

BEACON PLANNING BOARD
One Municipal Plaza - Courtroom
BEACON, NEW YORK 12508
Phone (845) 838-5002 Fax (845) 838-5026

The Planning Board will meet on **Tuesday, October 8, 2019** in the Municipal Center Courtroom. A work session will take place at 7:00 PM for a training workshop, discussion of agenda items and/or topics of interest to the Planning Board. The regular meeting will begin immediately thereafter, but not later than 7:30 p.m.

- **Regular Meeting**

1. 162 Main Street
Continue public hearing on application to amend existing Site Plan Approval, to add apartment, stairwell and commercial space, 162 Main Street, submitted by The Hose Company, LLC (*postponed to November 13th at applicant's request*)
2. 184 Main Street
Continue public hearing on application for Site Plan Approval, one story extension, Retail, 184 Main Street, submitted by 184 Main Street, LLC
3. 296 Main Street
Continue review of applications for Special Use Permit and Site Plan Approval, Bar and Arcade, 296 Main Street, submitted by Happy Valley Arcade, LLC

- **Miscellaneous Business**

1. November Meeting Date
Change Meeting Date from **Tuesday, November 12th** to **Wednesday, November 13th** due to Veterans' Day Holiday – City Offices closed
2. Zoning Board of Appeals
Zoning Board of Appeals – October agenda
3. 1181 North Avenue
Consider request for an additional 90-day extension of Subdivision Approval – 1181 North Avenue, submitted by North Avenue Properties, LLC (Schofield)
4. Local Law Review
City Council request to review proposed Local Law amending the Historic District and Landmark Overlay Map (HDLO) and Zoning Map by the addition of 35 landmarked properties
5. Review Local Law
City Council request to review Local Law amending Chapter 223, Article III concerning conformity required for land use approvals.

- **Architectural Review**

1. St. Luke's Place
Single Family House – St. Luke's Place
2. River Ridge - Parcel L
River Ridge – architectural amendment; add porch roofs over all entrances
3. 1228 North Avenue
Certificate of Appropriateness – 1228 North Avenue; revised elevations

City of Beacon Planning Board
10/8/2019

Title:

162 Main Street

Subject:

Continue public hearing on application to amend existing Site Plan Approval, to add apartment, stairwell and commercial space, 162 Main Street, submitted by The Hose Company, LLC (***postponed to November 13th at applicant's request***)

Background:

City of Beacon Planning Board
10/8/2019

Title:

184 Main Street

Subject:

Continue public hearing on application for Site Plan Approval, one story extension, Retail, 184 Main Street, submitted by 184 Main Street, LLC

Background:

ATTACHMENTS:

Description	Type
184 Main Street Site Plan	Plans
184 Main Street I & I Report	Backup Material
184 Main Street Dutchess County Planning Referral Response	Backup Material
Engineer Review Letter	Consultant Comment
Planner Review Letter	Consultant Comment



15' VARIANCE GRANTED FOR REAR YARD SETBACK AT 08/20/2019 ZONING BOARD OF APPEALS MEETING



John Stinemire, P.E.
Consulting Engineer
15 Railroad Avenue- Suite 201 Kingston, New York 12401
Telephone (845) 331-8806
Fax (845) 331-4890

May 30, 2019

Mr. Joseph Buglino, RA
Alfandre Architecture, PC
231 Main Street Suite 201
New Paltz, NY 12561

RE: Utility Cross Connections
MOD Project, 184 Main Street
Beacon, New York

Dear Joe:

On May 29, 2019 I inspected the exposed portions of the existing utilities at the above referenced site for potential cross connections.

There is one internal roof drain toward the rear of the roof. The roof drain exits on the north-east corner of the building and discharges to the ground surface near the rear of the building. There are no site drains and no sump pumps at this building.

I found no evidence of any illegal cross connections with the existing utilities at this site.

Should you have any questions, please contact me.

Very truly yours,

A handwritten signature in black ink, appearing to read "John Stinemire", written in a cursive style.

