a rate in excess of 1,400 gallons per minute with average pressure losses of 15 psi during maximum flow, and static pressures of 80 to 90 psi. Exhibit B "Engineer's Report Sewage Disposal and Water Supply" describes the flow tests and water demand in greater detail.

## **Sewage Disposal**

At full build-out, the project is expected to generate **26,116** gallons of wastewater per day. Per conversations with the City of Beacon Sewer Superintendent, the City's existing sewer infrastructure and sewer treatment plant have sufficient capacity to handle the anticipated increase in daily sewage load. An 8" sewer main will be installed on site to convey the sewage to the City's municipal main. Most of the site's sewer connections are old and experience infiltration and inflow (I&I) problems. Several of the existing building's roof drains are tied into the sewer service connections. During rain storms, the flow into the City's sewer mains increases dramatically, which is a common problem in cities with old buildings. The increase in flow adds unnecessary strain to the existing sewer mains and sewer plant. Therefore, new sewer service connections will be provided at all of the buildings and all existing service connections on site will be disconnected from the City's mains and capped in place or removed. In addition, all roof drains will be disconnected from the building sewer and re-directed to a storm water management



system. This will eliminate (I&I) problems that currently occur on site; thus reducing I&I flow surges to the City's municipal system during rain storms. The new sewer main will connect to a manhole located on East Main Street. Sewage will be conveyed to the City owned sewer treatment plant which has a reported excess capacity of 3 million gallons per day. The sewer main will be offered to the City of Beacon. If the new main is to remain private, cross easements will be provided along the main throughout the site with legally binding maintenance agreements for the benefit of each parcel for repair work if necessary. If the main is to be taken over by the City, an easement will be provided along the main through the site for allowance of maintenance and repairs by the Beacon Sewer Department.

### **Braendly Fishkill Dam**

The Braendly Fishkill Dam is a masonry dam located on the 2 East Main Street parcel. The Dam is registered with the New York State Department of Environmental Conservation (NYSDEC) as a Class B Dam (Intermediate Hazard), subject to regulation by the NYSDEC; however, per the NYSDEC updated database, as of 7/28/15, the dam was not given a classification.

The Applicant's intention is to own and maintain the Dam per NYSDEC regulations, which require the following:

- Submit an Annual Certification to NYSDEC;
- Develop and submit to NYSDEC an Emergency Action Plan (EAP) by August 19, 2011 and submit annual updates to NYSDEC thereafter;
- Develop and implement an Inspection and Maintenance Plan by August 19, 2010;
- Have an Engineering Assessment (EA) conducted by a Professional Engineer and submit the Report to NYSDEC every 10 years with the first EA for a Class B dam due by August 19, 2015;
- Have a Safety Inspection conducted by a Professional Engineer on a regular schedule as defined in the Inspection and Maintenance Plan.

The Dam was last inspected by the NYSDEC on June 28, 2007. The inspector found no structural deficiencies, and no further action was required.

With regard to future inspections and maintenance, the Applicant's hydroelectric operator partner is required, prior to submission of an application as part of the hydroelectric licensing process with the Federal Energy Regulatory Commission (FERC), to have a complete Engineering Assessment performed. Additionally, as part of the hydroelectric licensing process, the NYSDEC will be notified of the Applicant's project plans at which point it can require, among other things, additional inspections. As the Applicant's hydroelectric operator partner intends to submit its application to FERC in September

2010, the Applicant anticipates a complete Engineering Assessment on the dam to be completed this summer. Once the hydroelectric power portion of the project receives approval, FERC will conduct inspections of the dam every two years.

In the event the hydroelectric power portion of this project does not move forward, the Applicant will have a Safety Inspection performed before the end of the year and will conduct future inspections and maintenance of the dam as required by NYSDEC regulations.

## **Summary**

Once completed, the project will add approximately 7 housing units, 51 hotel rooms, an 80-seat restaurant and a 226-seat event catering space to the Main Street corridor, and serve as an anchor for the east end of downtown Beacon. Given the paucity of hotel lodging within the City limits, and based on a feasibility study developed for the Applicant by HVS, a well-respected hospitality consultant, the Applicant expects operation of the hotel, ~~spa~~, restaurant and event space to be a successful business enterprise that will help revitalize the east end of the downtown area by encouraging new visitors to Beacon, and allowing those who already visit to stay overnight. While the proposed project would generate some additional level of demand for community services, the City of Beacon Police Department and Fire Department have determined that the project will not create a significant increased demand for their services. Further, it is estimated that the additional tax and other revenues generated by the proposed project will more than offset the cost to the City. A Fiscal Impact Study prepared by Saccardi & Schiff, Inc., and attached as Exhibit C, determined that this project will have a significant net positive fiscal impact on the City of Beacon and on other local service and taxing jurisdictions. In addition to generating an annual surplus of revenue over cost to the City of between \$63,918 and \$150,018 and between \$190,489 and \$331,764 to the Beacon CSD when completed, the project will generate one-time, non-property tax revenues of \$653,717 for the City over the next 4 years.

Further, the project is net revenue positive to the City across all four phases, generating between \$10,809 and \$14,733 in net revenue for the City and \$29,422 for the Beacon CSD in Phase I, between \$17,798 and \$19,490 in net revenue for the City and \$43,696 for the Beacon CSD in Phase II, between \$17,829 and \$20,085 in net revenue for the City and \$46,398 for the Beacon CSD in Phase III, between \$16,738 and \$94,590 in net revenue for the City and between \$67,717 and \$208,992 for the Beacon CSD in Phase IV, and between \$744 and \$1,120 in net revenue for the City and \$3,256 for the Beacon CSD once the Powerhouse (Building 9) is completed. Further, once the Powerhouse has been reactivated, it will be assessed by the State and generate additional tax revenues at little or no additional cost to the City.

Besides the foregoing direct fiscal impacts, the study determined that the project will create approximately 139 jobs during construction, resulting in 135 person years of employment, almost \$10,000,000 in total employee compensation in New York State (125 person years and \$9,000,000, respectively, in Dutchess County alone) and nearly \$1,000,000 in non-property tax revenue. When completed, the project will contribute 35 permanent jobs to the local economy.

Additionally, development of the site is entirely consistent with multiple objectives of the City's Comprehensive Plan, as follows:

- Recommendation to encourage green building and develop sources of renewable energy in Beacon (specifically hydroelectric power from the Fishkill Creek).
- Recommendation to preserve and restore historic property.
- Recommendation to encourage development with a mix of uses in the former industrial sites along the Fishkill Creek and recommendation for green building.
- Recommendation to cultivate the growing artistic community.
- The Plan sets a goal of having 100,000 Sq. Ft. of improved floor area along Fishkill Creek by 2012. This project would ultimately contribute approximately 110,000 square feet of improved floor area.

Finally, the project will serve to restore an important and historic site that has been neglected for decades, before the buildings are beyond repair and are lost forever.

## **STATE ENVIRONMENTAL QUALITY REVIEW ACT (SEQRA)**

The project is an Unlisted Action under SEQRA regulations. At the Planning Board meeting on February 9, 2010, the Planning Board declared its intent to assume lead agency status and directed the circulation of the Part 1 Environmental Assessment Form (EAF) and supporting documentation to the appropriate agencies in order to obtain their consent to the Planning Board's designation as lead agency. Circulation of the EAF materials for designation of lead agency status occurred on March 10, 2010.

Assuming that no objection to the Planning Board being designated as lead agency is raised, and the Planning Board is designated lead agency, the following approvals are required for the project:

- City Planning Board:
  - Special Use Permit Recommendation
  - Site Plan Approval, including Architectural Review Board Certificate of Appropriateness
  - Subdivision Approval
- City Zoning Board of Appeals:
  - Variance Approval
- City Council
  - Special Use Permits
- City Building Department:
  - Building Permit
- County Health Department:
  - Sewage Disposal and Water Supply
- New York State Department of Environmental Conservation:
  - SPDES Storm Water Permit
- U.S. Army Core of Engineers
  - Storm Water Outfalls Permit
  - Dewatering and Cofferdam Permit
- Federal Energy Regulatory Commission
  - Order Granting Exemption from Licensing of a Small Hydroelectric Project of 5 Megawatts or Less

Pursuant to SEQRA, the EAF is required to assess the relative significance of potential environmental effects attributable to a project. Part 1 of the EAF provides numerical and other basic data to establish the potential environmental impacts of the project. Part 2 of the EAF is a checklist used by the Lead Agency to review the information submitted by

the Applicant in Part 1. Part 3 of the EAF contains a detailed evaluation of the importance and severity of the impacts identified in Parts 1 and 2, and includes information on how such impacts can be mitigated.

### **PLANNING BOARD REPORT UNDER BEACON CODE SECTION 223-18(C)**

In conjunction with its Site Plan review, Section 223-18(C) requires the Applicant to submit a plan for the proposed development showing the location of all buildings, parking areas, traffic access and circulation drives, open spaces, landscaping, topography, type and location of exterior lighting, drainage improvements, special features and any other pertinent information, including information about neighboring properties.

As shown on the submitted site plans and discussed in the attached EAF Parts 1, 2, 3, as well as this document, adequate provisions for all of the requirements of Section 223-18(C) have been provided. The Applicant will continue to clarify these items in conjunction with its discussions with the Planning Board during the course of the approval process.

### **SPECIAL USE PERMIT REVIEW**

With regard to its Special Use Permit review, Section 223-18(B) of the City Code requires the Planning Board to submit a report to the City Council authorizing site plan approval and the issuance of a special use permit if it finds that the following conditions and standards have been met:

- The location and size of the use, the nature and intensity of the operations involved in or conducted in connection with it, the size of the site in relation to it and the location of the site with respect to streets giving access to it are such that it will be in harmony with the appropriate and orderly development of the district in which it is located;
- The location, nature and height of buildings, walls and fences and the nature and extent of the landscaping on the site are such that the use will not hinder or discourage the appropriate development use of adjacent land and buildings;
- Operations in connection with any special use will not be more objectionable to nearby properties by reason of noise, fumes, vibration or other characteristic than would be the operations of any permitted use, not requiring a special permit; and
- Parking areas will be of adequate size for the particular use and properly located and suitably screened from adjoining residential uses, and the entrance and exit drives shall be laid out so as to achieve maximum safety.

The Applicant submits that the project as currently designed meets the criteria of Section 223-18(B) for the following reasons:

1. The arrangement of site improvements, landscaping, site lighting, site ingress and egress, adaptive re-use of existing buildings, and the architecture of proposed new construction ensure that the project will *“be in harmony with the appropriate and orderly development of the district in which it is located”*. The proposed uses are consistent with a number of goals outlined in the Beacon Master Plan, and the essential character of the neighborhood would not be impacted by the project, and will indeed be enhanced by the proposed improvements.
2. The proposed improvements to the buildings and landscaping are consistent with the surrounding neighborhood and *“are such that the use will not hinder or discourage the appropriate development use of adjacent land and buildings”*. The development of this project will strengthen the character of the existing neighborhoods and provide additional customers for Main Street businesses.
3. The operations of the Hotel, Event Space, Artist Live/Work Spaces, and the residential development, which require special use permits, *“will not be more objectionable to nearby properties than would be the operations of any permitted use, not requiring a special permit”*. The Hotel is a quiet use, similar to residential. The Event Space is similar to a restaurant use, and its operations will be conducted primarily indoors. The Event Space is contained in a solid brick building, and measures will be taken in the renovation of the building to ensure that acoustic privacy is maintained. The Artist Live/Work Spaces are residential in nature, and according to the Beacon Zoning Code, the tenants must be artists whose endeavors are quiet. The residential development is in harmony with the multi-family residential uses on Main Street and in the surrounding neighborhood.
4. Parking is of adequate size for each of the proposed uses, and will be suitably screened from adjoining residential uses by landscaping and fencing.

**Full Environmental Assessment Form**  
**Part 1 - Project and Setting**

**Instructions for Completing Part 1**

**Part 1 is to be completed by the applicant or project sponsor.** Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either “Yes” or “No”. If the answer to the initial question is “Yes”, complete the sub-questions that follow. If the answer to the initial question is “No”, proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the project sponsor to verify that the information contained in Part 1 is accurate and complete.

**A. Project and Sponsor Information.**

Name of Action or Project: Roundhouse at Beacon Falls		
Project Location (describe, and attach a general location map): 2 East Main Street		
Brief Description of Proposed Action (include purpose or need): Renovation of existing building to create the following uses: Hotel Restaurant Artist Live Work Residential Event Space Hydroelectric Powerhouse  2. Parking  3. Landscaping		
Name of Applicant/Sponsor: 10 Boulevard LLC	Telephone: 845-765-0061	
	E-Mail:	
Address: 217 Main Street		
City/PO: Beacon	State: NY	Zip Code: 12508
Project Contact (if not same as sponsor; give name and title/role): Same as Sponsor	Telephone:	
	E-Mail:	
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor): Same as Sponsor	Telephone:	
	E-Mail:	
Address:		
City/PO:	State:	Zip Code:

## B. Government Approvals

**B. Government Approvals Funding, or Sponsorship.** (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Council, Town Board, <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No or Village Board of Trustees	City Council - Special Use Permit	May 2010; February 2013; February 2018
b. City, Town or Village Planning Board or Commission <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Planning Board - Site Plan Approval, Subdivision Approval	February 2010, February 2018
c. City Council, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Zoning Board - Variances	February 2010, February 2013
d. Other local agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Building Permit	July 2010, June 2013, October 2018
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	County Department of Health	March 2010
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYSDEC SPDES permit	March 2010
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Army Corps of Engineers Federal Energy Regulatory Commission	May 2010, September 2010
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

## C. Planning and Zoning

### C.1. Planning and zoning actions.

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? ☐ Yes ☒ No

- If Yes, complete sections C, F and G.
- If No, proceed to question C.2 and complete all remaining sections and questions in Part 1

### C.2. Adopted land use plans.

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? ☒ Yes ☐ No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? ☐ Yes ☒ No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) ☐ Yes ☒ No

If Yes, identify the plan(s):

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c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? ☐ Yes ☒ No

If Yes, identify the plan(s):

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### C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. ☒ Yes ☐ No

If Yes, what is the zoning classification(s) including any applicable overlay district?

GB - General Business; CB - Central Business; LB - Local Business; HI - Heavy Industrial; RD-5 - Residential

b. Is the use permitted or allowed by a special or conditional use permit? ☒ Yes ☐ No

c. Is a zoning change requested as part of the proposed action? ☐ Yes ☒ No

If Yes,

i. What is the proposed new zoning for the site? \_\_\_\_\_

### C.4. Existing community services.

a. In what school district is the project site located? Beacon City School District

b. What police or other public protection forces serve the project site?

City of Beacon

c. Which fire protection and emergency medical services serve the project site?

City of Beacon

d. What parks serve the project site?

Memorial Park

### D. Project Details

#### D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Hospitality, Residential, Restaurant, Event Space

b. a. Total acreage of the site of the proposed action? 8.943 acres

b. Total acreage to be physically disturbed? 0 acres

c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 8.943 acres

c. Is the proposed action an expansion of an existing project or use? ☒ Yes ☐ No

i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % \_\_\_\_\_ Units: 10 Hotel Rooms

d. Is the proposed action a subdivision, or does it include a subdivision? ☐ Yes ☒ No

If Yes,

i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)

ii. Is a cluster/conservation layout proposed? ☐ Yes ☐ No

iii. Number of lots proposed? \_\_\_\_\_

iv. Minimum and maximum proposed lot sizes? Minimum \_\_\_\_\_ Maximum \_\_\_\_\_

e. Will proposed action be constructed in multiple phases? ☐ Yes ☒ No

i. If No, anticipated period of construction: 12 months

ii. If Yes:

- Total number of phases anticipated \_\_\_\_\_

- Anticipated commencement date of phase 1 (including demolition) \_\_\_\_\_ month \_\_\_\_\_ year

- Anticipated completion date of final phase \_\_\_\_\_ month \_\_\_\_\_ year

- Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: \_\_\_\_\_

f. Does the project include new residential uses? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes, show numbers of units proposed.				
	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes,	
i. Total number of structures <u>One</u>	
ii. Dimensions (in feet) of largest proposed structure: <u>15</u> feet height; <u>26.10'</u> width; and <u>17.75'</u> length	
iii. Approximate extent of building space to be heated or cooled: <u>486</u> square feet	

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes,	
i. Purpose of the impoundment: _____	
ii. If a water impoundment, the principal source of the water: <input type="checkbox"/> Ground water <input type="checkbox"/> Surface water streams <input type="checkbox"/> Other specify: _____	
iii. If other than water, identify the type of impounded/contained liquids and their source. _____	
iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres	
v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length	
vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____	

**D.2. Project Operations**

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite) <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes:	
i. What is the purpose of the excavation or dredging? _____	
ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?	
<ul style="list-style-type: none"> <li>• Volume (specify tons or cubic yards): _____</li> <li>• Over what duration of time? _____</li> </ul>	
iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. _____	
iv. Will there be onsite dewatering or processing of excavated materials? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If yes, describe. _____	
v. What is the total area to be dredged or excavated? _____ acres	
vi. What is the maximum area to be worked at any one time? _____ acres	
vii. What would be the maximum depth of excavation or dredging? _____ feet	
viii. Will the excavation require blasting? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span>	
ix. Summarize site reclamation goals and plan: _____	

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes:	
i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____	

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

iii. Will proposed action cause or result in disturbance to bottom sediments? ☐ Yes ☐ No  
If Yes, describe: \_\_\_\_\_

iv. Will proposed action cause or result in the destruction or removal of aquatic vegetation? ☐ Yes ☐ No  
If Yes:

- acres of aquatic vegetation proposed to be removed: \_\_\_\_\_
- expected acreage of aquatic vegetation remaining after project completion: \_\_\_\_\_
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): \_\_\_\_\_
- proposed method of plant removal: \_\_\_\_\_
- if chemical/herbicide treatment will be used, specify product(s): \_\_\_\_\_

v. Describe any proposed reclamation/mitigation following disturbance: \_\_\_\_\_

\_\_\_\_\_

c. Will the proposed action use, or create a new demand for water? ☒ Yes ☐ No  
If Yes:

i. Total anticipated water usage/demand per day: \_\_\_\_\_ 26,116 gallons/day

ii. Will the proposed action obtain water from an existing public water supply? ☒ Yes ☐ No  
If Yes:

- Name of district or service area: City of Beacon
- Does the existing public water supply have capacity to serve the proposal? ☒ Yes ☐ No
- Is the project site in the existing district? ☒ Yes ☐ No
- Is expansion of the district needed? ☐ Yes ☒ No
- Do existing lines serve the project site? ☒ Yes ☐ No

iii. Will line extension within an existing district be necessary to supply the project? ☐ Yes ☒ No  
If Yes:

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_
- Source(s) of supply for the district: \_\_\_\_\_

iv. Is a new water supply district or service area proposed to be formed to serve the project site? ☐ Yes ☒ No  
If Yes:

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- Proposed source(s) of supply for new district: \_\_\_\_\_

v. If a public water supply will not be used, describe plans to provide water supply for the project: \_\_\_\_\_

vi. If water supply will be from wells (public or private), maximum pumping capacity: \_\_\_\_\_ gallons/minute.

d. Will the proposed action generate liquid wastes? ☒ Yes ☐ No  
If Yes:

i. Total anticipated liquid waste generation per day: \_\_\_\_\_ 26,116 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): \_\_\_\_\_  
sanitary wastewater

iii. Will the proposed action use any existing public wastewater treatment facilities? ☒ Yes ☐ No  
If Yes:

- Name of wastewater treatment plant to be used: City of Beacon
- Name of district: City of Beacon
- Does the existing wastewater treatment plant have capacity to serve the project? ☒ Yes ☐ No
- Is the project site in the existing district? ☒ Yes ☐ No
- Is expansion of the district needed? ☐ Yes ☒ No

<ul style="list-style-type: none"> <li>• Do existing sewer lines serve the project site? _____</li> <li>• Will line extension within an existing district be necessary to serve the project? _____</li> </ul> <p>If Yes:</p> <ul style="list-style-type: none"> <li>• Describe extensions or capacity expansions proposed to serve this project: _____          _____          _____</li> </ul>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<p>iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? _____</p> <p>If Yes:</p> <ul style="list-style-type: none"> <li>• Applicant/sponsor for new district: _____</li> <li>• Date application submitted or anticipated: _____</li> <li>• What is the receiving water for the wastewater discharge? _____</li> </ul>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<p>v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge, or describe subsurface disposal plans): _____          _____          _____</p>	
<p>vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____          _____          _____</p>	
<p>e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? _____</p> <p>If Yes:</p> <p>i. How much impervious surface will the project create in relation to total size of project parcel?</p> <p style="padding-left: 40px;">_____ Square feet or _____ acres (impervious surface)</p> <p style="padding-left: 40px;">_____ Square feet or _____ acres (parcel size)</p> <p>ii. Describe types of new point sources. _____</p> <p>iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)? _____          _____</p> <ul style="list-style-type: none"> <li>• If to surface waters, identify receiving water bodies or wetlands: _____          _____</li> <li>• Will stormwater runoff flow to adjacent properties? _____</li> </ul>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No
<p>iv. Does proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? _____</p>	<input type="checkbox"/> Yes <input type="checkbox"/> No
<p>f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? _____</p> <p>If Yes, identify:</p> <p>i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles) _____</p> <p>ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers) _____</p> <p>iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation) _____</p>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<p>g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? _____</p> <p>If Yes:</p> <p>i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) _____</p> <p>ii. In addition to emissions as calculated in the application, the project will generate:</p> <ul style="list-style-type: none"> <li>• _____ Tons/year (short tons) of Carbon Dioxide (CO<sub>2</sub>)</li> <li>• _____ Tons/year (short tons) of Nitrous Oxide (N<sub>2</sub>O)</li> <li>• _____ Tons/year (short tons) of Perfluorocarbons (PFCs)</li> <li>• _____ Tons/year (short tons) of Sulfur Hexafluoride (SF<sub>6</sub>)</li> <li>• _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)</li> <li>• _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)</li> </ul>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No