John Stinemire, P.E.
Consulting Engineer

REC'D 2019 SEP 16 PM 1:45 DCP

**Dutchess County Department of
Planning and Development**

Fax Info	To	Date	# pgs
	Dept	From	
	Fax #	Phone #	

239 Planning/Zoning Referral – Exemption Communities

Municipality: City of Beacon

Referring Agency: ☒ Planning Board ☐ Zoning Board of Appeals ☐ Municipal Board

Tax Parcel Number(s): 5954-27-811956

Project Name: 184 Main Street Expansion - one story rear extension, second floor no longer proposed

Applicant: 184 Main Street, LLC

Address of Property: 184 Main Street

Please fill in this section

**Parcel(s) within
500 feet of:**

- ☐ State Road _____
- ☐ County Road _____
- ☐ State Property (w/public building or recreation area)
- ☒ County Property (w/public building or recreation area)
- ☐ Municipal Boundary
- ☐ Farm operation in an Agricultural District

Actions Requiring 239 Review

- ☐ Comprehensive/Master Plans
- ☐ Zoning Amendments (standards, uses, definitions, district regulations, etc.)
- ☐ Rezoning involving all map changes
- ☐ Other Local Laws associated with zoning (wetlands, historic preservation, affordable housing, architectural review, etc.)
- ☐ Site Plans (all)
- ☐ Special Permits for all non-residential uses
- ☐ Use Variances for all non-residential uses
- ☐ Area Variances for all non-residential uses

**Exempt Actions:
239 Review is NOT Required**

- Administrative Amendments (fees, procedures, penalties, etc.)
- Special Permits for residential uses (accessory apts, home occupations, etc.)
- Use Variances for residential uses
- Area Variances for residential uses
- Renewals/Extension of Site Plans or Special Permits that have no changes from previous approvals
- Subdivisions / Lot Line Adjustments
- Interpretations

☐ Exempt Action submitted for informal review

Date Response Requested (if less than 30 days): October 8, 2019

If subject of a previous referral, please note County referral number(s): ZR 19-137 **SD19-183**** These actions are only exempt in municipalities that signed an intermunicipal agreement with Dutchess County to that effect.***FOR COUNTY OFFICE USE ONLY****Response from Dutchess County Department of Planning and Development****No Comments:**

- ☒ Matter of Local Concern
- ☐ No Jurisdiction
- ☐ No Authority
- ☐ Project Withdrawn
- ☐ Exempt from 239 Review

Comments Attached:

- ☐ Local Concern with Comments
- ☐ Conditional
- ☐ Denial
- ☐ Incomplete — municipality must resubmit to County
- ☐ Incomplete with Comments — municipality must resubmit to County
- ☐ Informal Comments Only (Action Exempt from 239 Review)

Date Submitted: **9/12/19**Date Received: **9/16/19**Date Requested: **10/8/19**Date Required: **10/11/19**Date Response Faxed: **9/17/19**

Notes:

☐ Major ProjectReferral #: **19-304**☐ Also mailed
hard copyReviewer: 

LANC & TULLY
ENGINEERING AND SURVEYING, P.C.

John J. O'Rourke, P.E., Principal
David E. Higgins, P.E., Principal
John Queenan, P.E., Principal

Rodney C. Knowlton, L.S., Principal
Jerry A. Woods, L.S., Principal

John D. Russo, P.E., Principal
John Lane, P.E., L.S.
Arthur R. Tully, P.E.

October 2, 2019

Mr. John Gunn
Beacon Planning Board Chair
City of Beacon
1 Municipal Plaza
Beacon, NY 12508

RE: 184 Main Street
City of Beacon
Tax Parcel 5954-27-811956

Dear Mr. Gunn:

My office has received the following in regards to the above application:

- Inflow and Infiltration (I&I) report dated May 30, 2019 from John Stinemire, P.E.
- Plan entitled "Site Plan Application – Meyer's Olde Dutch", dated September 20, 2019, as prepared by Alfandre Architecture.

Based on our review of the above we offer the following comment, which has been requested in several of our past review correspondences.

Site Plan

1. The location of the existing utilities (water, sewer, etc.) servicing the site should be shown on the plans. The plan should note as to whether these services will be re-used or if new services will be installed as part of the project.

This completes our review at this time. Further comments may be provided based on future submissions. If you have any questions, or require any additional information, please do not hesitate to contact our office.

Very truly,

LANC & TULLY, P.C.


John Russo, P.E.

cc: John Clarke, Planner
Jennifer Gray, Esq.
David Buckley, Building Inspector

John Clarke Planning and Design

25 Beech Street, Rhinebeck NY 12572

jclarkeplandesign@gmail.com

845.797.4152

To: John Gunn, Chair, and the City of Beacon Planning Board

Date: October 3, 2019

Re: **184 Main Street Site Plan**

I have reviewed the Site Plan and Renderings sheet, dated September 20, 2019.

Proposal

The applicant is proposing to expand an existing 1-story restaurant with a longer 1-story building and new storefront. The parcel is in the Central Main Street (CMS) district and the Historic District and Landmark Overlay (HDLO) Zone.