<p>h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Estimate methane generation in tons/year (metric): _____</p> <p>ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____</p>			
<p>i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____</p>			
<p>j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. When is the peak traffic expected (Check all that apply): <input type="checkbox"/> Morning <input type="checkbox"/> Evening <input type="checkbox"/> Weekend  <input type="checkbox"/> Randomly between hours of _____ to _____.</p> <p>ii. For commercial activities only, projected number of semi-trailer truck trips/day: _____</p> <p>iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____</p> <p>iv. Does the proposed action include any shared use parking? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____</p> <p>vi. Are public/private transportation service(s) or facilities available within ½ mile of the proposed site? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p>			
<p>k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Estimate annual electricity demand during operation of the proposed action: _____</p> <p>+/- 500,000 KWhr</p> <p>ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other):  Central Hudson Gas &amp; Electric</p> <p>iii. Will the proposed action require a new, or an upgrade to, an existing substation? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p>			
<p>l. Hours of operation. Answer all items which apply.</p> <table style="width: 100%; border: none;"> <tr> <td style="width: 50%; vertical-align: top;"> <p>i. During Construction:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____ 8 am - 5 pm</li> <li>• Saturday: _____ -</li> <li>• Sunday: _____ -</li> <li>• Holidays: _____ -</li> </ul> </td> <td style="width: 50%; vertical-align: top;"> <p>ii. During Operations:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____ 24 hrs (hotel)</li> <li>• Saturday: _____ 24 hrs (hotel)</li> <li>• Sunday: _____ 24 hrs (hotel)</li> <li>• Holidays: _____ 24 hrs (hotel)</li> </ul> </td> </tr> </table>		<p>i. During Construction:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____ 8 am - 5 pm</li> <li>• Saturday: _____ -</li> <li>• Sunday: _____ -</li> <li>• Holidays: _____ -</li> </ul>	<p>ii. During Operations:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____ 24 hrs (hotel)</li> <li>• Saturday: _____ 24 hrs (hotel)</li> <li>• Sunday: _____ 24 hrs (hotel)</li> <li>• Holidays: _____ 24 hrs (hotel)</li> </ul>
<p>i. During Construction:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____ 8 am - 5 pm</li> <li>• Saturday: _____ -</li> <li>• Sunday: _____ -</li> <li>• Holidays: _____ -</li> </ul>	<p>ii. During Operations:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____ 24 hrs (hotel)</li> <li>• Saturday: _____ 24 hrs (hotel)</li> <li>• Sunday: _____ 24 hrs (hotel)</li> <li>• Holidays: _____ 24 hrs (hotel)</li> </ul>		

<p>m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If yes:</p> <p>i. Provide details including sources, time of day and duration:  <u>Construction of Lobby Addition. 8am-5pm weekdays for approximately 2 months</u></p>	
<p>ii. Will proposed action remove existing natural barriers that could act as a noise barrier or screen? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>Describe: _____</p>	
<p>n.. Will the proposed action have outdoor lighting? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If yes:</p> <p>i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:  <u>New shielded exterior building mounted lights at lobby door</u></p>	
<p>ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>Describe: _____</p>	
<p>o. Does the proposed action have the potential to produce odors for more than one hour per day? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____</p>	
<p>p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Product(s) to be stored _____</p> <p>ii. Volume(s) _____ per unit time _____ (e.g., month, year)</p> <p>iii. Generally describe proposed storage facilities: _____</p>	
<p>q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Describe proposed treatment(s): _____</p>	
<p>ii. Will the proposed action use Integrated Pest Management Practices? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p>	
<p>r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Describe any solid waste(s) to be generated during construction or operation of the facility:</p> <ul style="list-style-type: none"> <li>• Construction: _____ 15 tons per _____ month (unit of time)</li> <li>• Operation : _____ 12.3 tons per _____ month (unit of time)</li> </ul> <p>ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:</p> <ul style="list-style-type: none"> <li>• Construction: <u>Bins for recyclable materials will be provided</u></li> <li>• Operation: <u>Bins for recyclable materials will be provided</u></li> </ul> <p>iii. Proposed disposal methods/facilities for solid waste generated on-site:</p> <ul style="list-style-type: none"> <li>• Construction: <u>Royal Carting</u></li> <li>• Operation: <u>Royal Carting</u></li> </ul>	

s. Does the proposed action include construction or modification of a solid waste management facility? ☐ Yes ☒ No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): \_\_\_\_\_

ii. Anticipated rate of disposal/processing:

- \_\_\_\_\_ Tons/month, if transfer or other non-combustion/thermal treatment, or
- \_\_\_\_\_ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: \_\_\_\_\_ years

t. Will proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? ☐ Yes ☒ No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: \_\_\_\_\_

ii. Generally describe processes or activities involving hazardous wastes or constituents: \_\_\_\_\_

iii. Specify amount to be handled or generated \_\_\_\_\_ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: \_\_\_\_\_

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? ☐ Yes ☐ No

If Yes: provide name and location of facility: \_\_\_\_\_

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: \_\_\_\_\_

## E. Site and Setting of Proposed Action

**E.1. Land uses on and surrounding the project site**

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

☒ Urban ☒ Industrial ☒ Commercial ☒ Residential (suburban) ☐ Rural (non-farm)

☐ Forest ☐ Agriculture ☐ Aquatic ☐ Other (specify): \_\_\_\_\_

ii. If mix of uses, generally describe: \_\_\_\_\_

b. Land uses and covertypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	4.45	4.46	.01
• Forested	0	0	0
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	0	0	0
• Agricultural (includes active orchards, field, greenhouse etc.)	0	0	0
• Surface water features (lakes, ponds, streams, rivers, etc.)	0	0	0
• Wetlands (freshwater or tidal)	0	0	0
• Non-vegetated (bare rock, earth or fill)	0	0	0
• Other Describe: <u>Lawn &amp; Landscaping</u>	3.49	3.49	0

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v. Is the project site subject to an institutional control limiting property uses? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>	
<ul style="list-style-type: none"> <li>If yes, DEC site ID number: _____</li> <li>Describe the type of institutional control (e.g., deed restriction or easement): _____</li> <li>Describe any use limitations: _____</li> <li>Describe any engineering controls: _____</li> <li>Will the project affect the institutional or engineering controls in place? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></li> <li>Explain: _____  _____</li> </ul>	
<b>E.2. Natural Resources On or Near Project Site</b>	
a. What is the average depth to bedrock on the project site? _____ 5 feet	
b. Are there bedrock outcroppings on the project site? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ <10 %	
c. Predominant soil type(s) present on project site: <div style="display: flex; justify-content: space-between; margin-top: 5px;"> <span>Urban</span> <span>100 %</span> </div> <div style="display: flex; justify-content: space-between; margin-top: 5px;"> <span>_____</span> <span>_____ %</span> </div> <div style="display: flex; justify-content: space-between; margin-top: 5px;"> <span>_____</span> <span>_____ %</span> </div>	
d. What is the average depth to the water table on the project site? Average: _____ 5-6 feet	
e. Drainage status of project site soils: <div style="display: flex; justify-content: space-between; margin-top: 5px;"> <input checked="" type="checkbox"/> Well Drained: 100 % of site </div> <div style="display: flex; justify-content: space-between; margin-top: 5px;"> <input type="checkbox"/> Moderately Well Drained: _____ % of site </div> <div style="display: flex; justify-content: space-between; margin-top: 5px;"> <input type="checkbox"/> Poorly Drained _____ % of site </div>	
f. Approximate proportion of proposed action site with slopes: <div style="display: flex; justify-content: space-between; margin-top: 5px;"> <input checked="" type="checkbox"/> 0-10%: 84 % of site </div> <div style="display: flex; justify-content: space-between; margin-top: 5px;"> <input checked="" type="checkbox"/> 10-15%: 8 % of site </div> <div style="display: flex; justify-content: space-between; margin-top: 5px;"> <input checked="" type="checkbox"/> 15% or greater: 8 % of site </div>	
g. Are there any unique geologic features on the project site? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes, describe: _____ _____	
h. Surface water features.	
i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span>	
ii. Do any wetlands or other waterbodies adjoin the project site? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span>	
If Yes to either <i>i</i> or <i>ii</i> , continue. If No, skip to E.2.i.	
iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span>	
iv. For each identified regulated wetland and waterbody on the project site, provide the following information:	
<ul style="list-style-type: none"> <li>Streams: Name <u>862-237 (Fishkill Creek)</u> Classification <u>C</u> <span style="float: right;">+</span></li> <li>Lakes or Ponds: Name <u>No</u> Classification _____</li> <li>Wetlands: Name <u>Federal Waters, Federal Waters, Federal Waters,.....</u> Approximate Size <u>+/- 1.02 ac.</u></li> <li>Wetland No. (if regulated by DEC) _____</li> </ul>	
v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If yes, name of impaired water body/bodies and basis for listing as impaired: _____ _____	
i. Is the project site in a designated Floodway? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span>	
j. Is the project site in the 100 year Floodplain? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span>	
k. Is the project site in the 500 year Floodplain? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span>	
l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes:	
i. Name of aquifer: _____	

<p>m. Identify the predominant wildlife species that occupy or use the project site: _____</p> <p>None _____</p> <p>_____</p>	
<p>n. Does the project site contain a designated significant natural community? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Describe the habitat/community (composition, function, and basis for designation): _____</p> <p style="margin-left: 20px;">ii. Source(s) of description or evaluation: _____</p> <p style="margin-left: 20px;">iii. Extent of community/habitat:</p> <ul style="list-style-type: none"> <li>• Currently: _____ acres</li> <li>• Following completion of project as proposed: _____ acres</li> <li>• Gain or loss (indicate + or -): _____ acres</li> </ul>	
<p>o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p>	
<p>p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>Indiana Bat</p>	
<p>q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If yes, give a brief description of how the proposed action may affect that use: _____</p> <p>_____</p>	
<p><b>E.3. Designated Public Resources On or Near Project Site</b></p>	
<p>a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes, provide county plus district name/number: _____</p>	
<p>b. Are agricultural lands consisting of highly productive soils present? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p style="margin-left: 20px;">i. If Yes: acreage(s) on project site? _____</p> <p style="margin-left: 20px;">ii. Source(s) of soil rating(s): _____</p>	
<p>c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature</p> <p style="margin-left: 20px;">ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____</p> <p>_____</p> <p>_____</p>	
<p>d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p style="margin-left: 20px;">i. CEA name: _____</p> <p style="margin-left: 20px;">ii. Basis for designation: _____</p> <p style="margin-left: 20px;">iii. Designating agency and date: _____</p>	

<p>e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on, or has been nominated by the NYS Board of Historic Preservation for inclusion on, the State or National Register of Historic Places?</p> <p>If Yes:</p> <p>i. Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site    <input checked="" type="checkbox"/> Historic Building or District</p> <p>ii. Name: <u>Beacon Engine Company No. 1 Firehouse</u></p> <p>iii. Brief description of attributes on which listing is based:  <u>Beacon Historical District</u></p>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<p>f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?</p>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<p>g. Have additional archaeological or historic site(s) or resources been identified on the project site?</p> <p>If Yes:</p> <p>i. Describe possible resource(s): _____</p> <p>ii. Basis for identification: _____</p>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<p>h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?</p> <p>If Yes:</p> <p>i. Identify resource: <u>Scenic Hudson Mt. Beacon; Scenic Hudson Long Dock Park; Dennings Point Park; Beacon Greenway Trail</u></p> <p>ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): <u>Scenic Hudson Database, State Database and Beacon Database</u></p> <p>iii. Distance between project and resource: _____ miles.</p>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<p>i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?</p> <p>If Yes:</p> <p>i. Identify the name of the river and its designation: _____</p> <p>ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666?</p>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No   <input type="checkbox"/> Yes <input type="checkbox"/> No

**F. Additional Information**

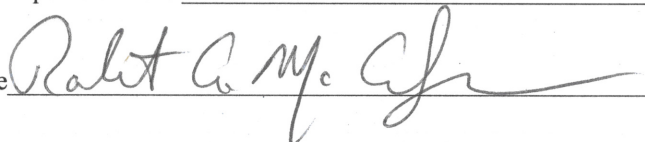
Attach any additional information which may be needed to clarify your project.

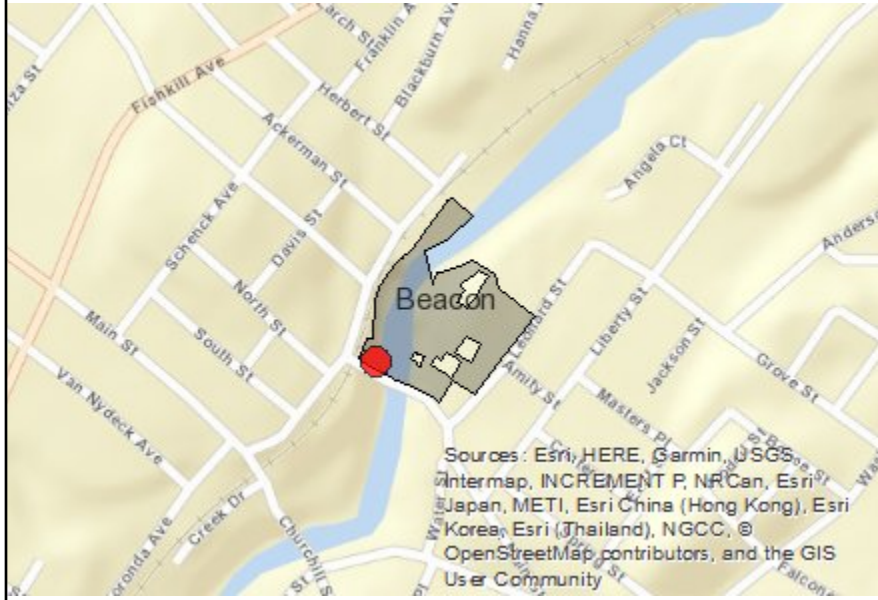
If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

**G. Verification**

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name 10 Boulevard LLC      Date September 25, 2018

Signature       Title Robert McAlpine - Sole Member 10 Boulevard LLC



**Disclaimer:** The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	Yes
C.2.b. [Special Planning District]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	Yes
E.1.h.iii [Within 2,000' of DEC Remediation Site - DEC ID]	C314118
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	Yes
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.iv [Surface Water Features - Stream Name]	862-237
E.2.h.iv [Surface Water Features - Stream Classification]	C
E.2.h.iv [Surface Water Features - Wetlands Name]	Federal Waters
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	Yes

E.2.j. [100 Year Floodplain]	Yes
E.2.k. [500 Year Floodplain]	Yes
E.2.l. [Aquifers]	No
E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	Yes
E.2.o. [Endangered or Threatened Species - Name]	Indiana Bat
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National Register of Historic Places]	Yes - Digital mapping data for archaeological site boundaries are not available. Refer to EAF Workbook.
E.3.e.ii [National Register of Historic Places - Name]	Beacon Engine Company No. 1 Firehouse
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No

2013 water and wastewater quantities for the project are based on the following:

Flow Component	# of Units	Flow Rate per Unit - gallons per day (gpd)	Total Component Flow (gpd)
Hotel Rooms	41	120	4,920
Restaurant Seats	80	35	2,800
Private Restaurant Seats	50	35	1,750
Tavern Seats	20	20	400
Catering	276	20	5,520
Live/Work Space	7	150	1,050
Residential Bedrooms	115	150	17,250
Spa Patrons	25	20	500

Total Flow: 34,190 gpd

**Total Flow with 20% Reduction for Water Saving Fixtures: 27,352 gpd**

2018 amended water and wastewater quantities for the project are based on the following:

Flow Component	# of Units	Flow Rate per Unit - gallons per day (gpd)	Total Component Flow (gpd)
Hotel Rooms	51	110*	5,610
Restaurant Seats	80	35	2,800
Tavern Seats	20	20	400
Catering	276	20	5,520
Live/Work Space	7	110*	770
Residential Bedrooms	116	110*	12,760
Spa Patrons	0	20	0

\*Indicates flows that do not get reduced by 20% - reduction is figured into the flow rate per the NYSDEC Standards for Intermediate Sized Wastewater Treatment Systems - March 2014

Sub-total Flow not reduced by 20%: 19,140 gpd

Sub-total Flow to be reduced by 20%: 8,820 gpd

**Total Flow with 20% Reduction for Water Saving Fixtures: 26,116 gpd**

**TABLE 1-R**  
**HOURLY TRIP GENERATION RATES (HTGR) AND ANTICIPATED**  
**SITE GENERATED TRAFFIC VOLUMES FOR CURRENT DEVELOPMENT PLAN**

ROUND HOUSE DEVELOPMENT CITY OF BEACON,NY	ENTRY		EXIT	
	HTGR <sup>1</sup>	VOLUME	HTGR <sup>1</sup>	VOLUME
HOTEL (41 UNITS)				
PEAK AM HOUR	0.22	9	0.14	6
PEAK PM HOUR	0.32	13	0.29	12
PEAK SATURDAY HOUR	0.32	13	0.27	11
TOWNHOUSE/CONDOS (86 DWELLING UNITS)				
PEAK AM HOUR	0.09	8	0.44	38
PEAK PM HOUR	0.41	36	0.20	18
PEAK SATURDAY HOUR	0.42	36	0.36	31
QUALITY RESTAURANT (80 SEATS)				
PEAK AM HOUR	0.11	9	0.05	4
PEAK PM HOUR	0.18	14	0.12	10
PEAK SATURDAY HOUR	0.17	13	0.17	13
PRIVATE DINING ROOM <sup>2</sup> (50 SEATS)				
PEAK AM HOUR	0.04	2	0.04	2
PEAK PM HOUR	0.08	4	0.04	2
PEAK SATURDAY HOUR	0.20	10	0.14	7
BANQUET FACILITY (250 SEATS)				
PEAK AM HOUR	0.11	28	0.05	12
PEAK PM HOUR	0.18	44	0.12	31
PEAK SATURDAY HOUR	0.24	60	0.10	25
CURRENT DEVELOPMENT PLAN TOTALS				
PEAK AM HOUR	-	56	-	62
PEAK PM HOUR	-	111	-	73
PEAK SATURDAY HOUR	-	132	-	87

NOTES:

- 1) TRIP GENERATION RATES FOR LAND USE 310 - HOTEL, 230 - TOWNHOUSE/CONDOS, AND 831 - QUALITY RESTAURANT BASED ON THE INSTITUTE OF TRANSPORTATION ENGINEERS (ITE) PUBLICATION ENTITLED "TRIP GENERATION", 9TH EDITION, 2012.
- 2) THE PRIVATE DINING ROOM USE DOES NOT ACCOUNT FOR THE POSSIBILITY OF PEOPLE USING THIS FACILITY MAY ALSO BE STAYING IN THE HOTEL. ALSO ITS IS EXPECTED THAT THE PRIVATE DINING ROOM WILL ONLY BE USED FOR PRIVATE EVENTS FROM TIME TO TIME.



**TABLE 1-R (Modified for 2018 Amended Plan)**

**HOURLY TRIP GENERATION RATES (HTGR) AND ANTICIPATED  
SITE GENERATED TRAFFIC VOLUMES FOR CURRENT DEVELOPMENT PLAN**

ROUND HOUSE DEVELOPMENT CITY OF BEACON,NY	ENTRY		EXIT	
	HTGR <sup>1</sup>	VOLUME	HTGR <sup>1</sup>	VOLUME
HOTEL (51 UNITS)				
PEAK AM HOUR	0.22	11	0.14	7
PEAK PM HOUR	0.32	16	0.29	15
PEAK SATURDAY HOUR	0.32	16	0.27	14
TOWNHOUSE/CONDOS (86 DWELLING UNITS)				
PEAK AM HOUR	0.09	8	0.44	38
PEAK PM HOUR	0.41	36	0.20	17
PEAK SATURDAY HOUR	0.42	36	0.36	31
QUALITY RESTAURANT (80 SEATS)				
PEAK AM HOUR	0.11	9	0.05	4
PEAK PM HOUR	0.18	14	0.12	10
PEAK SATURDAY HOUR	0.17	13	0.17	13
PRIVATE DINING ROOM <sup>2</sup> (0 SEATS)				
PEAK AM HOUR	0.04	0	0.04	0
PEAK PM HOUR	0.08	0	0.04	0
PEAK SATURDAY HOUR	0.20	0	0.14	0
BANQUET FACILITY (250 SEATS)				
PEAK AM HOUR	0.11	28	0.05	12
PEAK PM HOUR	0.18	44	0.12	31
PEAK SATURDAY HOUR	0.24	60	0.10	25
CURRENT DEVELOPMENT PLAN TOTALS				
PEAK AM HOUR	-	56	-	61
PEAK PM HOUR	-	110	-	73
PEAK SATURDAY HOUR	-	125	-	83

NOTES:

- 1) TRIP GENERATION RATES FOR LAND USE 310 - HOTEL, 230 - TOWNHOUSE/CONDOS, AND 831 - QUALITY RESTAURANT BASED ON THE INSTITUTE OF TRANSPORTATION ENGINEERS (ITE) PUBLICATION ENTITLED "TRIP GENERATION", 9TH EDITION, 2012.

**TABLE 1-S**  
**HOURLY TRIP GENERATION RATES (HTGR) AND ANTICIPATED**  
**SITE GENERATED TRAFFIC VOLUMES FOR CURRENT DEVELOPMENT PLAN**

<b>ROUND HOUSE DEVELOPMENT CITY OF BEACON,NY</b>	<b>ENTRY</b>		<b>EXIT</b>	
	<b>HTGR</b>	<b>VOLUME</b>	<b>HTGR</b>	<b>VOLUME</b>
<b>CURRENT DEVELOPMENT PLAN TOTALS<sup>1</sup></b>				
PEAK AM HOUR	-	56	-	61
PEAK PM HOUR	-	110	-	73
PEAK SATURDAY HOUR	-	125	-	83
<b>PREVIOUSLY APPROVED DEVELOPMENT PLAN TOTALS<sup>2</sup></b>				
PEAK AM HOUR	-	56	-	62
PEAK PM HOUR	-	111	-	73
PEAK SATURDAY HOUR	-	132	-	87
<b>TRIP DIFFERENTIALS FROM APPROVED TO CURRENT DEVELOPMENT PLAN</b>				
PEAK AM HOUR	-	-0	-	-1
PEAK PM HOUR	-	-1	-	-0
PEAK SATURDAY HOUR	-	-7	-	-4

NOTES:

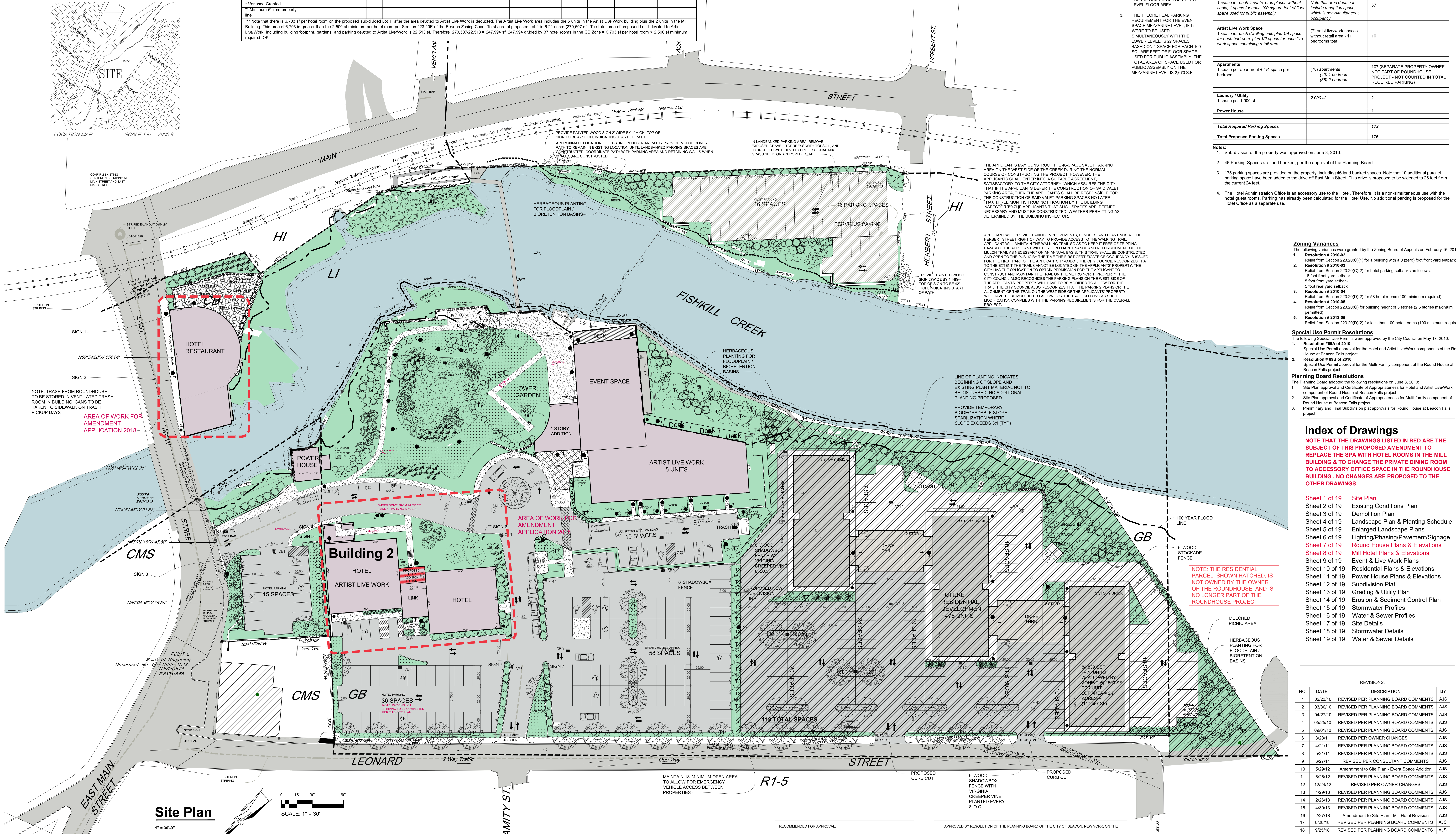
- 1) CURRENT DEVELOPMENT PLAN TOTALS FROM TABLE 1-R (MODIFIED FOR 2018 AMENDED PLAN) DATED SEPTEMBER 24, 2018.
- 2) PREVIOUS DEVELOPMENT PLAN TOTALS FROM TABLE 1-R DATED JANUARY 22, 2013



- SIGHT DISTANCE NOTES:**
- PER CITY GUIDELINES, THE REQUIRED SIGHT DISTANCES SHALL MEET OR EXCEED THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION REQUIREMENTS. THE STATE UTILIZES THE AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (AASHTO) GUIDELINES FOR INTERSECTION SIGHT DISTANCES. FOR ROADS WITH A SPEED LIMIT OF 30 MPH, AASHTO DESIGN TABLES CALL FOR A SIGHT DISTANCE OF 260 FEET TO THE LEFT AND 330 FEET TO THE RIGHT.
  - THE SHORTEST LINE OF SIGHT TO THE LEFT FOR ALL PROPOSED ENTRANCES OCCURS AT THE NORTHERN MOST ENTRANCE TO THE FUTURE RESIDENTIAL PARCEL (4139 FT.). HOWEVER, THIS DISTANCE IS MEASURED TO THE INTERSECTION OF GROVE STREET AND LEONARD STREET WHERE VEHICLES ARE TRAVELING MUCH LESS THAN THE POSTED SPEED LIMIT. THE TWO ENTRANCES FOR THE FUTURE RESIDENTIAL PARCEL DO NOT REQUIRE SIGHT DISTANCE TO THE RIGHT BECAUSE LEONARD STREET IS A ONE WAY STREET TO THE NORTH OF THE INTERSECTION AT AMITY STREET.
  - THE PROPOSED ENTRANCE FOR THE COMMERCIAL PARCEL OFF LEONARD STREET HAS ADEQUATE SIGHT DISTANCE IN BOTH DIRECTIONS.
  - THE PROPOSED ENTRANCE FOR THE COMMERCIAL PARCEL OFF EAST MAIN STREET MEASURES 309 FEET TO THE RIGHT; HOWEVER, THIS DISTANCE IS MEASURED TO THE INTERSECTION OF MAIN STREET AND EAST MAIN STREET.

#### Zoning Regulations Table

	Required Setbacks			Proposed Setbacks			Maximum Building Coverage	Proposed Building Coverage	Allowable Building Height	Proposed Building Height	Zoning District Area	Allowable FAR	Allowable Floor Area	Proposed Floor Area	Allowable Density	Proposed Density
	Front	Side	Rear	Front	Side	Rear										
<b>Zoning District</b>																
<b>GB</b>																
Round House Hotel & Restaurant	200'	50'	50'	0'	31.2'	105.7			35'	Existing	10,874	2	21,748	16,254		
<b>GB</b>											270,507	2	541,014	135,385		8,703 per room for hotel use in the GB zone. *** See note below for density on proposed Lot 1
Mill Hotel Building	200'	50'	50'	275'	100'	98'			35'	Existing			29,945			
Event Space / Live Work	0'	20'	25'	0'	20'	231'			35'	Existing			20,601		2,500 ft per room for hotel use minimum	
<b>LB</b>																
(Parking)	-	-	-	**	**	**			35'	0'		2	0			
<b>HI</b>																
(Parking)	-	-	-	**	**	**			35'	0'		2	0			
** Variance Granted																
*** Minimum 5' from property line																
*** Note that there is 6,703 ft per hotel room on the proposed sub-divided Lot 1, after the area devoted to Artist Live Work is deducted. The Artist Live Work area includes the 5 units in the Artist Live Work building plus the 2 units in the Mill Building. This area of 6,703 is greater than the 2,500 ft minimum per hotel room per Section 223-206 of the Beacon Zoning Code. Total area of proposed Lot 1 is 6.21 acres (270,507 sq. ft.). The total area of proposed Lot 1 devoted to Artist Live/Work, including building footprint, gardens, and parking devoted to Artist Live/Work is 22,513 sq. ft. Therefore, 270,507-22,513 = 247,994 sq. ft. 247,994 divided by 37 hotel rooms in the GB Zone = 6,703 sq. ft. per hotel room > 2,500 ft minimum required OK																



<b>Zoning Summary</b>	CB, LB, GB, HI, RD-5
Zoning District	6054-30-195787 & 6054-30-171812
Tax Map No.	8,943 acres total of combined lots
Lot Area	51,318 square feet total existing and proposed buildings (222 sf added for Lobby)
Building Footprint	Yes
Historical Overlay District	Yes
Parking Overlay District	Yes - for the portion in the LB District
Existing Use	Industrial
Proposed Use	Hotel, Restaurant, Artist Live Work, Events, Residential, Power House

Use & Parking Requirements	Area / Count	Proposed Parking Requirement
<b>Hotel</b> 1 space for each hotel room, plus 1 space for each employee, plus 1 space for each 50 square feet of floor area of restaurants, bars, and other public rooms, other than lobbies, devoted to patron use	51 Rooms (14 in Roundhouse & 37 in Mill) + 8 employees	59
<b>Restaurant in Hotel</b> 1 space for every 50 square feet of floor area for patron use  Note that the net area excluding kitchen, bar, toilets, and storage is 2,182 sf. Based on area, 44 parking spaces are required	2,182 sf	44
<b>Hotel Administration Office</b> Non-simultaneous accessory to hotel use  Event Space (Place of Assembly) 1 space for each 4 seats, or in places without seats, 1 space for each 100 square feet of floor space used for public assembly	226 seats (57 spaces) 4,067 sq ft area (41 spaces) Note that area does not include reception space, which is non-simultaneous occupancy	0 (See Note 4)
<b>Artist Live Work Space</b> 1 space for each dwelling unit, plus 1/4 space for each bedroom, plus 1/2 space for each live work space containing retail area	(7) artist livework spaces without retail area - 11 bedrooms total	10
<b>Apartments</b> 1 space per apartment + 1/4 space per bedroom	(78) apartments (40) 1 bedroom (38) 2 bedroom	107 (SEPARATE PROPERTY OWNER - NOT PART OF ROUNDHOUSE PROJECT - NOT COUNTED IN TOTAL REQUIRED PARKING)
<b>Laundry / Utility</b> 1 space per 1,000 sq ft	2,000 sq ft	2
<b>Power House</b>		1
<b>Total Required Parking Spaces</b>		173
<b>Total Proposed Parking Spaces</b>		175

- Notes:**
- Sub-division of the property was approved on June 8, 2010.
  - 46 Parking Spaces are land banked, per the approval of the Planning Board
  - 175 parking spaces are provided on the property, including 48 land banked spaces. Note that 10 additional parallel parking spaces have been added to the drive off East Main Street. This drive is proposed to be widened to 28 feet from the current 24 feet.
  - The Hotel Administration Office is an accessory use to the Hotel. Therefore, it is a non-simultaneous use with the hotel guest rooms. Parking has already been calculated for the Hotel Use. No additional parking is proposed for the Hotel Office as a separate use.

#### Zoning Variances

- The following variances were granted by the Zoning Board of Appeals on February 16, 2010:
- Resolution # 2010-02**  
Relief from Section 223-202(C)(1) for a building with a 0 (zero) foot front yard setback
  - Resolution # 2010-03**  
Relief from Section 223-202(C)(2) for hotel parking setbacks as follows:  
15 foot front yard setback  
5 foot front yard setback  
15 foot rear yard setback
  - Resolution # 2010-04**  
Relief from Section 223-202(C)(2) for 58 hotel rooms (100 minimum required)
  - Resolution # 2010-05**  
Relief from Section 223-202(C) for building height of 3 stories (2.5 stories maximum permitted)
  - Resolution # 2013-05**  
Relief from Section 223-202(C)(2) for less than 100 hotel rooms (100 minimum required)

#### Special Use Permit Resolutions

- The following Special Use Permits were approved by the City Council on May 17, 2010:
- Resolution #854 of 2010**  
Special Use Permit approval for the Hotel and Artist Live/Work components of the Round House at Beacon Falls project.
  - Resolution #698 of 2010**  
Special Use Permit approval for the Multi-Family component of the Round House at Beacon Falls project.

#### Planning Board Resolutions

- The Planning Board adopted the following resolutions on June 8, 2010:
- Site Plan approval and Certificate of Appropriateness for Hotel and Artist Live/Work component of Round House at Beacon Falls project.
  - Site Plan approval and Certificate of Appropriateness for Multi-Family component of Round House at Beacon Falls project.
  - Preliminary and Final Subdivision plat approvals for Round House at Beacon Falls project

#### Index of Drawings

**NOTE THAT THE DRAWINGS LISTED IN RED ARE THE SUBJECT OF THIS PROPOSED AMENDMENT TO REPLACE THE SPA WITH HOTEL ROOMS IN THE MILL BUILDING & TO CHANGE THE PRIVATE DINING ROOM TO ACCESSORY OFFICE SPACE IN THE ROUNDHOUSE BUILDING. NO CHANGES ARE PROPOSED TO THE OTHER DRAWINGS.**

Sheet 1 of 19	Site Plan
Sheet 2 of 19	Existing Conditions Plan
Sheet 3 of 19	Demolition Plan
Sheet 4 of 19	Landscape Plan & Planting Schedule
Sheet 5 of 19	Enlarged Landscape Plans
Sheet 6 of 19	Lighting/Phasing/Pavement/Signage
Sheet 7 of 19	Round House Plans & Elevations
Sheet 8 of 19	Mill Hotel Plans & Elevations
Sheet 9 of 19	Event & Live Work Plans
Sheet 10 of 19	Residential Plans & Elevations
Sheet 11 of 19	Power House Plans & Elevations
Sheet 12 of 19	Subdivision Plat
Sheet 13 of 19	Grading & Utility Plan
Sheet 14 of 19	Erosion & Sediment Control Plan
Sheet 15 of 19	Stormwater Profiles
Sheet 16 of 19	Water & Sewer Profiles
Sheet 17 of 19	Site Details
Sheet 18 of 19	Stormwater Details
Sheet 19 of 19	Water & Sewer Details

REVISIONS:			
NO.	DATE	DESCRIPTION	BY
1	02/23/10	REVISED PER PLANNING BOARD COMMENTS	AJS
2	03/30/10	REVISED PER PLANNING BOARD COMMENTS	AJS
3	04/27/10	REVISED PER PLANNING BOARD COMMENTS	AJS
4	05/25/10	REVISED PER PLANNING BOARD COMMENTS	AJS
5	06/01/10	REVISED PER PLANNING BOARD COMMENTS	AJS
6	3/28/11	REVISED PER OWNER CHANGES	AJS
7	4/2/11	REVISED PER PLANNING BOARD COMMENTS	AJS
8	5/2/11	REVISED PER PLANNING BOARD COMMENTS	AJS
9	6/2/11	REVISED PER CONSULTANT COMMENTS	AJS
10	5/29/12	Amendment to Site Plan - Event Space Addition	AJS
11	6/26/12	REVISED PER PLANNING BOARD COMMENTS	AJS
12	12/24/12	REVISED PER OWNER CHANGES	AJS
13	1/29/13	REVISED PER PLANNING BOARD COMMENTS	AJS
14	2/26/13	REVISED PER PLANNING BOARD COMMENTS	AJS
15	4/30/13	REVISED PER PLANNING BOARD COMMENTS	AJS
16	2/27/18	Amendment to Site Plan - Mill Hotel Revision	AJS
17	8/28/18	REVISED PER PLANNING BOARD COMMENTS	AJS
18	9/25/18	REVISED PER PLANNING BOARD COMMENTS	AJS

## Amendment to Site Plan

Sheet 1 of 19

## Round House at Beacon Falls

Beacon, New York  
Scale: As Noted  
May 29, 2012

Owner:  
**10 Leonard Street, LLC**  
**10 Boulevard, LLC**  
484 Main Street  
Beacon, New York 12508

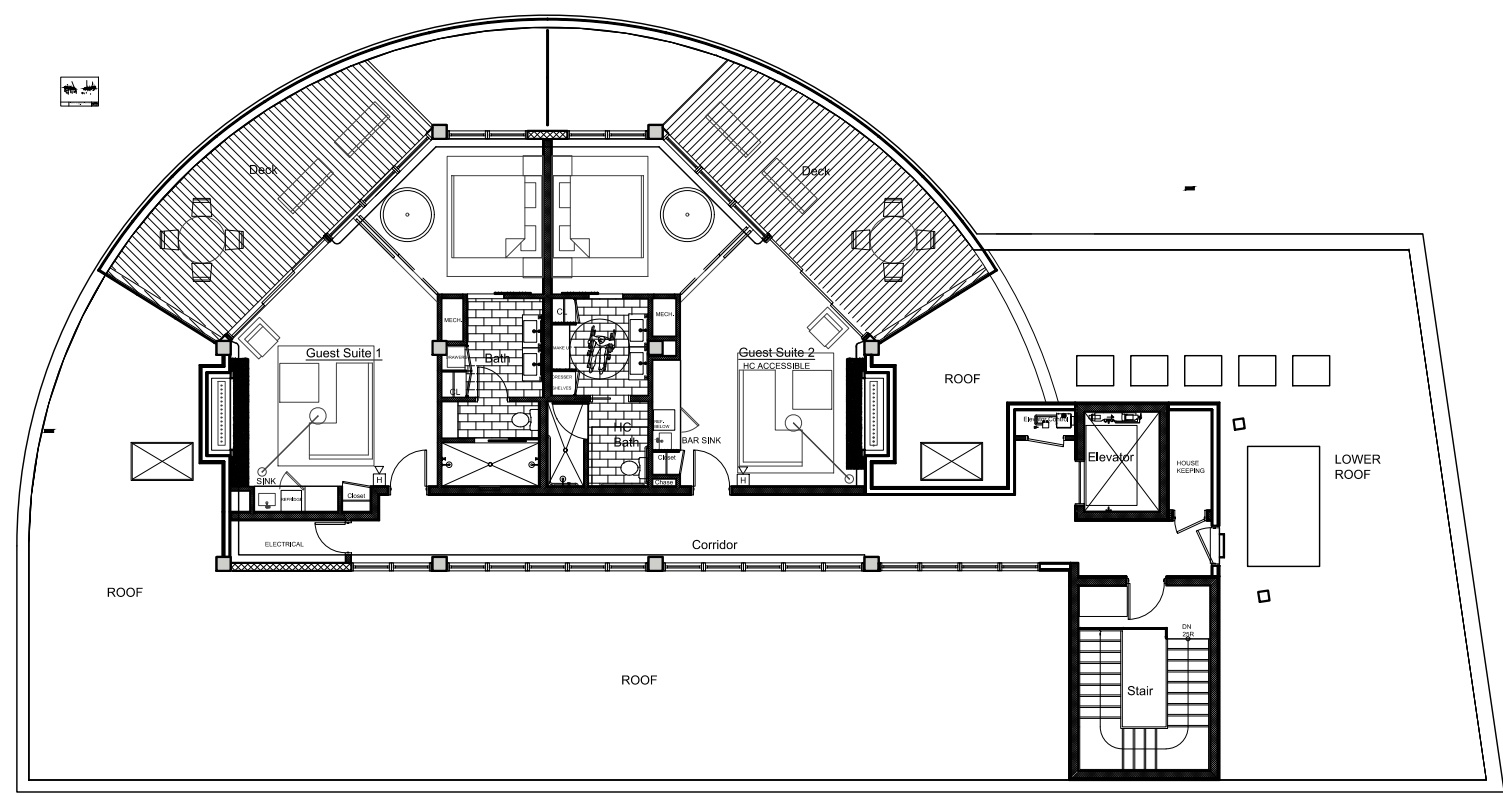
Architect:  
**Aryeh Siegel, Architect**  
84 Mason Circle  
Beacon, New York 12508

Site / Civil Engineer:  
**Hudson Land Design**  
174 Main Street  
Beacon, New York 12508

Landscape Design:  
**Naomi Sachs Design**  
55 South Street  
Beacon, New York 12508

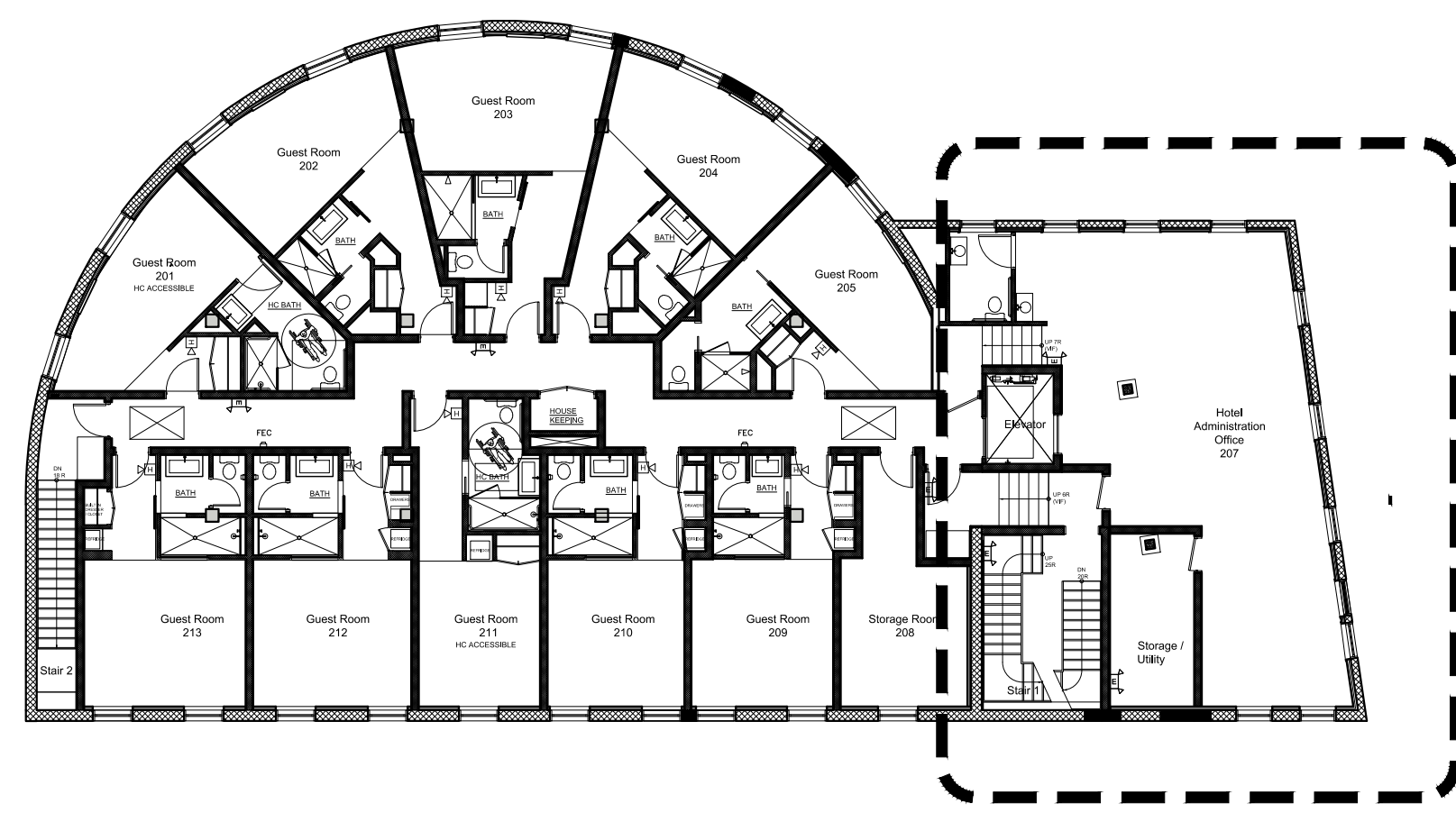
Surveyor:  
**Badley & Watson**  
3063 Route 9  
Cold Spring, New York 10516





Upper Level Plan

1/4" = 1'-0"



2nd Floor Plan

1/4" = 1'-0"

AMENDMENT SCOPE OF WORK:

REPLACE PRIVATE DINING ROOM WITH HOTEL ADMINISTRATION OFFICE SPACE.

PARKING COUNT IS REDUCED BY 12 SPACES AS A RESULT OF ELIMINATION OF PRIVATE DINING ROOM.