Comments and Recommendations

1. The existing building is in the Lower Main Street National Register Historic District and the HDLO, so it will need a Certificate of Appropriateness as part of the approval process. The proposed building design appears meet the Historic Preservation criteria in Section 134-7 and the CMS design standards in 223-41.18 J.
2. The front building elevation should be at a large enough scale to effectively represent construction details and materials on the new storefront. Proposed colors should be provided for the south and west sides.
3. One garbage container in the rear encroaches into the alley easement and beyond the fence line, which is intended to provide screening from neighboring properties.
4. The exhaust fan and any vents should be located on the site plan, as far away as possible from adjacent residential uses.

If you have any questions or need additional information, please feel free to contact me.

John Clarke, Beacon Planning Consultant

c: Dave Buckley, Building Inspector
Jennifer L. Gray, Esq., City Attorney
Arthur R. Tully, P.E., City Engineer
John Russo, P.E., City Engineer
Joe Buglino, R.A., Project Architect

City of Beacon Planning Board
10/8/2019

Title:

296 Main Street

Subject:

Continue review of applications for Special Use Permit and Site Plan Approval, Bar and Arcade, 296 Main Street, submitted by Happy Valley Arcade, LLC

Background:

ATTACHMENTS:

Description	Type
296 Main Street Cover Letter	Cover Memo/Letter
296 Main Street Entity Disclosure Form	Backup Material
296 Main Street Narrative	Backup Material
296 Main Street Sheet 1 Site Plan	Plans
296 Main Street Sheet 2 Existing Survey Demolition Plan	Plans
296 Main Street Sheet 2 Existing Survey Demolition Plan	Plans
296 Main Street Sheet 3 Plans and Elevations	Plans
296 Main Street Sheet 4 Stormwater Utility Plan	Plans
Engineer Review Letter	Consultant Comment
Planner Review Letter	Consultant Comment

ARYEH SIEGEL

ARCHITECT

John Gunn - Planning Board Chairman
City of Beacon
One Municipal Plaza
Beacon, NY 12508

Re: 296 Main Street Bar, Beacon, New York
Site Plan Application – Responses to Comments

May 28, 2019

Dear Chairman Gunn and Members of the Planning Board,

Below please find our responses to the comments included in John Clarke Planning and Design's Memorandum, dated September 6, 2019. Lanc & Tully does not have comments that need to be addressed.

John Clarke Planning and Design Comment Responses:

Site Plan Comments:

1. The Zoning Regulations Table has been updated regarding front setback, building frontage, and minimum landscaped area.
2. The site plan has been updated to add more landscaping. The landscaped area is 10% of the site area.
3. The parking table has been corrected. The Building Inspector confirmed that the 1964 parking exemption applies to this application.
4. Hours of operation has been updated on the site plan.
5. The previously proposed fence has been changed to a hedge and gate. This is reflected on the site plan.
6. The front step will remain, and is shown to remain on the demolition plan.
7. The public entrance is through the courtyard from Main Street.
8. A Narrative has been included in this submission regarding use of the garage doors and other items.

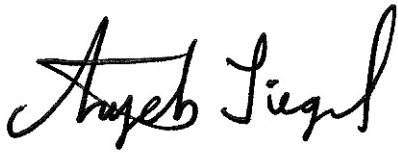
ARYEH SIEGEL
ARCHITECT

9. Sheet 4 has been updated and corrected.

10. Comment acknowledged.

Thank you. Please let me know if you have any questions.

Sincerely,

A handwritten signature in black ink, reading "Aryeh Siegel". The signature is written in a cursive, flowing style with a large initial 'A'.

Aryeh Siegel
Aryeh Siegel, Architect

FOR OFFICE USE ONLY

Application #

CITY OF BEACON
1 Municipal Plaza, Beacon, NY
Telephone (845) 838-5000 • <http://cityofbeacon.org/>

ENTITY DISCLOSURE FORM

(This form must accompany every land use application and every application for a building permit or certificate of occupancy submitted by any entity)

Disclosure of the names and addresses of all persons or entities owning any interest or controlling position of any Limited Liability Company, Partnership, Limited Partnership, Joint Venture, Corporation or other business entity (hereinafter referred to as the "Entity") filing a land-use application with the City is required pursuant to Section 223-61.4 of the City Code of the City of Beacon. If any Member of the Entity is not a natural person, then the names and addresses as well as all other information sought herein must be supplied about the non-natural person member of that Entity, including names, addresses and Formation filing documents. Applicants shall submit supplemental sheets for any additional information that does not fit within the below sections, identifying the Section being supplemented.