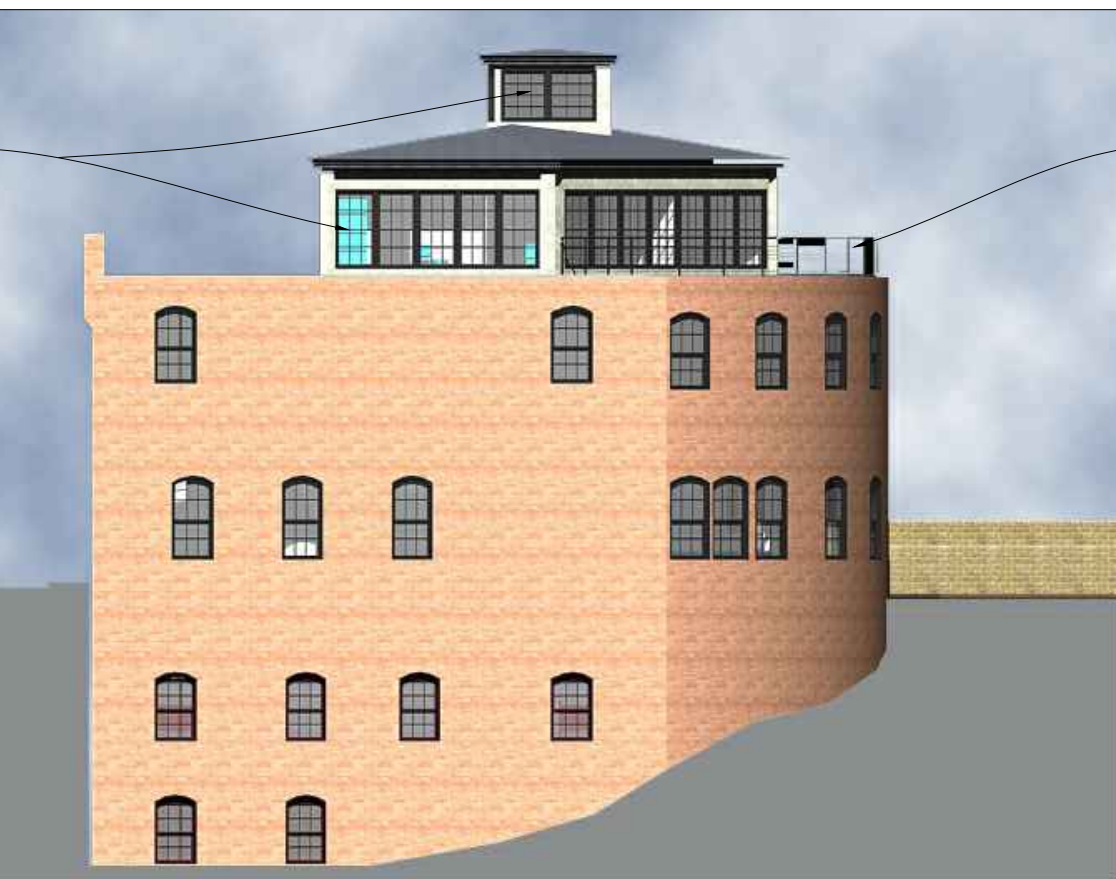
NO ADDITIONAL PARKING IS REQUIRED FOR THE HOTEL ADMINISTRATION OFFICE SPACE



Elevation: South

1/4" = 1'-0"

NEW DOUBLE INSULATED DOUBLE HUNG WINDOWS - PELLA OR APPROVED EQUAL - COLOR: FOREST GREEN



Elevation: East

1/4" = 1'-0"

NEW DOUBLE INSULATED CASEMENT WINDOWS AT CLERESTORY - PELLA OR APPROVED EQUAL - COLOR: FOREST GREEN

STAINLESS STEEL CABLE RAIL

NEW PAINTED HM DOOR TO FIRE STAIR



Elevation: West

1/4" = 1'-0"

NEW DOUBLE INSULATED CASEMENT WINDOWS AT CLERESTORY - PELLA OR APPROVED EQUAL - COLOR: FOREST GREEN

STAINLESS STEEL CABLE RAIL

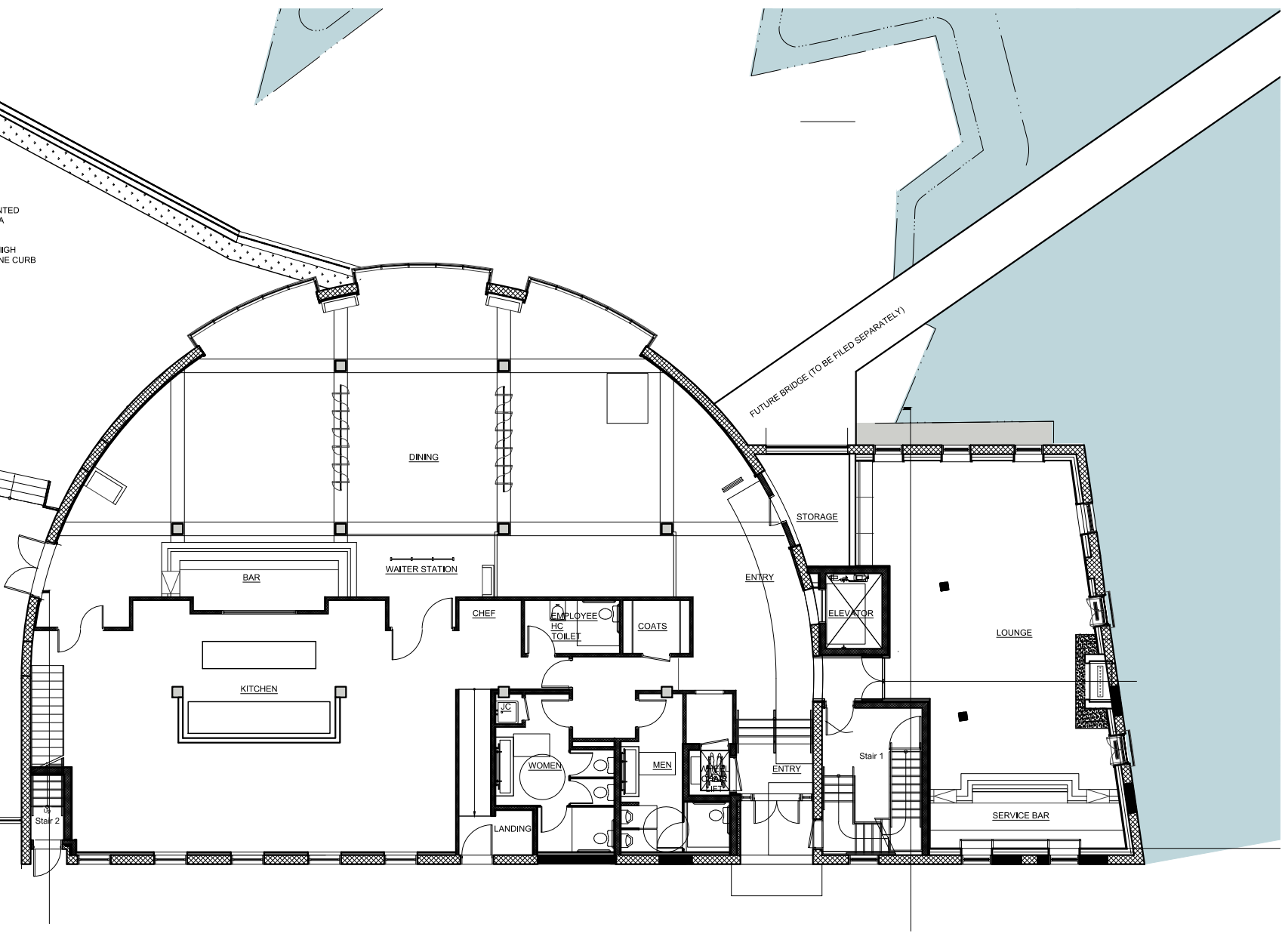
STONE RETAINING WALL



Elevation: North

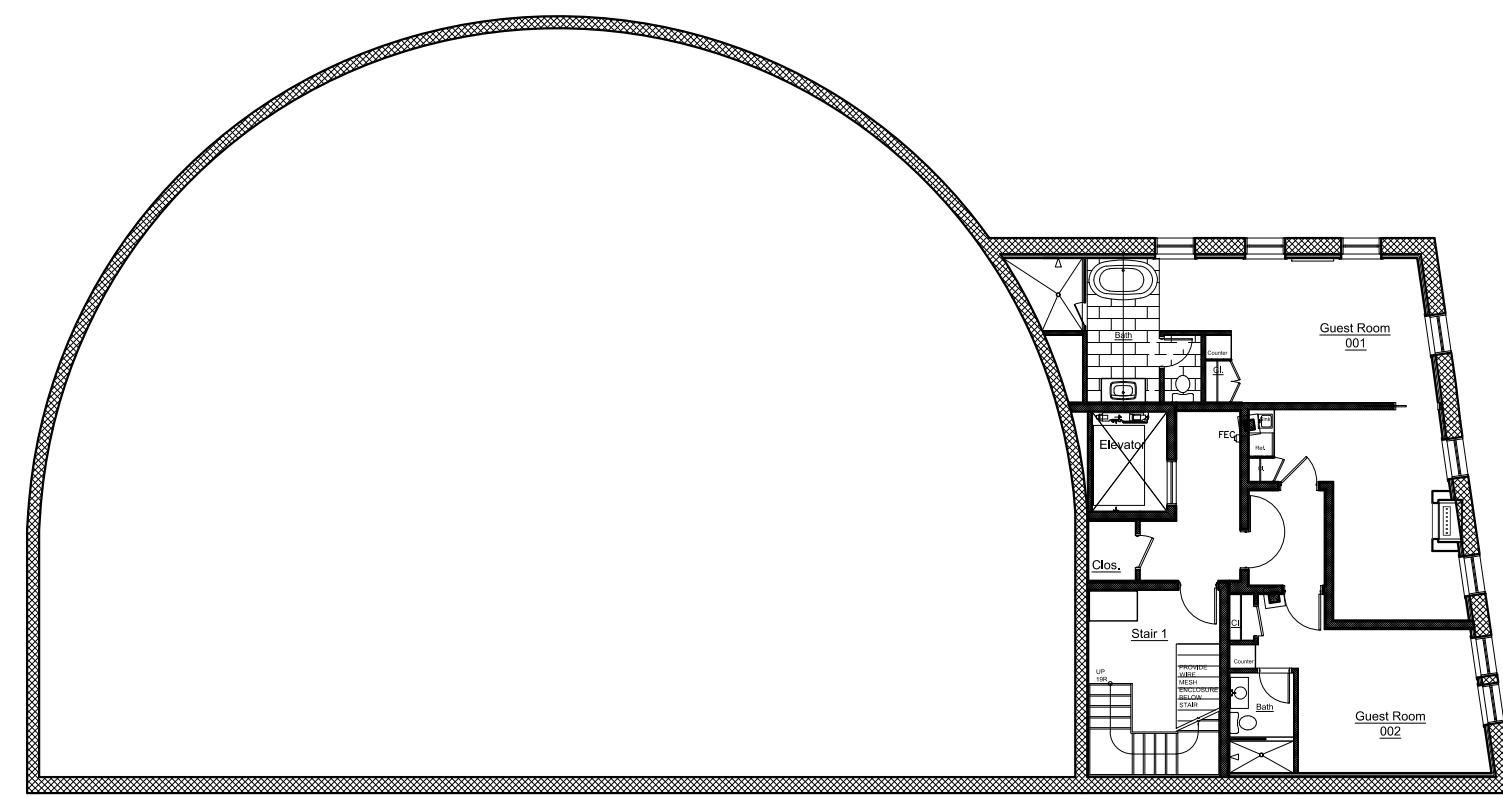
1/4" = 1'-0"

NOTE: THESE ELEVATIONS HAVE BEEN REVIEWED AND APPROVED BY THE PLANNING BOARD IN A PREVIOUS SUBMITTAL. THEY ARE INCLUDED HERE FOR REFERENCE ONLY. NO CHANGES TO THE EXTERIOR OF THE BUILDING ARE PROPOSED



1st Floor Plan

1/4" = 1'-0"



Lower Level Plan

1/4" = 1'-0"

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY \_\_\_\_\_

CHAIRMAN

SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

RECOMMENDED FOR APPROVAL:

MAYOR OF THE CITY OF BEACON DATE \_\_\_\_\_

APPROVED BY RESOLUTION OF THE CITY COUNCIL OF THE CITY OF BEACON

ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

REVISIONS:			
NO.	DATE	DESCRIPTION	BY
1	02/23/10	REVISED PER PLANNING BOARD COMMENTS	AJS
2	03/30/10	REVISED PER PLANNING BOARD COMMENTS	AJS
3	05/25/10	REVISED PER PLANNING BOARD COMMENTS	AJS
4	11/30/10	REVISED PER OWNER CHANGES	AJS
5	12/24/12	REVISED PER OWNER CHANGES	AJS
6	1/29/13	REVISED PER PLANNING BOARD COMMENTS	AJS
7	2/27/18	AMENDMENT TO SITE PLAN	AJS
8	8/28/18	REVISED PER PLANNING BOARD COMMENTS	AJS
9	9/25/18	NO CHANGE	AJS

Amendment to Special Use Permit  
Round House Hotel Building

Sheet 7 of 19

Round House at Beacon Falls

Beacon, New York  
Scale: As Noted  
January 28, 2010

Owner:  
10 Leonard Street, LLC  
179 Main Street  
Beacon, New York 12508

Architect:  
Aryeh Siegel, Architect  
84 Mason Circle  
Beacon, New York 12508

Site / Civil Engineer:  
Hudson Land Design  
174 Main Street  
Beacon, New York 12508

Landscape Design:  
Naomi Sachs Design  
55 South Street  
Beacon, New York 12508

Surveyor:  
Badey & Watson  
3063 Route 9  
Cold Spring, New York 10516



Live / Work Unit	Live Area	Work Area	Net Area	Work to Live Ratio	Remarks
Unit 1	640	1,788	2,428	74 : 26	
Unit 2	417	1,629	2,046	80 : 20	



1/4" = 1'-0"

4. An artist live/work space may exist on the first floor of a structure only if the appearance and use of the live/work space on the street side is consistent with the appearance of the period or periods of architectural significance. If the view of the surrounding area is retail in nature at the first floor level, the live/work space shall be restricted to retail on the street side of the first floor, and said street side shall be designed to be visually engaging, in the opinion of the Building Inspector, to support a retail type enterprise.
  5. Each artist live/work space and its various components shall be physically separate and distinct from other live/work spaces and other uses within a particular building. The sharing of artist live/work spaces, by multiple tenants, is prohibited. The use of artist live/work spaces for other than artist live/work spaces may be provided from common access areas, halls or corridors.
  6. Each artist live/work space must be individually equipped with an enclosed bathroom containing a sink, toilet, shower or tub, and appropriate venting.
  7. Each artist live/work space must be individually equipped with a kitchenette consisting of a sink, non-portable stove, oven and refrigerator.
  8. Each artist live/work space must contain a floor area of no less than eight hundred (800) square feet, of which a minimum area shall be devoted to the following: thirty (35) square feet for an enclosed bathroom; sixty (60) square feet for a kitchenette; and twenty (20) square feet for a sleeping area.
  9. No more than thirty percent (30%) of the floor area of the artist live/work space may be devoted to residential space.
  10. Direct access between living and work areas is not required.
- In order to ensure that the use is consistent with the other commercial uses, artists shall be required to adhere to the following rules for classroom instruction: more than two (2) pupils at any (1) one time; the storage of flammable, combustible, or hazardous materials; welding; or any open-flame work. Further, the work in the classroom shall not be disruptive to the surrounding neighborhood. Noise, odors, humidity, heat, cold, glare, dust, dirt or electrical disturbance which is perceptible by the average person located within any other residential or commercial unit within the structure or beyond any lot line.
11. Not more than one (1) person who is eighteen (18) years of age or older may reside in an artist live/work space. Three (3) persons who are twenty (20) or more than twenty (20) years of age, but not more than two (2) persons who are at least eighteen (18) years of age, of which at least one (1) of whom is an artist and at least one (1) of whom is twenty (20) years of age or older, may reside in a twenty-two (22) years of age may reside within a live/work space on a year-round

10. Only one (1) nonresident employee may be employed within an artist/livework space. This requirement may be waived for livework spaces that provide retail space on the first floor.
11. Other than in a first-floor retail-oriented area, graphic arts for sale within an artist/livework space may be offered with an artist residing in said space. Livework space and may be offered with other like items.
12. One (1) flush-mounted, non-illuminated sign, with a maximum area of two (2) square feet, attached adjacent to or near the street entrance door to the livework/ workspace may be used to identify the artist. This sign may list only the name of the artist with a one- or two-word description of the type of artwork or craft that is sold. Signs shall be within the artist's livework space and two (2) more livework spaces located within the same building, the signs must be placed in an interior hallway in relation to each other and must be part of a coherent directory in which no artist is in a particular fashion. Where five (5) or more livework spaces are developed within one (1) building, an interior directory sign shall be located in lieu of individual signs on the building exterior.
13. Residential space and work space shall not be rented separately or used by persons other than those people legally employing the artist livework spaces and permitted nonresident employees.
14. No artist livework space shall serve as a place from which commercial vehicles are dispatched or operated.
15. All livework spaces shall conform with all applicable building codes.
16. For the purposes of this permitted use, artists shall only be those persons working exclusively with paint, paper, clay and/or other soft materials, and those artists whose photography, jewelry making, graphic arts and other similar artistic or relatively quiet endeavors as determined by the City Council in reviewing the proposed special use permit application. Tattoo artists, body piercers and musicians shall not be considered artists for the purpose of this use.
17. Renewal inspections. Each artist livework space shall be inspected by the Building Department every two years in order to determine whether the artist livework space remains in compliance with this section. Upon a satisfactory inspection, the City will issue a certificate of compliance. In the event of a partial or full occupancy, a certificate of occupancy. If the Building Inspector determines that the artist livework space is not in compliance, the building owner or manager shall have 60 days in which to correct the noncompliance. If the building owner or manager fails to correct the noncompliance, the Building Department, subject to an additional fee, if all such noncomplying elements are not rectified within the above-specified time frame, the certificate of occupancy shall be suspended. The use of the space as authorized by the special use permit shall be terminated.

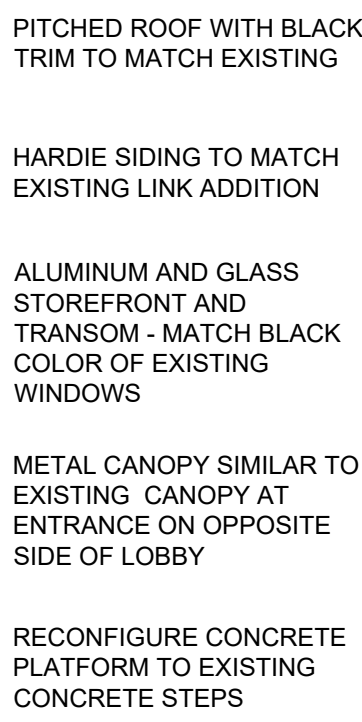


**1/16" = 1'-0"**



### 1st Floor Plan - Mill Hotel

**1/16" = 1'-0"**

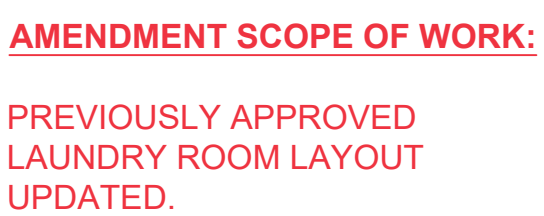


### Rendering at West Elevation

NOTE: THESE IMAGES SHOW THE PROPOSED ONE STORY ADDITION AT THE 1ST FLOOR LOBBY. ALL OTHER ELEVATIONS FOR THE BUILDINGS AND LINK ADDITION HAVE BEEN APPROVED PREVIOUSLY



**1/16" = 1'-0"**



### Lower Level Plan - Mill Hotel

$$1/16'' = 1'-0''$$

<p>RECOMMENDED FOR APPROVAL:</p>  <p>_____ MAYOR OF THE CITY OF BEACON                      DATE _____</p> <p>APPROVED BY RESOLUTION OF THE CITY COUNCIL OF THE CITY OF BEACON</p>  <p>ON THE _____ DAY OF _____, 20____</p>	<p>APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE _____ DAY OF _____, 20____, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION, ANY CHANGE, ENFORCE, MODIFICATION OR REVISION OF THIS PLAT AS APPROVED, SHALL VOID THIS APPROVAL.</p> <p>SIGNED THIS _____ DAY OF _____, 20____ BY _____ CHAIRMAN</p> <p>_____ _____ _____ _____ _____ SECRETARY</p> <p>IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.</p>
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REVISIONS:			
NO.	DATE	DESCRIPTION	BY
1	02/23/10	REVISED PER PLANNING BOARD COMMENTS	AJS
2	03/30/10	REVISED PER PLANNING BOARD COMMENTS	AJS
3	05/25/10	REVISED PER PLANNING BOARD COMMENTS	AJS
4	11/30/10	REVISED PER OWNER CHANGES	AJS
5	12/24/12	REVISED PER OWNER CHANGES	AJS
6	1/29/13	REVISED PER PLANNING BOARD COMMENTS	AJS
7	2/26/13	REVISED PER PLANNING BOARD COMMENTS	AJS
8	2/28/13	REVISED PER PLANNING BOARD COMMENTS	AJS
9	8/28/18	REVISED PER PLANNING BOARD COMMENTS	AJS
10	9/25/18	NO CHANGE	AJS

## Sheet 8 of 19

Beacon, New York  
Scale: As Noted  
January 26, 2010

**Owner:**  
**10 Leonard Street, LLC**  
**10 Boulevard, LLC**  
 179 Main Street  
 Beacon, New York 12508

Architect:  
**Aryeh Siegel, Architect**  
84 Mason Circle  
Beacon, New York 12508

Site / Civil Engineer:  
**Hudson Land Design**  
174 Main Street  
Beacon, New York 12508

*Landscape Design:*  
**Naomi Sachs Design**  
55 South Street  
Beacon, New York 12508

Surveyor:  
**Badey & Watson**  
3063 Route 9  
Cold Spring, New York 10516



**City of Beacon Planning Board**  
**10/10/2018**

**Title:**

**32 Alice Street**

**Subject:**

Public hearing on the application for Subdivision Approval, 2-lot residential, 32 Alice Street, submitted by Brent Spodek

**Background:**

**ATTACHMENTS:**

Description	Type
32 Alice Street Engineer Cover Letter	Cover Memo/Letter
32 Alice I&I Study	Backup Material
32 Alice Street ZBA Resolution	Resolution
32 Alice Street Sheet 1 Plat	Plans
32 Alice Street Sheet 2 Subdivision Plan	Plans
32 Alice Street Sheet 3 Erosion & Sediment Control Plan	Plans
32 Alice Street Sheet 5 Water Sewer Details	Plans
32 Alice Street Sheet 4 Site Details	Plans



*Civil & Environmental Engineering Consultants  
174 Main Street, Beacon, New York 12508  
Phone: 845-440-6926 Fax: 845-440-6637  
[www.HudsonLandDesign.com](http://www.HudsonLandDesign.com)*

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September 25, 2018

Mr. John Gunn, Chairman  
City of Beacon Planning Board  
1 Municipal Center  
Beacon, NY 12508

Re: 32 Alice Street Subdivision  
Tax ID 6054-47-320616 ( $\pm 0.47$  acres)  
City of Beacon, New York

Dear Chairman Gunn:

On behalf of the Applicant for the above referenced project, Hudson Land Design (HLD) has revised the subdivision plan set in response to Lanc & Tully's August 3, 2018 comment letter and John Clarke Planning and Design's August 9, 2018 comment letter. Below is a point-by-point response to the comments received.

**Lanc & Tully's August 3, 2018 Comment Letter:**

**General Comments:**

1. The applicant was granted two (2) variances at the September 18, 2018 ZBA meeting. Please refer to the ZBA Resolution is included in this submittal.
2. The I&I Study has been signed and sealed and included in this submittal.
3. Maintenance notes for the Rain Garden and Underground Infiltrators has been added to Sheet 2. Maintenance Agreements will be provided after presumably after conditional Final Approval.

**Sheet 2 of 5 (Subdivision Plan):**

1. A note was added to the soil testing tables detailing the date of the tests and that the tests were observed by Lanc and Tully, P.C.
2. The legend has been updated to reflect that drainage basins are referred to as "DB".
3. Elevation labels have been added to all contours.
4. A callout has been added referring to the Yard Basin as the inlet structure before the underground infiltration system. Rim, INV IN and INV OUT elevations have been included in the callout.

**Sheet 3 of 5 (Erosion and Sediment Control Plan):**

1. The Limits of Disturbance legend line has been edited to match the plan.

**Sheet 4 of 5 (Construction Details):**

1. A Rain Garden Planting Plan has been added to Sheet 4.
2. Construction Details for the proposed retaining wall and Parapet wall have been added to Sheet 4.

3. The Driveway Detail has been edited to display 3" pavement section of top course.
4. A concrete yard drain was added as the inlet structure on the plans and a yard drain detail was added to Sheet 4.

**John Clark Planning and Design's August 9, 2018 Comment Letter:**

1. An area variance for lot width at the building was granted by the ZBA on September 18, 2018.
2. An area variance for lot width was granted by the ZBA on September 18, 2018.
3. Comment Noted.
4. Callout has been revised to show the Proposed Red Maple as a 3" caliper street tree. The location of the tree has been moved to the front of the proposed house.
5. The Schedule of Regulations on Sheet 1 and 2 have been edited to match and Garage setback and square foot numbers have been added to the table.

On behalf of the Applicant for the above referenced project, Hudson Land Design (HLD) has enclosed the following materials for the Planning Board's consideration at your next available regularly scheduled meeting:

- Subdivision Plan Set (Sheets 1-5) (5 copies);
- Signed and Stamped Inflow and Infiltration Report (3 copies);
- Zoning Boards of Appeals Variance resolution (5 copies)
- Copy of the above noted items on CD.

We look forward to discussing the design details of the project with you and your Board members and will seek to schedule a public hearing following our discussion.

Should you have any questions or require additional information, please feel free to call me at 845-440-6926.

Sincerely,

Adam Gasparre  
Staff Engineer

cc: Brent Spodek  
Daniel G. Koehler, P.E. (HLD File)





*Civil & Environmental Engineering Consultants  
174 Main Street, Beacon, New York 12508  
Phone: 845-440-6926 Fax: 845-440-6637  
www.HudsonLandDesign.com*

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July 23, 2018

Mr. John Gunn, Chairman  
City of Beacon Planning Board  
1 Municipal Center  
Beacon, NY 12508

Re: Infiltration and Inflow Investigation  
32 Alice Street Subdivision  
32 Alice Street  
City of Beacon, New York  
Tax ID: 6054-47-320616 ( $\pm 0.47$  acres)

Dear Chairman Gunn,

Hudson Land Design (HLD) has completed an infiltration and inflow investigation at the above referenced parcel as required by the City of Beacon. The investigation was conducted on July 20, 2018 at the existing residence located at 32 Alice Street, which consists of a two-story framed building.

The first phase of the study consisted of an exterior inspection of the building to determine the location of roof leader discharge points. The two-story building has a "gable" roof consisting of multiple gables, as well as a covered front porch and a "shed" style rear roof. The southern half of the highest gable on the second story collects precipitation and discharges it to the covered front porch roof which is then collected by the gutter system on the front porch. The runoff then is discharged via downspouts and underground PVC piping to the side yard where the proposed Lot 2 residence will be located. The northern half of the second story gable collects precipitation from the roof and conveys it down the western side of the house via a downspout. The runoff then discharges to the grassed area on the side yard. The rear of the house has a shed style roof that collects precipitation in a gutter system and discharges it towards the rear and side yard of the residence. The southern side of the gable roof on the first story collects stormwater and discharges it to the front of the residence towards Alice Street. The downspout for this roof area is located on the eastern side of the residence. The northern half of the first story gable roof collects stormwater and discharges it via downspouts and an underground PVC pipe to the rear of the house. Lastly, the small mud room roof on

the western side of the house does not have a gutter system. Precipitation falls on the small mud room roof area and falls on the concrete walkway.

The second phase of the study consisted of interior inspection of the building in an attempt to determine if there are any illicit connections to the building sewer line from sump pumps, floor drains and the like. HLD personnel were able to observe sections of interior sanitary sewer plumbing to the point where the piping was routed through the southerly foundation wall of the residence (located generally in the southeast corner of the building). The pipe collects the wastewater from the residence and then flows southwesterly toward Alice Street's sanitary sewer collection system. HLD observed a clean-out in the basement on the interior sanitary sewer plumbing along the southern foundation wall of the residence. At no point along the length of the visible portion of the line did HLD personnel observe any discharges other than from the standard plumbed fixtures. In addition, there were no sump pumps or floor drains observed, nor were there any unidentified pipes that connected to the line beneath the basement floor.

Based on our observations, HLD does not believe that there are any illicit connections from the building located at 32 Alice Street to the City of Beacon's sanitary sewer collection system.

Should you have any questions, please feel free to call me at 845-440-6926.

Sincerely,



Daniel G. Koehler, P.E.

cc: Brent Spodek (via email)  
Michael A. Bodendorf, P.E. (HLD file)

CITY OF BEACON  
ZONING BOARD OF APPEALS

**RESOLUTION**

**WHEREAS**, an application has been made to the City of Beacon Zoning Board of Appeals by **Rabbi Brent Spodek** (the "Applicant") for (1) a 7 foot lot width variance where the minimum required lot width is 75 feet pursuant to City Code § 223-17.C/223 Attachment 1:2 to create a building lot with an average lot width of 68 feet, and (2) a 12 foot lot width variance where the minimum required lot width is 75 feet pursuant to City Code §§ 223-12(H) and 223-17.C/223 Attachment 1:2 to construct a building at a point where the lot width is 63 feet, in connection with a proposed subdivision of a 20,341 square-foot parcel to create a building lot on the western portion of the property for construction of a new single-family home on property located at 32 Alice Street, in an R1-7.5 Zoning District. Said premises being known and designated on the tax map of the City of Beacon as **Parcel ID# 6054-47-320616**; and

**WHEREAS**, a duly advertised public hearing on the application was held on September 18, 2018, at which time all those wishing to be heard on the application were given such opportunity; and

**WHEREAS**, the Board closed the public hearing on September 18, 2018; and

**WHEREAS**, the proposed action is a Type II Action pursuant to the New York State Environmental Quality Review Act, and accordingly, no further environmental review is required; and

**WHEREAS**, the Board, from the application, after viewing the premises and neighborhood concerned, and upon considering each of the factors set forth at Section 223-55(C)(2)(b)[1]-[5] of the City of Beacon Zoning Code, finds with respect to the variance:

- 1) The variance **WILL NOT** create an adverse impact to the character of the neighborhood;
- 2) The benefit the Applicant seeks **CANNOT** be achieved through another method, feasible for the Applicant to pursue, that does not require the variances;
- 3) The variance **IS NOT** substantial;
- 4) The variance **WILL NOT** create any adverse impacts to the physical or environmental conditions of the neighborhood; and
- 5) The need for the variance **IS** self-created.

**NOW, THEREFORE, BE IT RESOLVED**, that said application for a 7 foot lot width variance where the minimum required lot width is 75 feet pursuant to City Code § 223-17.C/223 Attachment 1:2 to create a building lot with an average lot width of 68 feet, is hereby **GRANTED**.

**Acting Chairman Lanier called the roll:**

Motion	Second	Zoning Board Member	Aye	Nay	Abstain	Excused	Absent
		John Dunne				X	
X		Jordan Haug	X				
		Robert Lanier	X				
	X	Judy Smith	X				
		David Jensen	X				
<b>Motion Carried</b>			<b>4</b>	<b>0</b>			

**WHEREAS**, the Board, from the application, after viewing the premises and neighborhood concerned, and upon considering each of the factors set forth at Section 223-55(C)(2)(b)[1]-[5] of the City of Beacon Zoning Code, finds with respect to the variance:

- 1) The variance **WILL NOT** create an adverse impact to the character of the neighborhood;
- 2) The benefit the Applicant seeks **CANNOT** be achieved through another method, feasible for the Applicant to pursue, that does not require the variances;
- 3) The variance **IS NOT** substantial;
- 4) The variance **WILL NOT** create any adverse impacts to the physical or environmental conditions of the neighborhood; and
- 5) The need for the variance **IS** self-created.

**NOW, THEREFORE, BE IT RESOLVED**, that said application for a 12 foot lot width variance where the minimum required lot width is 75 feet pursuant to City Code §§ 223-12(H) and 223-17.C/223 Attachment 1:2 to construct a building at a point where the lot width is 63 feet, is hereby **GRANTED**.

**Acting Chairman Lanier called the roll:**

Motion	Second	Zoning Board Member	Aye	Nay	Abstain	Excused	Absent
		John Dunne				X	
X		Jordan Haug	X				
		Robert Lanier	X				
		Judy Smith	X				
	X	David Jensen	X				
<b>Motion Carried</b>			<b>4</b>	<b>0</b>			

**BE IT FURTHER RESOLVED**, that the variances approved by this Resolution are subject to the following conditions:

1. No permit or Certificate of Occupancy shall be issued until the Applicant has paid in full all application and consultant fees incurred by the City in connection with the review of this application.
2. The Applicant has six months to commence construction and one year to complete construction and obtain a Certificate of Occupancy from the date of last appearance before the Planning Board.

**BE IT FURTHER RESOLVED**, that the Zoning Board of Appeals may grant a six month extension of this variance approval provided that a written request for an extension is submitted before the variance expires. Such extension shall only be granted upon a showing by the Applicant that the circumstances and conditions upon which the variance was originally granted have not substantially changed.

Dated: September 18, 2018



---

**Mr. Robert Lanier, Acting Chairman**



SURVEY NOTES

1. Copyright TEC Land Surveying. All Rights Reserved. Reproduction or copying of this document may be a violation of copyright law unless permission of the author and / or copyright holder is obtained.
2. Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 7209, sub-division 2, of the New York State Education Law.
3. Only boundary survey maps with the surveyor's embossed or red inked seal are genuine true and correct copies of the surveyor's original work and opinion. A copy of this document without a proper application of the surveyor's embossed or red inked seal should be assumed to be an unauthorized copy.
4. Certifications on this boundary survey map signify that the map was prepared in accordance with the current existing Code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors, Inc. The certification is limited to persons for whom the boundary survey map is prepared, to the title company, to the governmental agency, and to the lending institution listed on this boundary survey map.
5. The certifications herein are not transferable.
6. The location of underground improvements or encroachments are not always known and often must be estimated. If any underground improvements or encroachments exist or are shown, the improvements or encroachments are not covered by this certificate.
7. Subject to the findings of a current title search.
8. Subject to covenants, easements, restrictions, conditions and agreements of record.
9. Subject to any right, title or interest the public may have for highway use.
10. Bearings and North shown hereon are referenced to NAD 83-NY East using NYSNET RTN GPS.
11. Contour Interval is one foot. Elevations shown hereon are referenced to NAVD 88 using NYSNET RTN GPS.

DEED REFERENCE

Doc. #02 2015 4284  
Charlotte E. Gigo  
To  
Jean Burger  
July 17, 2015

Now or Formerly  
Munoz  
Liber 1741, Page 335  
6054-47-311620

**TAX PARCEL NUMBER**  
City of Beacon, Dutchess County, New York  
130500-6054-320616

AREA

Lot 1  
11,067 Square Feet  
0.254 Acres

Lot 2  
9,274 Square Feet  
0.213 Acres

CERTIFICATIONS

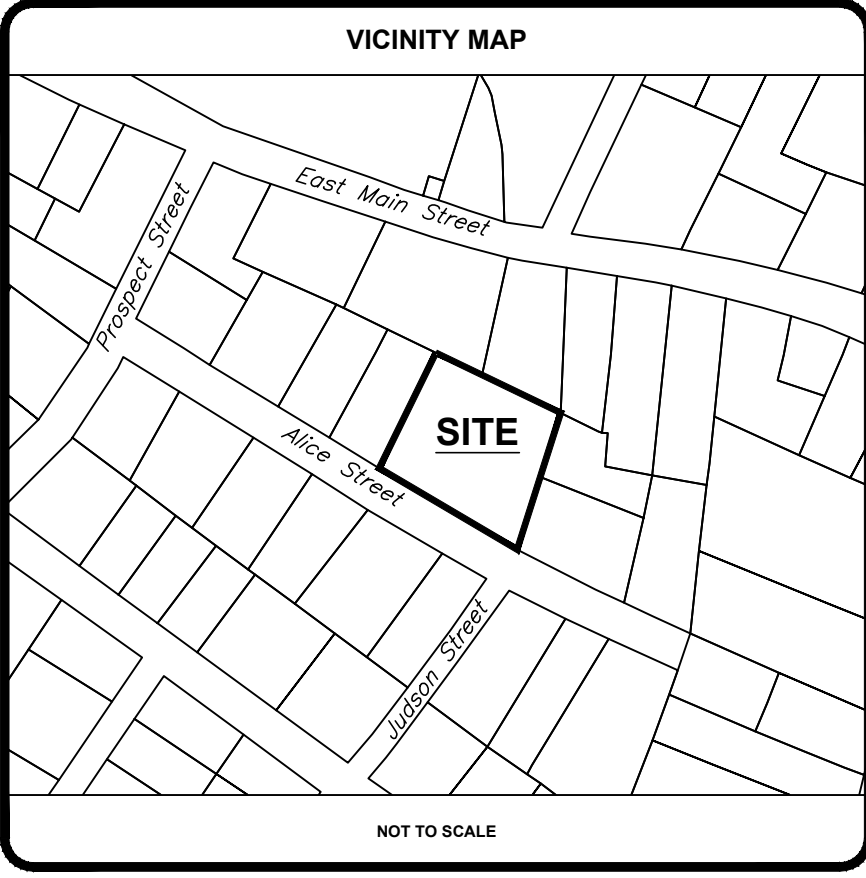
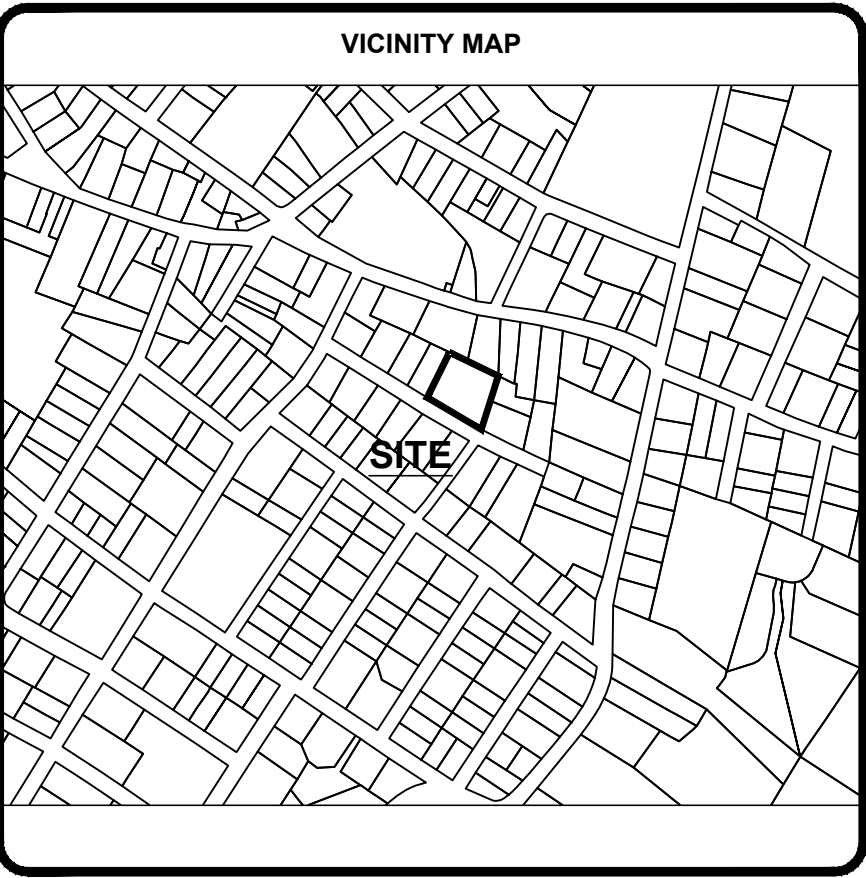
Jean Burger  
Benjamin Niles

DATE OF SURVEY

Field Completion: June 11, 2018

LEGEND

- SS — SANITARY SEWER LINE  
— ST — STORM SEWER LINE  
— x — x — FENCE  
— OHW — OVERHEAD WIRES  
— W — WATER LINE
- HYDRANT  
GAS VALVE  
WATER VALVE  
ELECTRIC BOX  
ELECTRIC MANHOLE  
TELEPHONE MANHOLE  
SANITARY SEWER MANHOLE  
DRAINAGE MANHOLE  
TRANSFORMER BOX  
DROP INLET  
LIGHT POLE  
UTILITY POLE  
MAIL BOX  
GUY WIRE  
SIGN  
IRON ROD FOUND



ZONING

Property shown hereon is located within the R1-7.5 (7,500 sf/2dwelling) Residential District as shown on map entitled "Zoning" prepared by Frederick P. Clark Associates, Inc. and dated 6/7/1996, revised on 7/29/2014.

FLOOD ZONE

Property shown hereon is located within the Zone "X" Unshaded region and is determined to be outside the 0.2% annual chance floodplain as shown on Flood Insurance Rate Map (FIRM) No. 36027C0577E (Effective Date: 05/02/2012).

OWNERS & APPLICANTS

Jean Burger  
Benjamin Niles

PLANNING BOARD

Approved by resolution of the Planning Board of the City of Beacon, New York, on the \_\_\_\_ day, of year \_\_\_\_ Subject to all requirements and conditions of said resolution. Any change, erasure, modification or revision of the plat as approved shall void the approval. Signed this \_\_\_\_ day, of year \_\_\_\_

By: \_\_\_\_\_ Chairman

DCCDOH STANDARD NOTE

FOR PERMISSION TO FILE  
This plan does not constitute a realty subdivision as defined by Article XI, Title II, Section 1115 of the Public Health Law of the State of New York, and Article XI, of the Dutchess County Sanitary Code. Permission is hereby granted for the filing of this map with the Clerk of Dutchess County. Approval for arrangements for water supply and/or sewage disposal is neither sought nor granted.

Authorized Representative of the Commissioner of Health \_\_\_\_\_ Date \_\_\_\_\_

OWNER'S CONSENT

The undersigned owners of the property hereon state that they are familiar with this map, its contents and its legends and hereby consent to all said terms and conditions as stated hereon.

\_\_\_\_\_  
Date \_\_\_\_\_

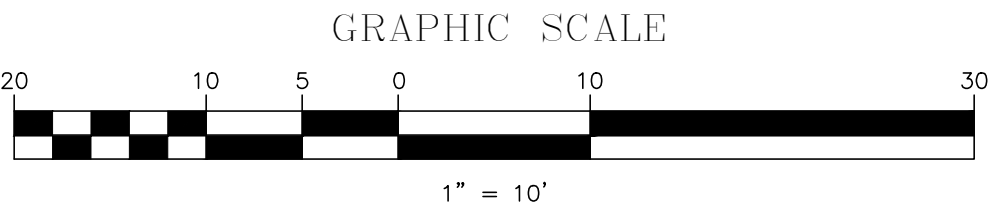
\_\_\_\_\_  
Date \_\_\_\_\_

SCHEDULE OF REGULATIONS (R1-7.5 ZONING DISTRICT) AND LOT CONFORMANCE TABLE:

PARAMETER	REQUIREMENT	LOT #1	LOT #2
LOT AREA:	7,500 SQUARE FEET MIN	11,067 S.F.	9,274 S.F.
LOT WIDTH:	75 FEET MINIMUM	75.1 FEET**	68 FEET**
LOT DEPTH:	100 FEET MINIMUM	139.1 FEET	136.3 FEET
YARD SETBACKS (RESIDENTIAL USE):			
FRONT YARD:	30 FEET MINIMUM	5.9 FEET*	9.8 FEET***
SIDE YARD:	10 FEET MINIMUM	10.1 FEET	10.0 FEET
SIDE YARD (TOTAL OF TWO):	20 FEET MINIMUM TOTAL	53.5 FEET	33.2 FEET
REAR YARD:	30 FEET MINIMUM	93.1 FEET	61.8 FEET
MAIN BUILDING HEIGHT:	MAX 35 FEET, 2.5 STORIES	±25 FEET	<35 FEET
BUILDING COVERAGE:	MAX 30%	14.5%	19.2%
DWELLING UNITS PER LOT:	MAX 1	1	1
GARAGE SETBACKS			
SIDE YARD	5 FEET	N/A	5.0 FEET
REAR YARD	5 FEET	N/A	46.4 FEET
MAX CUMULATIVE AREA	720 SQFT	N/A	480 SQFT
% OF PRIMARY HOUSE AREA	40%	N/A	22.0%

\* PRE-EXISTING NON-CONFORMANCE  
\*\* AVERAGE LOT WIDTH SHOWN. THE HOUSE AND SHEDS ON LOT 1 ARE ALL LOCATED ON PORTIONS OF THE LOT WHERE THE MINIMUM LOT WIDTH IS MET. THE PROPOSED HOUSE ON LOT 2 IS SHOWN ON A PORTION OF THE LOT WHERE THE LOT WIDTH IS NOT MET (63.2'). AT SEPTEMBER 18, 2018 ZONING BOARD APPEALS MEETING, TWO VARIANCES WERE GRANTED:  
1. LOT WIDTH ON LOT 2; ZBA GRANTED VARIANCE FOR LOT 2'S WIDTH AT 68 FEET WHERE 75 FEET IS REQUIRED.  
2. LOCATION OF PROPOSED RESIDENCE AT A POINT ON LOT 2 WHERE THE LOT WIDTH IS 63 FEET WHERE 75 FEET IS REQUIRED.  
\*\*\* THE APPLICANT REQUESTS RELIEF FROM THE PLANNING BOARD FOR THE FRONT YARD REQUIREMENT ON LOT #2 (TO PROVIDE A CONSISTENT FRONT YARD SETBACK TO HOUSES ALONG ALICE STREET).