SECTION A.**IF AFFIANT IS A PARTNERSHIP, JOINT VENTURE OR OTHER BUSINESS ENTITY, EXCEPT A CORPORATION:**

Name of Entity	Address of Entity
Place where such business entity was created	Official Registrar's or Clerk's office where the documents and papers creating entity were filed
Date such business entity or partnership was created	Telephone Contact Information

IF AFFIANT IS A CORPORATION:

Name of Entity	Telephone Contact Information
Principal Place of Business of Entity	Place and Date of incorporation
Method of Incorporation	Official place where the documents and papers of incorporation were filed

SECTION B. List all persons, officers, limited or general partners, directors, members, shareholders, managers, and any others with any interest, mortgage, encumbrance or other interest (recorded or unrecorded) in or with the above referenced Entity. List all persons to whom corporate stock has been pledged, mortgaged or encumbered and with whom any agreement has been made to pledge, mortgage or encumber said stock. Use a supplemental sheet to list additional persons.

Name	Resident Address	Resident Telephone Number	Nature and Extent of Interest

Refer to building owners "Entity Disclosure Form" for Section C response

SECTION C. List all owners of record of the subject property or any part thereof.

Name	Residence or Business Address	Telephone Number	Date and Manner title was acquired	Date and place where the deed or document of conveyance was recorded or filed.

SECTION D. Is any owner, of record or otherwise, an officer, director, stockholder, agent or employee of any person listed in Section B-C?

☐

YES

☐

NO

Name	Employer	Position

SECTION E. Is any party identified in Sections A- C an officer, elected or appointed, or employee of the City of Beacon or related, by marriage or otherwise, to a City Council member, planning board member, zoning board of appeals member or employee of the City of Beacon ?

☐

YES

☐

NO

If yes, list every Board, Department, Office, agency or other position with the City of Beacon with which a party has a position, unpaid or paid, or relationship and identify the agency, title, and date of hire.

Agency	Title	Date of Hire, Date Elected, or Date Appointed	Position or Nature of Relationship

SECTION F. Was any person referred to in Sections A-D known by any other name within five (5) years preceding the date of the application?

☐

YES

☐

NO

Current Name	Other Names

SECTION G. List the names and addresses of each person, business entity, partnership and corporation in the chain of title of the subject premises for the five (5) years next preceding the date of the application.

Name	Address

SECTION H. If the applicant is not a record owner of the subject property, describe the applicant's interest in the subject property and the relationship the applicant has to the record owner(s) of the subject property.

SECTION I. If the applicant is a contract vendee, a duplicate original or photocopy of the full and complete contract of purchase, including all riders, modification and amendments thereto, shall be submitted with the application. Any sensitive or confidential information may be redacted from the contract prior to production.

SECTION J.

1. Where the record owner or contract vendee is a corporation, the following additional information shall be submitted:

Name of the Corporation	Telephone Contact Information
Principal Business Address	Place and Date of Incorporation
Method of Incorporation	Official place where the documents and papers of incorporation were filed

2. Please provide the following information for every incorporator, officer, director and shareholder of the corporation.

Name	Residence or business address	Telephone number

3. Have any shares of the stock of the corporation or of any stockholder been pledged, mortgaged or encumbered?

☐ YES

☐ NO

If so, please list the name and address of each person having, holding, owning or claiming any such interest.

Name	Address

SECTION K. Have the present owners entered into a contract for the sale of all or any part of the subject property and, if in the affirmative, please provide a duplicate original or photocopy of the fully and complete contract of sale, including all riders, modifications and amendments thereto.

☐ YES

☐ NO

I, _____ being first duly sworn, according to law, deposes and says that I am (Title) _____, an active and qualified member of the _____, a business duly authorized by law to do business in the State of New York, and that the statements made herein are true, accurate, and complete.

(Print) _____

(Signature)  _____

Special Permit Narrative

296 Main Street

Proposed Bar / Arcade

September 24, 2019

Summary

The Applicant proposes a Bar use with Arcade games at 296 Main Street. The Planning Board requested additional information about the operation of the Bar / Arcade.