**TEC LAND SURVEYING**  
150 TIORONDA AVE. BEACON, NY 12508  
PH: 845.445.6590 FX: 845.445.6591



THOMAS E. GERCHIARA, P.L.S.  
P.L.S. No. 50732

32 ALICE STREET  
**PRELIMINARY SUBDIVISION PLAT  
PREPARED FOR  
32 ALICE STREET**

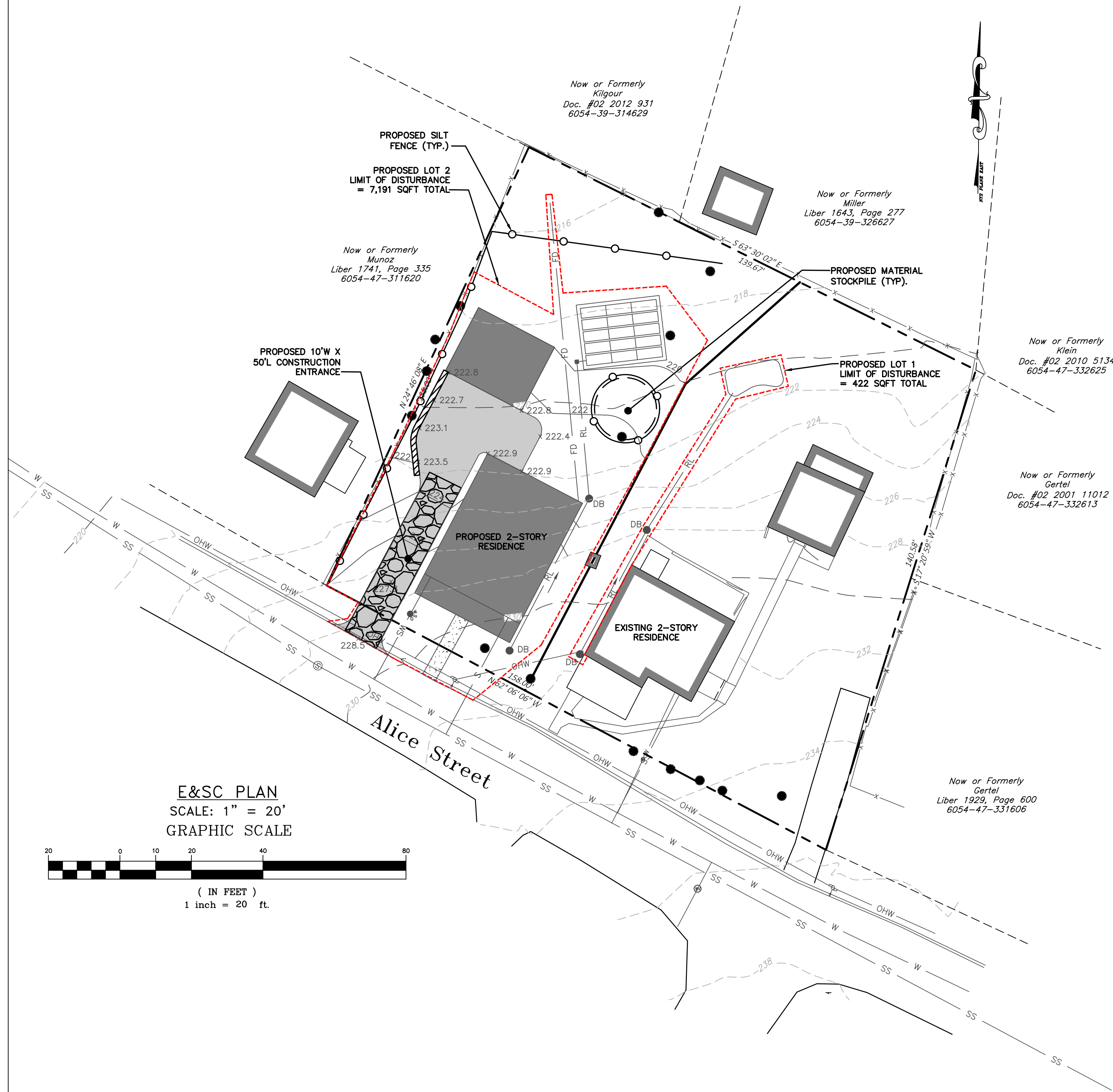
CITY OF BEACON, COUNTY OF DUTCHESS, STATE OF NEW YORK

tax id 6054-320616  
address 32 ALICE STREET  
date 6/26/18 drawn BJ  
scale 1"=10' checked TEC  
project no. 18-064  
project name 32 ALICE STREET  
sheet 1 OF 4



DRAWN BY: CB		CHECKED BY: DGK	JOB NO.: 2018:014
REVISONS:			
NO.	DATE	DESCRIPTION	BY
1	07/31/18	REVISED LAYOUT CONSULTANTS COMMENTS	AG
2	09/25/18	REVISED PER CONSULTANTS COMMENTS	AG





## LEGEND

- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING UTILITY POLE
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED SPOT ELEVATION
- PROPOSED SILT FENCE
- PROPOSED LIMIT OF DISTURBANCE
- PROPOSED SOIL STOCKPILE BOUNDARY

## OWNER'S CONSENT:

THE UNDERSIGNED OWNER OF THE PROPERTY HEREON STATES THAT HE IS FAMILIAR WITH THIS MAP, ITS CONTENTS, AND ITS LEGENDS AND HEREBY CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

BRENT OR ALISON SPODEK

DATE

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE

DAY OF 20, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION, ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS DAY OF 20, BY

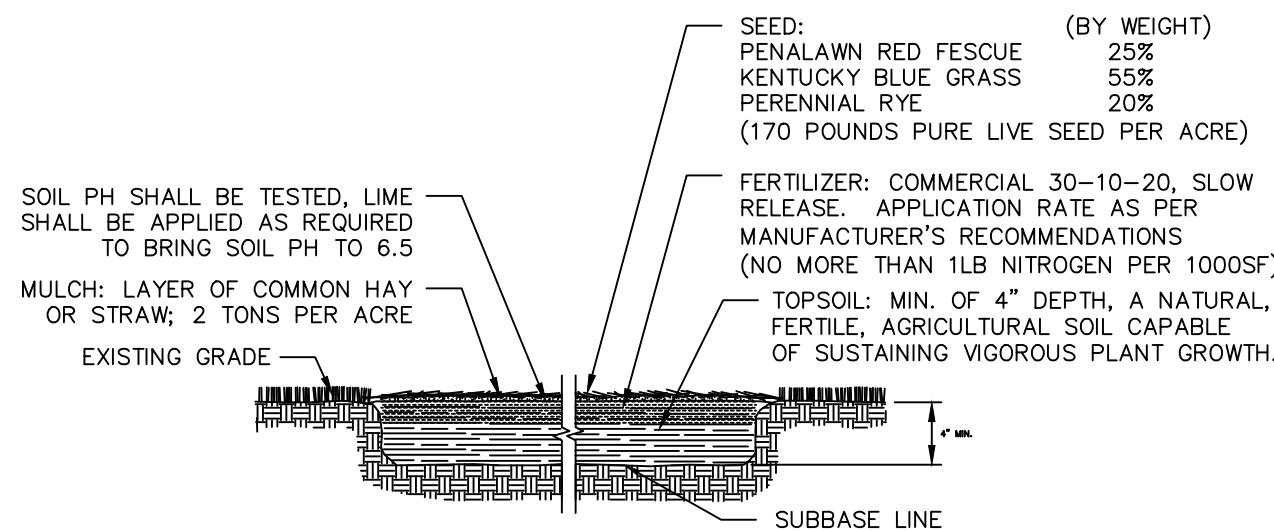
CHAIRMAN

SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.



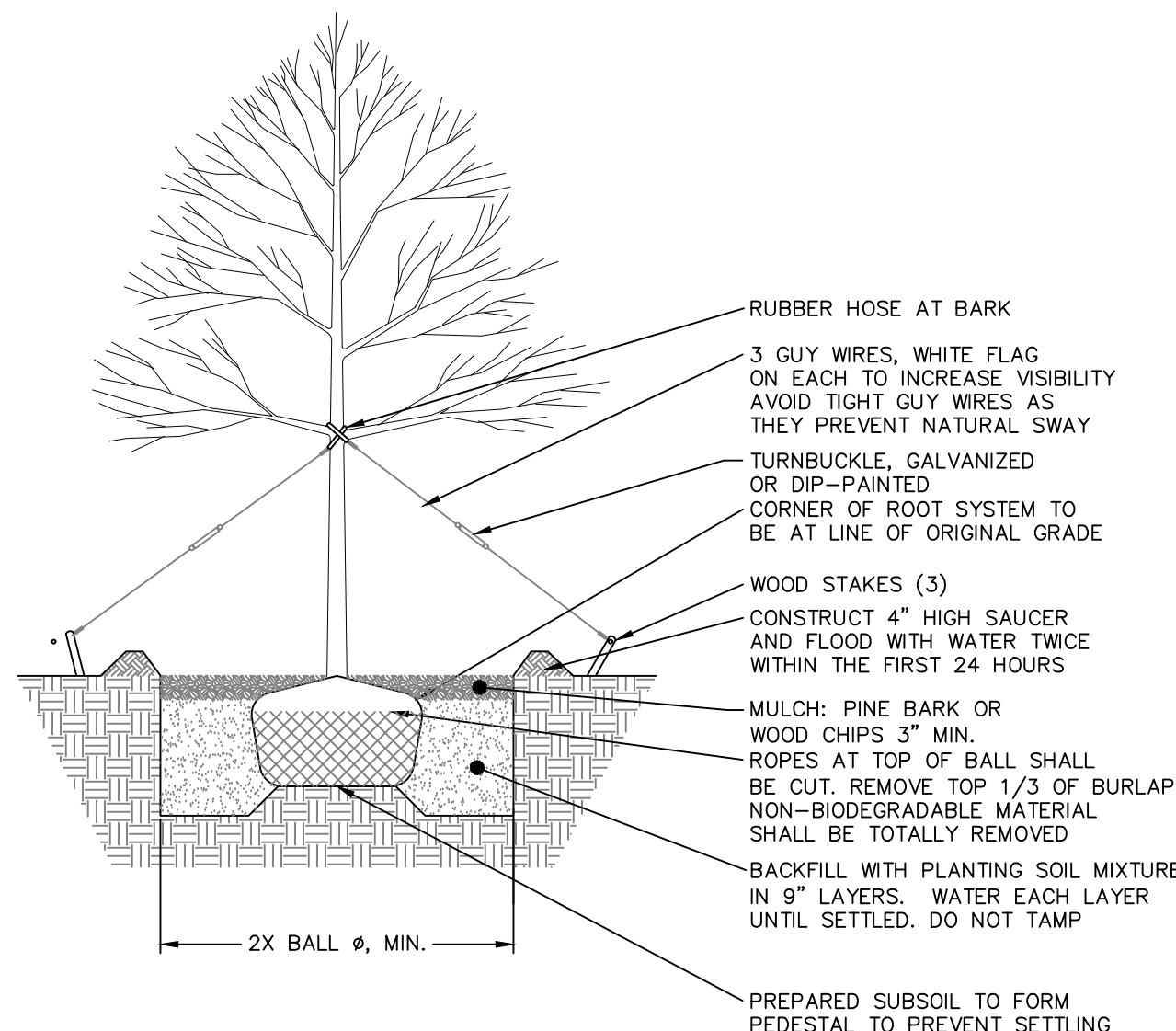
## TOPSOIL SEED, FERTILIZER AND MULCH DETAIL NOT TO SCALE



## NOTES:

- PROPOSED TREES TO BE PER PLANS. REFER TO SHEET 2 FOR LOCATIONS.

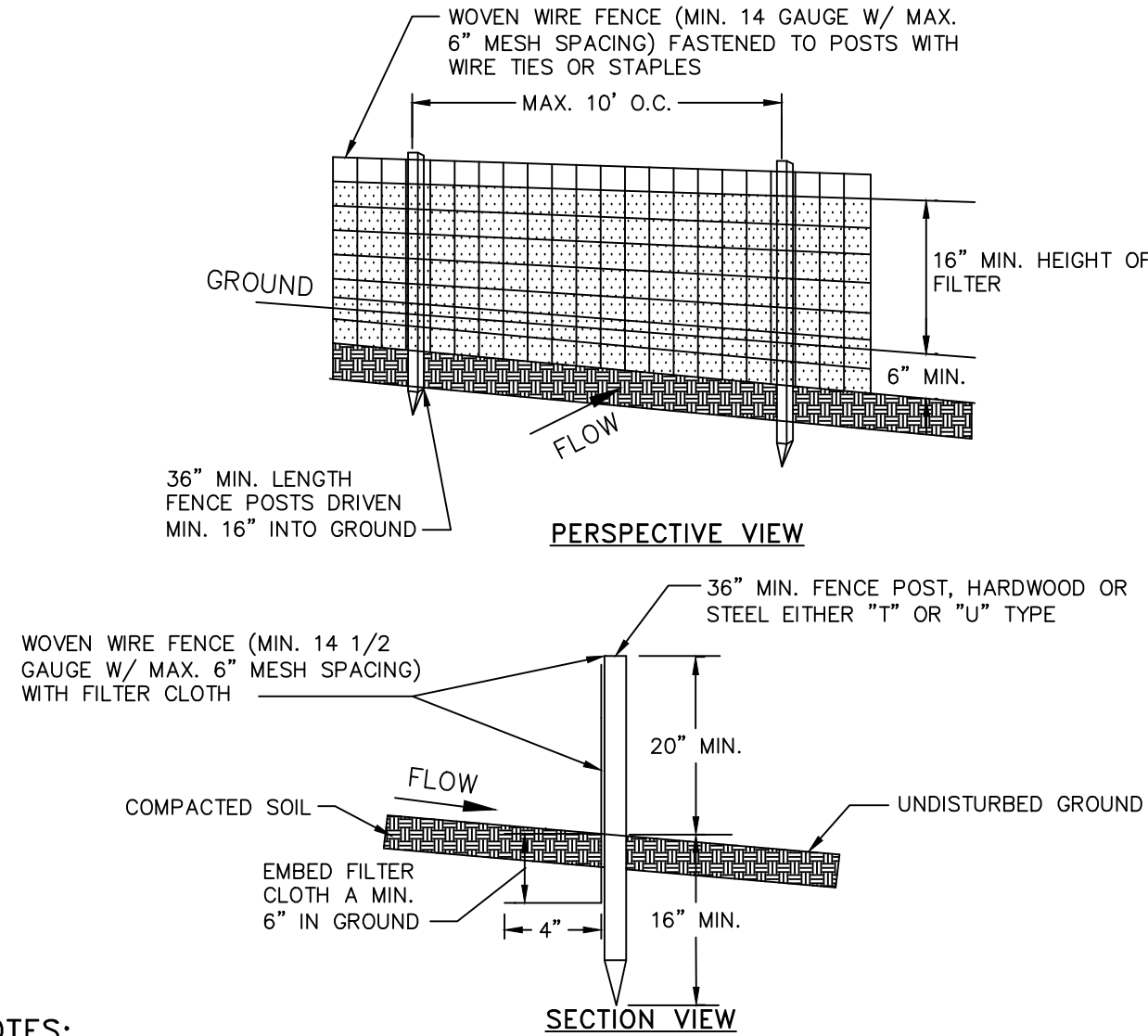
## TREE PLANTING DETAIL NOT TO SCALE



## NOTES:

- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N OR APPROVED EQUAL.
- PREFABRICATED UNITS SHALL BE GEOTAB, ENVIRONMENT OR APPROVED EQUAL.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

## SILT FENCE DETAIL NOT TO SCALE

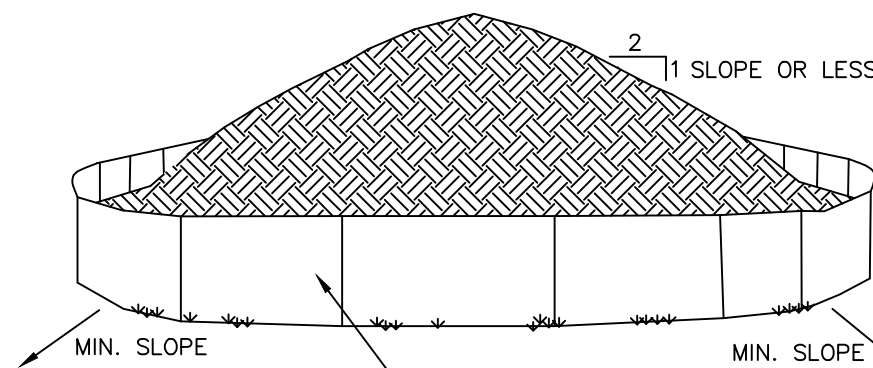


## SURVEY NOTES:

- SEE SHEET 1 FOR METES AND BOUNDS FOR EXISTING AND PROPOSED PROPERTY LINES.

## EROSION AND SEDIMENT CONTROL NOTES:

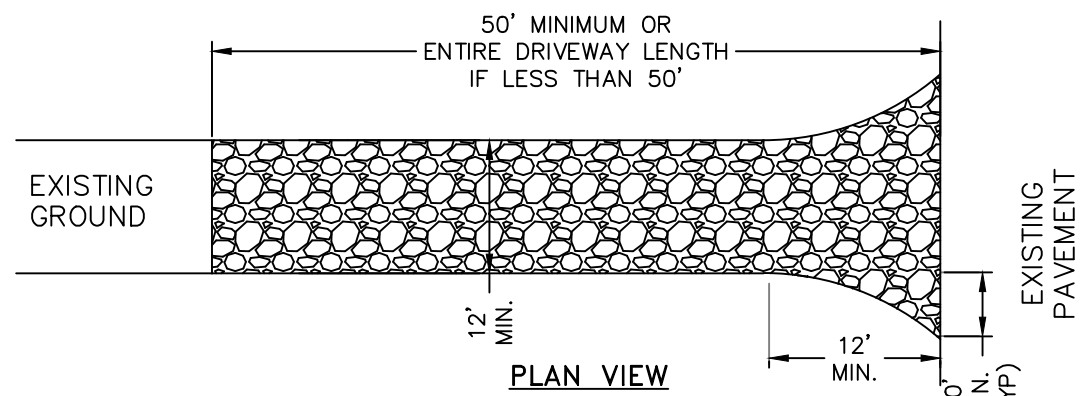
- ALL EROSION CONTROL MEASURES EMPLOYED DURING THE CONSTRUCTION PROCESS SHALL BE INSPECTED BY THE CONTRACTOR IN ACCORDANCE WITH THE MAINTENANCE SCHEDULE. ALL EROSION CONTROL STRUCTURES SHALL BE REPAIRED AND MAINTAINED AS NECESSARY BY THE CONTRACTOR.
- ALL STORMWATER MANAGEMENT STRUCTURES (E.G. CATCH BASINS) SHALL BE REGULARLY INSPECTED FOR SEDIMENT ACCUMULATIONS. CATCH BASINS SHALL BE CLEANED WHEN SEDIMENT DEPTH REACHES A MAXIMUM OF ONE-HALF THE AVAILABLE SUMP DEPTH.
- ALL EROSION CONTROL INSTALLATION AND MAINTENANCE MEASURES SHALL MEET THE REQUIREMENTS OF THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
- ANY PILE OF POTENTIALLY ERODIBLE MATERIAL TEMPORARILY STOCKPILED ON THE SITE DURING THE CONSTRUCTION PROCESS SHALL BE LOCATED IN AN AREA AWAY FROM STORM DRAINAGE AND SHALL BE PROPERLY PROTECTED FROM EROSION BY A SURROUNDING SILT FENCE.
- PERMANENT SEEDED AREAS FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH DETAIL AND SPECIFICATIONS ON THIS SHEET.
- AREAS UNDERGOING CLEARING OR GRADING AND WHERE WORK IS DELAYED OR COMPLETED AND WILL NOT BE REDISTURBED FOR A PERIOD OF 21 DAYS OR MORE SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT VEGETATIVE COVER WITHIN 14 DAYS.
- ON-SITE DUST CONTROL SHALL BE ACCOMPLISHED BY STANDARD METHODS OF LIGHTLY WATERING ALL EXPOSED SOIL AND RAPIDLY STABILIZING THE REGRADED AREAS WITH TOPSOIL, LOAM AND/OR SEEDING.
- THE CITY ENGINEER AND PROJECT ENGINEER SHALL BE NOTIFIED NO LESS THAN 48 HOURS PRIOR TO THE START OF ANY SITE WORK, AND BY SUCH NOTIFICATION, SHALL BE PROVIDED WITH THE NAME AND TELEPHONE NUMBER OF THE GENERAL CONTRACTOR RESPONSIBLE FOR SUCH WORK.
- THE CITY AND/OR ITS REPRESENTATIVES MAY INSPECT EROSION AND SEDIMENT CONTROL PRACTICES ON THE SITE DURING CONSTRUCTION AND RECOMMEND THAT THE CONTRACTOR INSTALL ADDITIONAL EROSION CONTROL MEASURES IF DEEMED NECESSARY TO PROTECT ANY UNDISTURBED AREAS OF THE SITE. ANY SUCH REQUESTS SHALL BE MADE DIRECTLY TO THE CONTRACTOR AND QUALIFIED PROFESSIONAL AND FOLLOWED UP WITH A WRITTEN NOTIFICATION TO THE DEVELOPER. IN ADDITION, THE PROJECT ENGINEER SHALL BE CONSULTED ON ANY SPECIAL ADDITIONS OR DELETIONS OF EROSION CONTROL MEASURES WARRANTED BY CHANGING FIELD CONDITIONS.
- IF GROUNDWATER IS ENCOUNTERED DURING CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL CONSTRUCT A DEWATERING PIT IN ACCORDANCE WITH NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL TO FILTER WATER FOR PUMPING TO A SUITABLE LOCATION.
- WHEN ALL DISTURBED AREAS ARE STABLE, ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED.



## NOTES:

- AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
- EACH PILE SHALL BE SURROUNDED WITH SILT FENCING, THEN STABILIZED WITH VEGETATION OR COVERED.

## TEMPORARY SOIL STOCKPILE DETAIL NOT TO SCALE



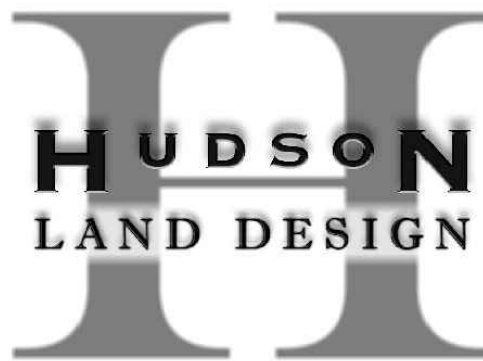
## NOTES:

- STONE SIZE - USE 1-4 INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - 12 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. 24 FOOT MINIMUM IF SINGLE ENTRANCE TO SITE.
- GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURE USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

## STABILIZED CONSTRUCTION ENTRANCE DETAIL NOT TO SCALE

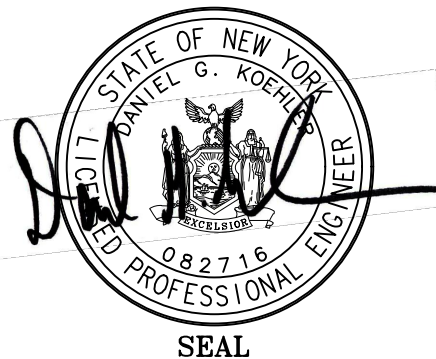
## EROSION & SEDIMENT CONTROL PLAN 32 ALICE ST. SUBDIVISION

32 ALICE STREET  
CITY OF BEACON  
DUTCHESS COUNTY, NEW YORK  
TAX ID: 6054-47-320616  
SCALE: 1" = 20'  
JUNE 26, 2018



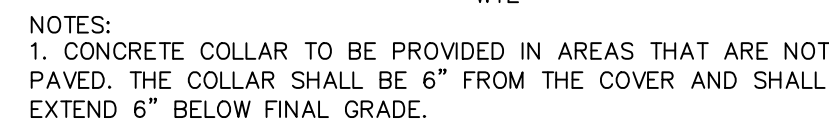
HUDSON LAND DESIGN  
PROFESSIONAL ENGINEERING P.C.

174 MAIN STREET  
BEACON, NEW YORK 12508  
PH: 845-440-6926 F: 845-440-6637



SHEET: 3 OF 5





NOTES:

1. EXCAVATION AND TRENCHING SHALL MEET ALL OSHA REQUIREMENTS.  
2. SUITABLE RUN OF TRENCH SHALL NOT INCLUDE FROZEN MATERIALS, DEBRIS, ORGANIC MATERIALS, LARGE STONES OR OTHER UNSUITABLE MATERIALS. IF THE RUN OF TRENCH MATERIAL IS FOUND TO BE UNSUITABLE, A SUITABLE BACKFILL MATERIAL SHALL BE IMPORTED AND USED.  
3. TAPPING SADDLE FOR CONNECTION OF THE PROPOSED SERVICE LINE TO THE EXISTING SEWER MAIN TO BE A 4" PREDCO HUB TAP SADDLE - MODEL #HTS4/4E.

NOTES:

2. SUITABLE RUN OF TRENCH SHALL NOT INCLUDE FROZEN MATERIALS, DEBRIS, ORGANIC MATERIALS, LARGE STONES OR OTHER UNSUITABLE MATERIALS. IF THE RUN OF TRENCH MATERIAL IS FOUND TO BE UNSUITABLE, A SUITABLE BACKFILL MATERIAL SHALL BE IMPORTED AND USED.

NOTES:	RECOMMENDATIONS
1. CONCRETE COLLAR TO BE PROVIDED IN AREAS THAT ARE NOT PAVED. THE COLLAR SHALL BE 6" FROM THE COVER AND SHALL EXTEND 6" BELOW FINAL GRADE.	
2. CURB STOP TO BE COMPRESSION TYPE BY MUELLER.	
3. AREA AROUND CURB BOX TO BE BACKFILLED WITH GRAVELLY MATERIAL.	

NOTES:

1. EXCAVATION AND TRENCHING SHALL MEET ALL OSHA REQUIREMENTS.
2. SUITABLE RUN OF TRENCH SHALL NOT INCLUDE FROZEN MATERIALS, DEBRIS, ORGANIC MATERIALS, ENLARGED PARTICLES, LARGE STONES OR OTHER UNSUITABLE MATERIALS. IF THE RUN OF TRENCH MATERIAL IS FOUND TO BE UNSUITABLE, A SUITABLE RUN OF MATERIAL SHALL BE IMPORTED AND USED.
3. IF A GAS AREA WHERE COVER REQUIREMENT CANNOT BE MET, THE CONTRACTOR SHALL PROVIDE PIPE IN COUPLER TO PREVENT FREEZING.
4. IF WATER SERVICE AND SEWER SERVICE LINE CROSSINGS ARE NEEDED, PROVIDE 18" OF VERTICAL SEPARATION

BRONZE TAPPING SADDLE -  
MULLER BR180684075  
OR APPROVED EQUAL

36" MIN

18" MIN

BRONZE TAPPING SADDLE -  
MULLER BR180684075  
OR APPROVED EQUAL

3/4" K-COPPER  
WATER SERVICE LINE

CORPORATION STOP

REPUTED 6" Ø  
CIP WATER MAIN

PLAN VIEW

SECTION VIEW

- NOTES:

1. A MINIMUM 5' COVER SHALL BE PROVIDED ON THE WATER SERVICE LINE (CONDITIONED ON ACTUAL WATER MAIN DEPTH).
2. CORPORATION STOP TO BE COMPRESSION TYPE BY MUELLER.
3. WATER SERVICE LINE TO HAVE A "GOOSENECK" NEAR CORPORATION STOP.
4. CORPORATION STOP TO BE INSTALLED IN THE UPPER HALF OF THE WATER MAIN AT AN ANGLE OF APPROXIMATELY 45° FROM HORIZONTAL.
5. THE CONTRACTOR SHALL INSTALL A FULL BODIED STAINLESS STEEL TAPPING SLEEVE AT THE PROPOSED WATER SERVICE LOCATION.

### VERTICAL SEPARATION



APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE

\_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_\_, SUBJECT TO ALL REQUIREMENTS AND  
CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT,  
AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY \_\_\_\_\_

CHAIRMAN

----- SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY  
RESPECTIVELY MAY SIGN IN THIS PLACE.

32 ALICE STREET  
CITY OF BEACON  
DUTCHESS COUNTY, NEW YORK  
TAX ID: 6054-47-320616  
SCALE: 1" = 20'  
JUNE 26, 2018



174 MAIN STREET  
BEACON, NEW YORK 12508  
PH: 845-440-6926 F: 845-440-6637

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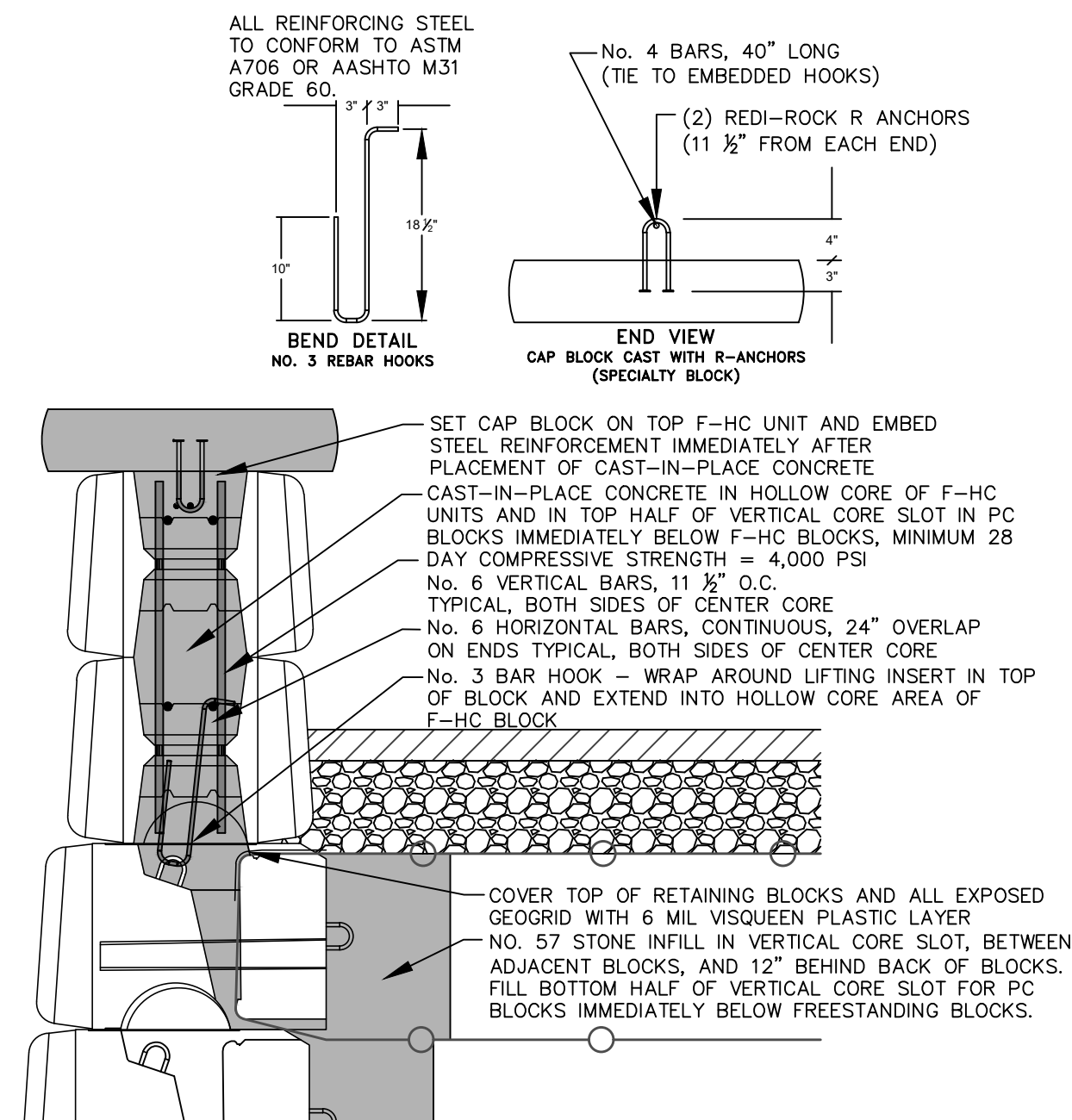


JON D. BODENDORF, P.E.  
NYS LICENSE NO. 076245  
DANIEL G. KOEHLER, P.E.  
NYS LICENSE NO. 082716

SHEET: 5 OF 5

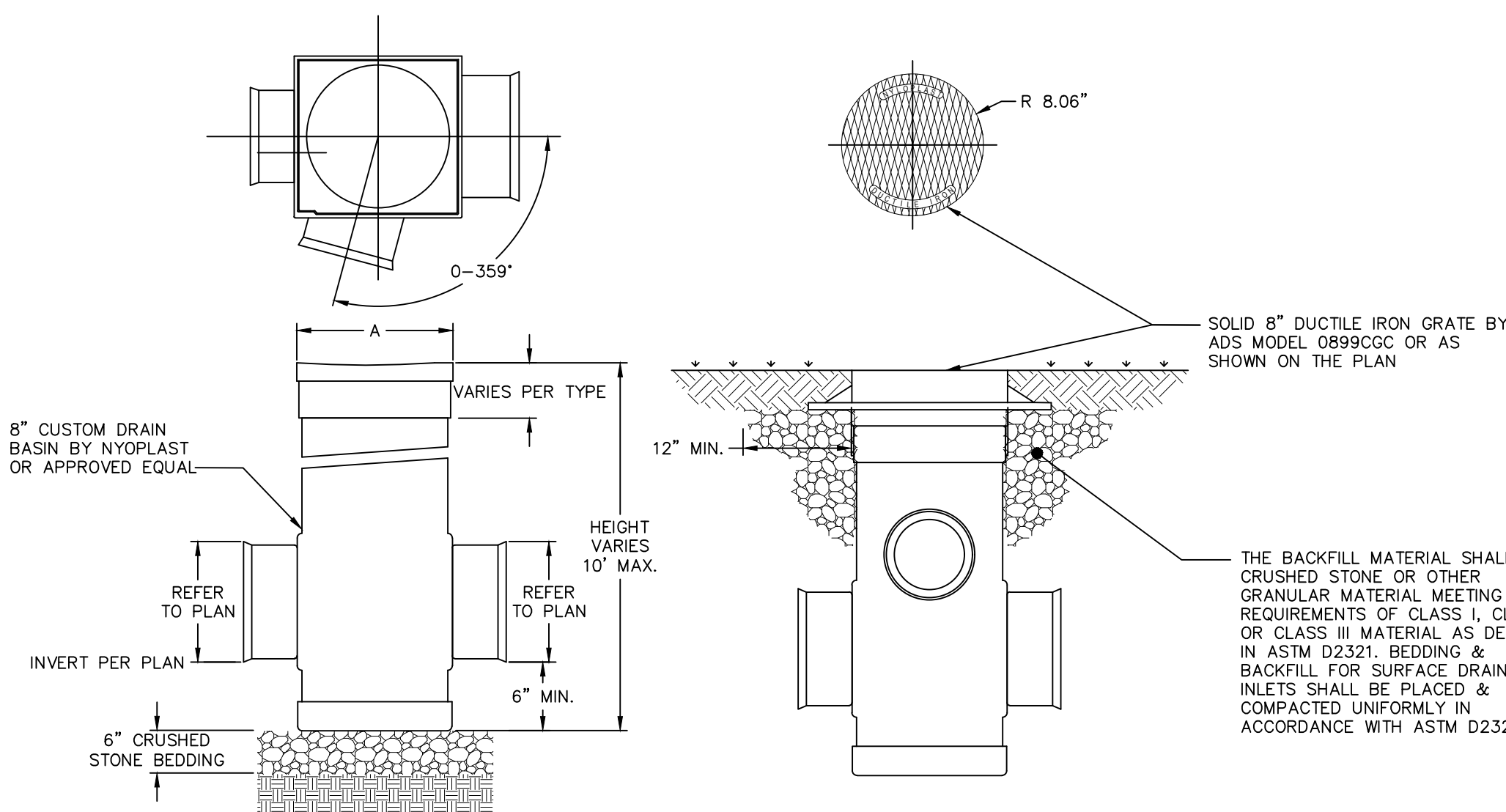




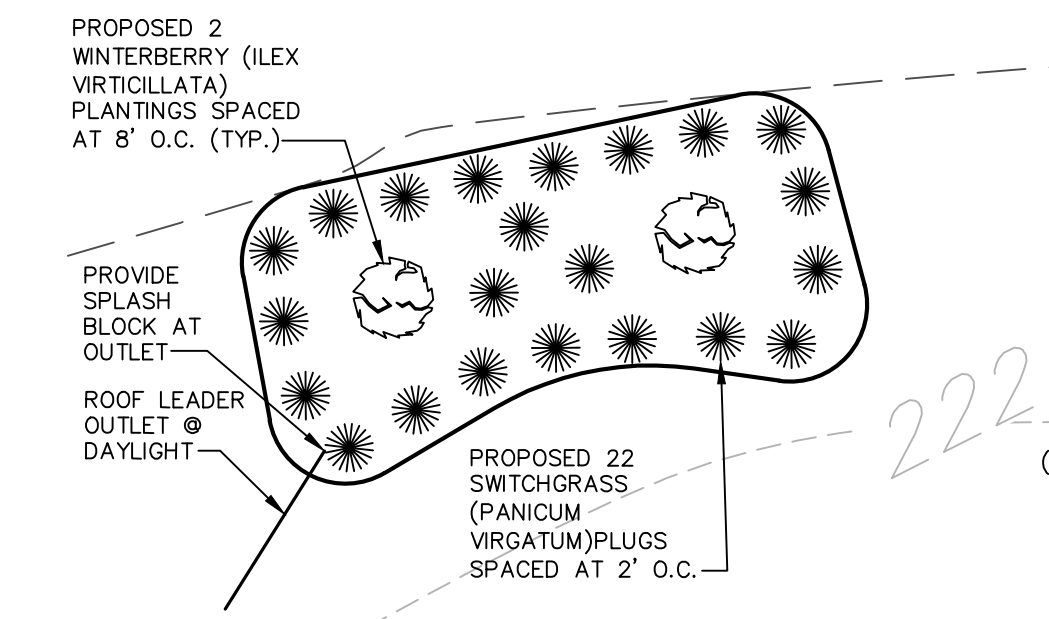


- NOTES:
1. RETAINING WALL MANUFACTURED BY REDI-ROCK OR APPROVED EQUAL.
  2. MANUFACTURER TO PROVIDE FINAL ENGINEERING CALCULATIONS AND DETAILS TO THE OWNER FOR REVIEW BY THE OWNERS ENGINEER.
  3. SEE MANUFACTURER'S DETAILS AND INSTALLATION GUIDELINES FOR FURTHER REQUIREMENTS.

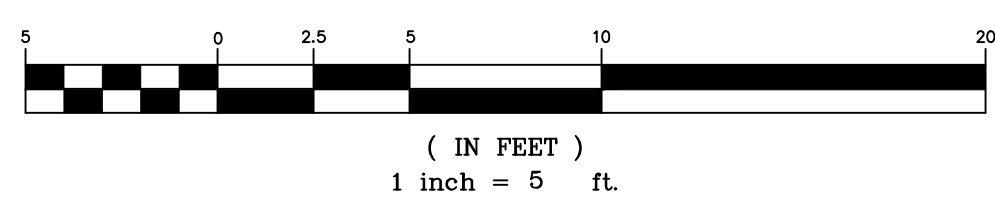
### REDI-ROCK PARAPET WALL DETAIL NOT TO SCALE



### DRAIN BASIN DETAIL NOT TO SCALE

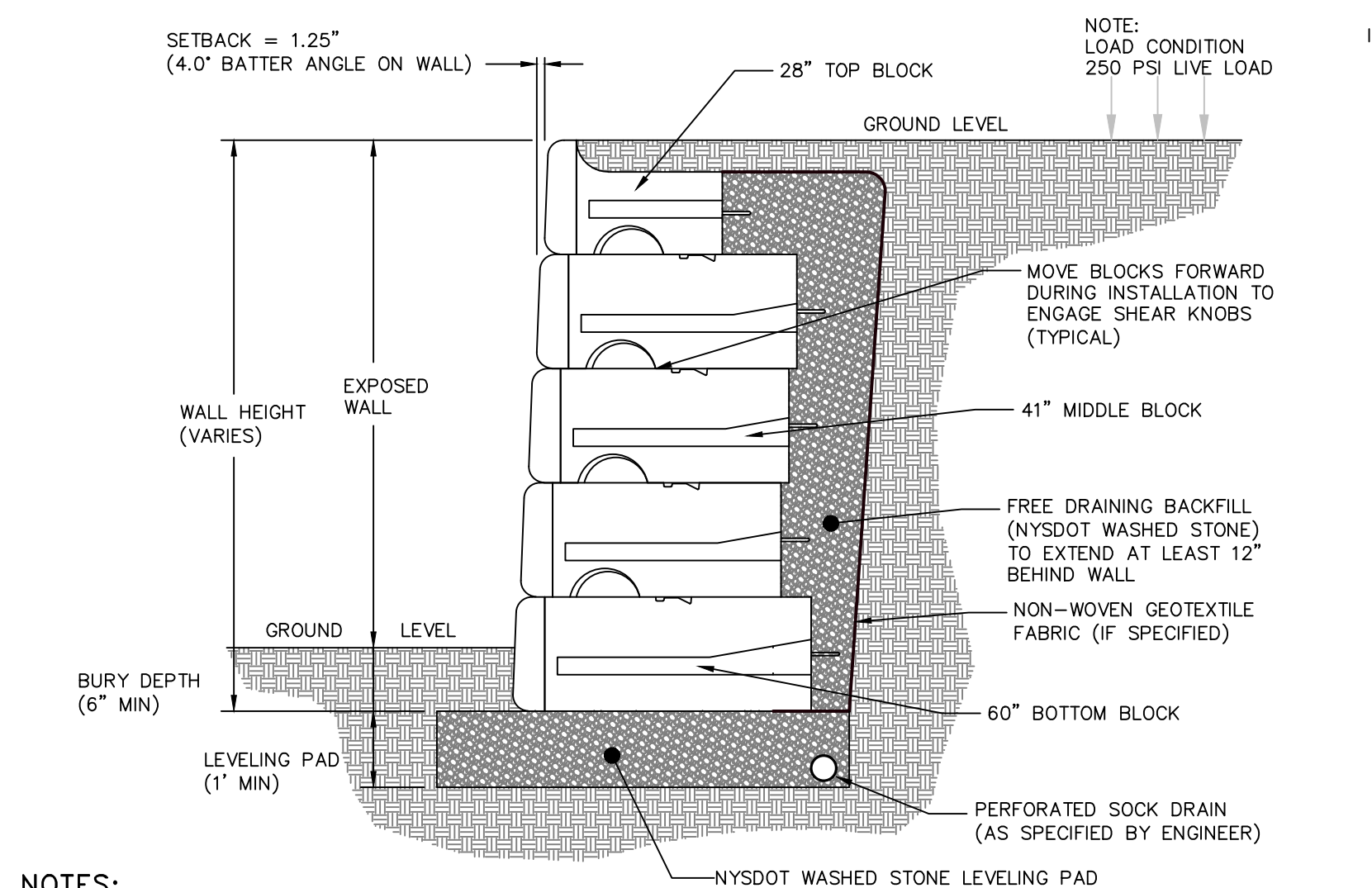


### RAIN GARDEN PLANTING PLAN SCALE: 1" = 5'

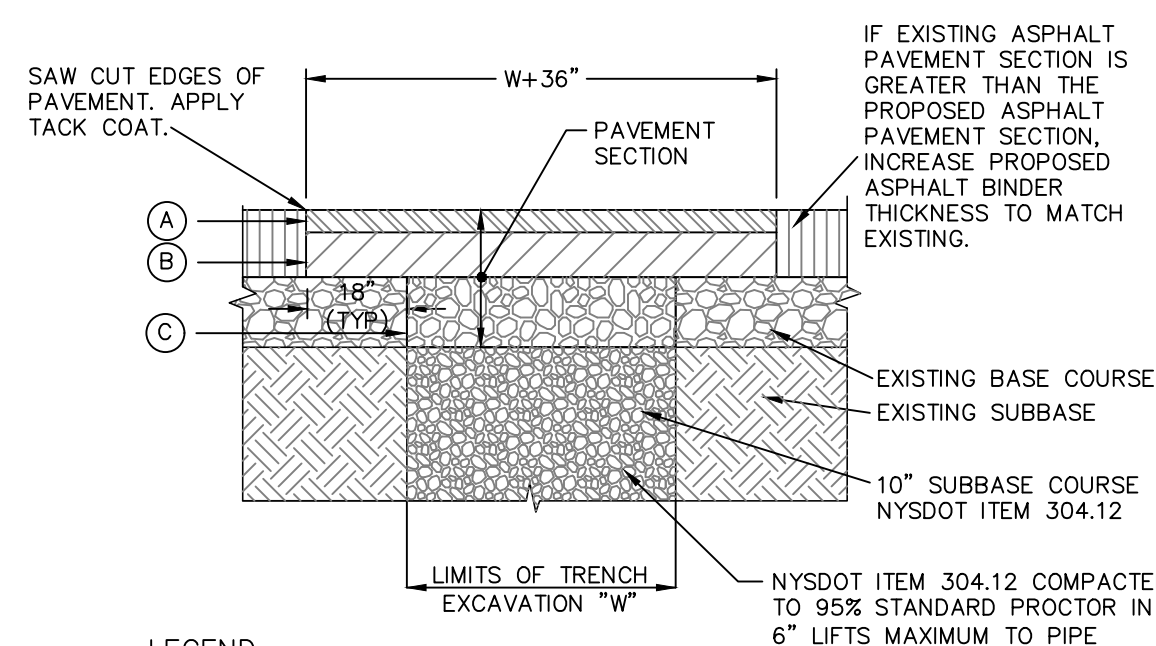


- NOTES:
1. RAIN GARDEN TO HAVE A MINIMUM FOOTPRINT OF 60 SQUARE FEET WITH 10:1 SIDE SLOPES AT 0.5' DEEP; 1.0' SOIL MEDIA DEPTH; 0.5' DRAINAGE LAYER DEPTH; AND 0.5' PONDING DEPTH.
  2. DIRECT ROOF LEADER DISCHARGE TO RAIN GARDEN.
  3. PLANTS SHALL BE PLACED IN AREA SHOWN ON THE PLAN.
  4. SOIL COMPOSITION SHALL CONSIST OF 50-70% SAND (LESS THAN 5% CLAY CONTENT), 30-50% TOPSOIL WITH AN AVERAGE OF 5% ORGANIC CONTENT. SOIL SHALL BE FREE FROM COMPOST OR PEAT, STONES, ROOTS, WOODY DEBRIS AND ANIMAL WASTE.

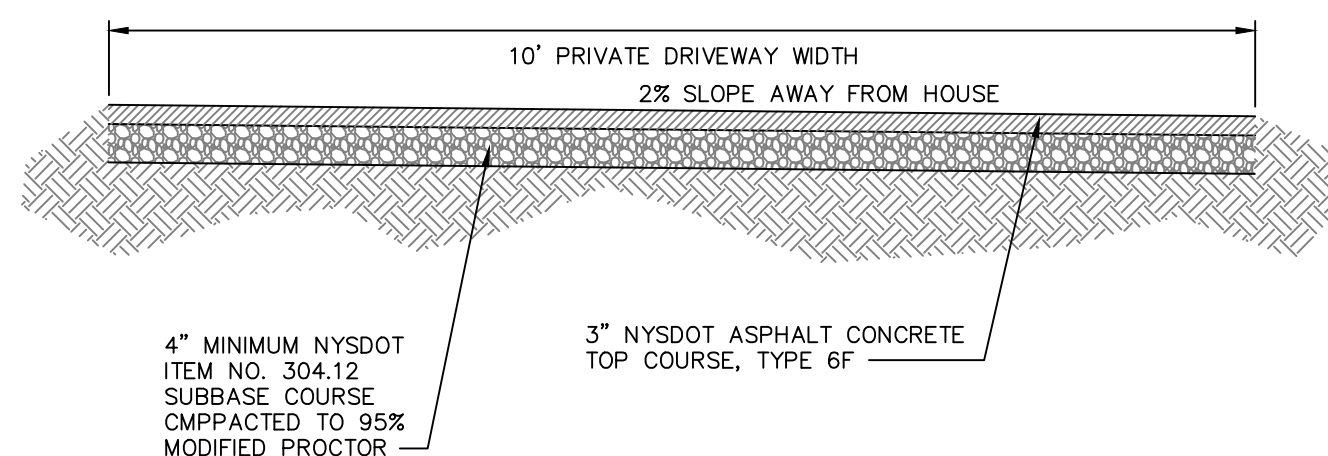
### TYPICAL RAIN GARDEN DETAIL NOT TO SCALE



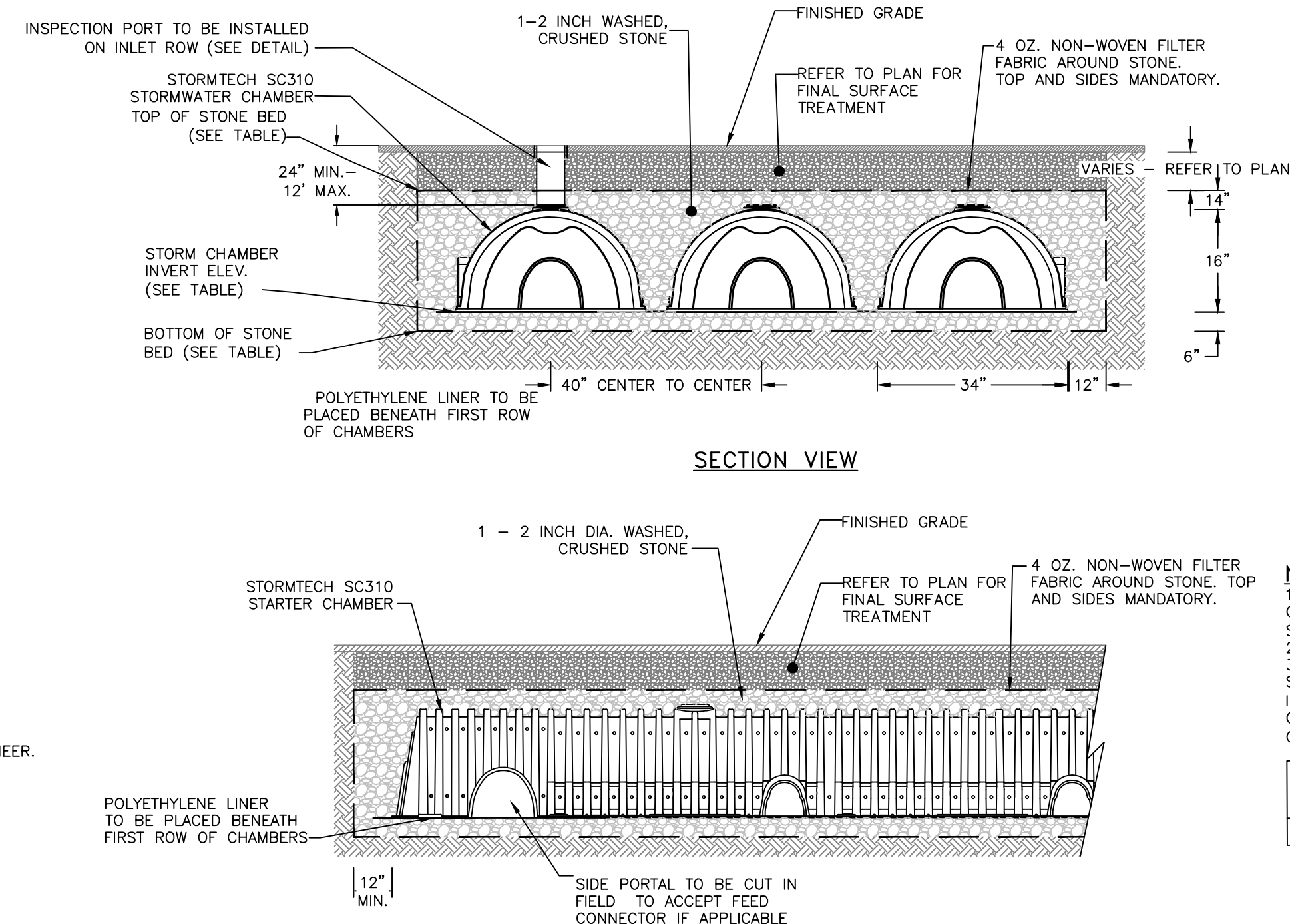
### TYPICAL REDI-ROCK GRAVITY WALL WITH 41" BLOCKS NOT TO SCALE



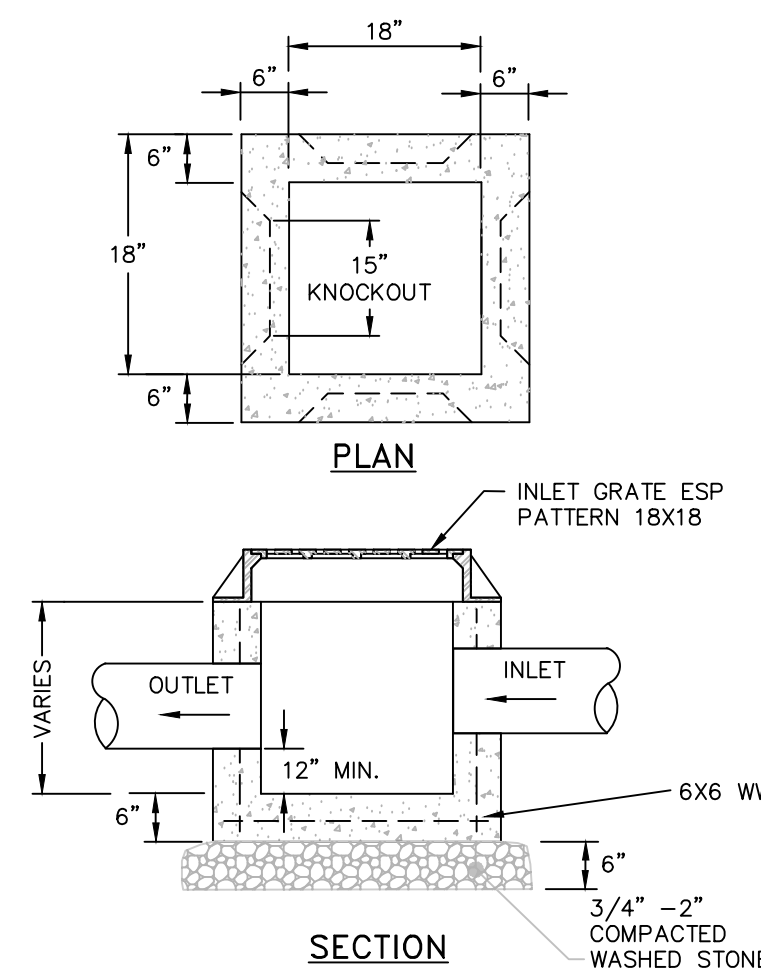
### PAVEMENT RESTORATION DETAIL NOT TO SCALE



### PAVED DRIVEWAY SECTION DETAIL NOT TO SCALE

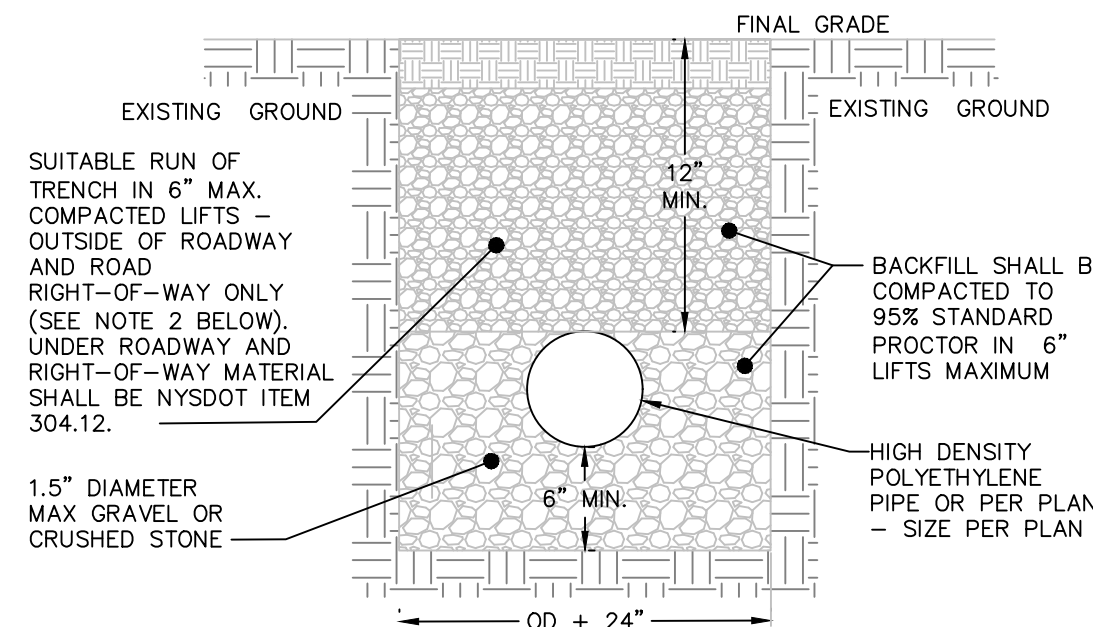


### UNDERGROUND DETENTION SYSTEM DETAIL NOT TO SCALE



- NOTES:
1. YARD INLET BASINS SHALL BE PRE CAST REINFORCED CONCRETE. SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4,000 PSI AND SHALL BE IN CONFORMANCE WITH ASTM 478-68. WALLS AND BASE SHALL BE ONE PIECE CONSTRUCTION. YARD INLET BASIN SHOWN BY EXPANDED SUPPLY PRODUCTS (ESP), 3330 ROUTE 9, COLD SPRING, NY (845) 265-3771.
  2. BACK FILL USING SELECT MATERIAL, COMPACTED IN 6" LIFTS.
  3. SUMP SHALL BE 12" MIN.
  4. FRAMES AND GRATES SHALL BE SET IN A FULL BED OF MORTAR.

### PRE-CAST CONCRETE YARD INLET DETAIL NOT TO SCALE



### STORM LINE TRENCH DETAIL NOT TO SCALE

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE

DAY OF 20\_\_\_\_\_, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION, ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_\_, BY

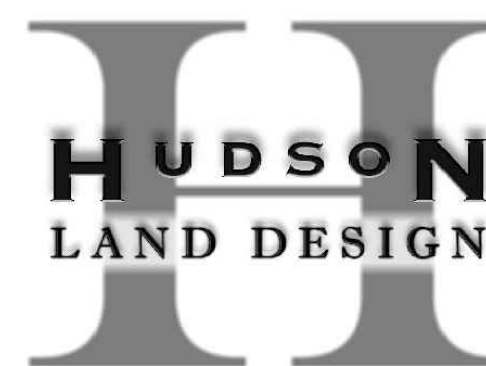
CHAIRMAN

SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

## CONSTRUCTION DETAILS 32 ALICE ST. SUBDIVISION

32 ALICE STREET  
CITY OF BEACON  
DUTCHESS COUNTY, NEW YORK  
TAX ID: 6054-47-320616  
SCALE: 1" = 20'  
JUNE 26, 2018



HUDSON LAND DESIGN  
PROFESSIONAL ENGINEERING P.C.

174 MAIN STREET  
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JON D. BODENDORF, P.E.  
NYS LICENSE NO. 076245  
DANIEL G. KOEHLER, P.E.  
NYS LICENSE NO. 082716

SHEET: 4 OF 5



DRAWN BY: AG		CHECKED BY: DGK	JOB NO.: 2018-014
REVISIONS:			
NO.	DATE	DESCRIPTION	BY
1	07/31/18	REVISED LAYOUT CONSULTANTS COMMENTS	AG
2	09/25/18	REVISED PER CONSULTANTS COMMENTS	AG



**City of Beacon Planning Board**  
**10/10/2018**

**Title:**

**554 Main Street**

**Subject:**

Public hearing on application to amend an existing Site Plan Approval, Residential/Professional Office/Restaurant with outdoor seating and entertainment area, 554 Main Street, submitted by Dana Collins

**Background:**

**City of Beacon Planning Board**  
**10/10/2018**

**Title:**

**Zoning Board of Appeals**

**Subject:**

Zoning Board of Appeals – October Agenda

**Background:**

**City of Beacon Planning Board**  
**10/10/2018**

**Title:**

**Meeting Date Change**

**Subject:**

Change meeting date – Wednesday, November 14, 2018 (*due to Veteran's Day Holiday*)

**Background:**

**City of Beacon Planning Board**  
**10/10/2018**

**Title:**

**98 Rombout Avenue**

**Subject:**

Single Family House – 98 Rombout Avenue; new single family house

**Background:**

**City of Beacon Planning Board**  
**10/10/2018**

**Title:**

**Beekman Street "The View"**

**Subject:**

Beekman Street "The View" proposed modification of retaining wall finish material

**Background:**

**City of Beacon Planning Board**  
**10/10/2018**

**Title:**

**432 Main Street**

**Subject:**

Certificate of Appropriateness – 432 Main Street; façade improvements

**Background:**

**ATTACHMENTS:**

Description	Type
432 Main Application	Application
432 Main Street Elevations	Backup Material



**ARCHITECTURAL REVIEW BOARD APPLICATION**

Date: September 25, 2018

Project Address: 432 Main Street

Project Architect/Engineer: Aryeh Siegel Architect

Owner/Builder: Neil Vaughn

Approval Requested: ☒ Certificate of Appropriateness ☐ New Single Family House

Color/Materials:

Siding: N/A

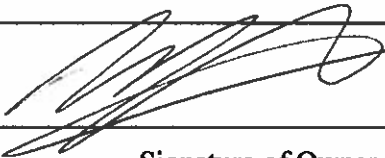
Roofing: N/A

Windows: Color: See plans Type: Storefront

Trim: See plans

Garage Door: N/A

Stone/Brick: N/A

  
\_\_\_\_\_  
Signature of Owner

FOR OFFICE USE ONLY:

The Architectural Review Board has reviewed the plans submitted for approval for the project listed above and has determined:

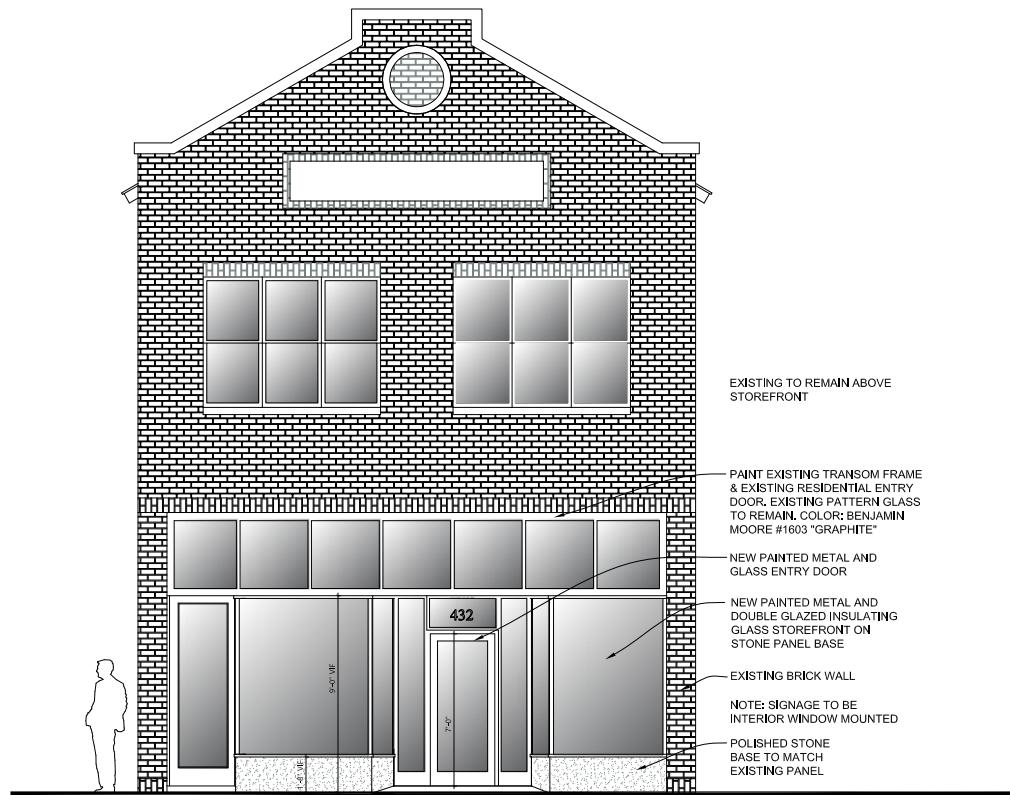
Plan Denied \_\_\_\_\_  
(Date)

Plan Approved \_\_\_\_\_  
(Date)

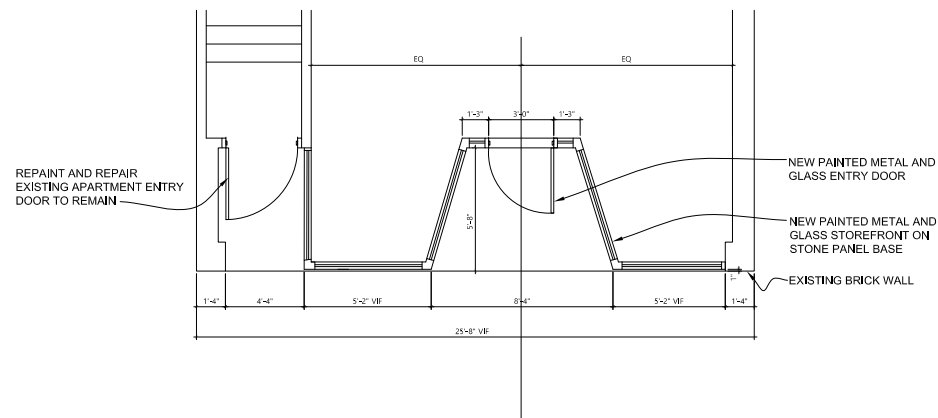
Subject to the following:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

FEE: \$100.00



ELEVATION: PROPOSED



PLAN: PROPOSED



PHOTO - STOREFRONT IN 2018

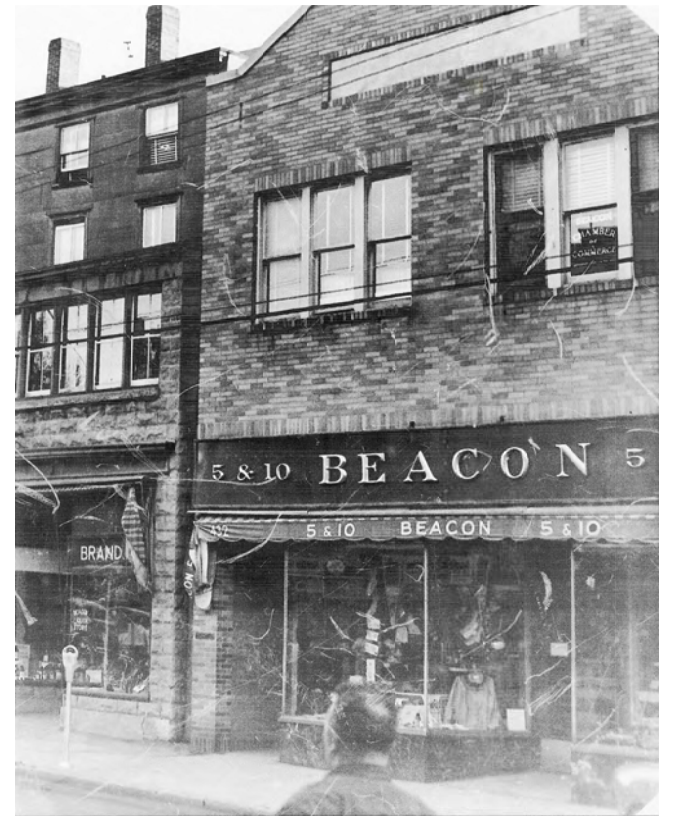


PHOTO - STOREFRONT IN 1949



PROPOSED STOREFRONT



PROPOSED STOREFRONT

# Architectural Review Board Application

Sheet 1