1. Arcade Game List

The following is a list of proposed cabinet games:

- a. Donkey Kong
- b. Missile Command
- c. Galaxian
- d. High Impact Football
- e. Cruis'n World (Upright)
- f. NBA Jam (Tournament Edition)
- g. Neo Geo (2-Slot: Bust-a-Move/Samarai Showdown)
- h. Simpsons
- i. Xmen 6 player
- j. Ninja Turtles
- k. Tapper
- l. Duck hunt
- m. Frogger
- n. Paper Boy
- o. Mario Bros
- p. Street Fighter II
- q. Mortal Kombat
- r. Metal Slug(Neo Geo)
- s. Smash TV
- t. Blitz
- u. Golden Tee
- v. Terminator 2 or Aerosmith
- w. Killer Queen
- x. BurgerTime

2. Acoustics

- a. Arcade Game Sound Control
 - i. The Applicant states that the volume of each individual game can be controlled independently, with a range of volume between silent and full volume.
 - ii. The Applicant plans to adjust the volume to a level where the individual player at the game console can hear the game, but low enough so that other players, bar patrons, and the public outside of the building will not be disturbed.
 - iii. If there are any complaints about the volume of the games outside of the building, the Applicant has the ability to reduce the volume or turn it off completely.
- b. Music
 - i. The Applicant plans to play recorded music inside the Bar. The volume will be adjusted so that music will not be heard outside the building.
 - ii. The Applicant plans to provide speakers in the garden so recorded music can be enjoyed in the courtyard. The Applicant will follow the regulations for noise control as determined by the City Council regarding decibel levels and times when music can be played.
 - iii. The Applicant will cooperate with the City in keeping the volume level to an acceptable level during times when music is allowed to be played.
 - iv. The Applicant does not have current plans to play live music in the building or Courtyard. If the Applicant decides to provide live music in the future, they will comply with all applicable regulations in effect at the time of performance.

3. Garage Doors

- a. The main entrance to the Bar is from Main Street, through the courtyard.
- b. The garage doors on North Cedar Street will not be used as a building entrance, apart from deliveries of large items.
- c. Acoustics will play a large part in determining the specifications of the garage doors.
- d. The Applicant plans to have the option to open the garage doors on North Cedar Street when the weather allows.
- e. The Applicant will follow the regulations for noise control as determined by the City Council regarding decibel levels and times.
- f. If opening the garage doors creates a problem with sound levels outside the building, the Applicant agrees to keep the doors closed.

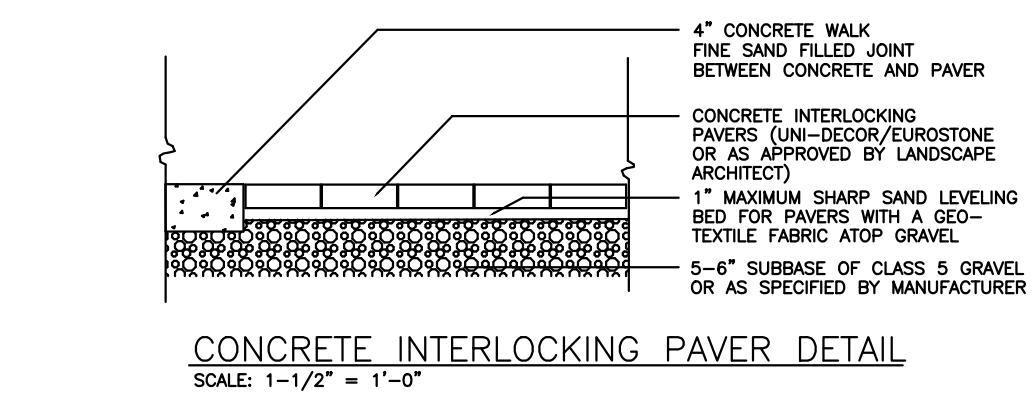
APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE _____, 20____, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION, ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAN, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS _____ DAY OF _____, 20____, BY

CHAIRMAN

SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.



MODERN FORMS "SUSPENSE"
OUTDOOR DARK SKY COMPLIANT
WALL SCONCE #306563. SIZE:
SMALL. BRUSHED ALUMINUM
FINISH. 11 WATT (590 LUMENS)
120 VOLT INTEGRATED LED: CRI:
90 COLOR TEMP: 3000K

L1: Wall Mounted

NOTE: THE MANUFACTURER DOES NOT PROVIDE PHOTOMETRIC INFORMATION FOR THESE FIXTURES. FIXTURES WILL BE SHIELDED TO AVOID LIGHT SPILLAGE ONTO ADJACENT PROPERTIES, AND TO SHIELD FROM LIGHT PROJECTING UPWARD TO THE SKY

L2: Wall Mounted

HAMPTON BAY
"1-LIGHT ZINC OUTDOOR WALL
LANTERN" MODEL # HSP1691A
60 W INCANDESCENT LAMP OR
LED EQUIVALENT - MAX COLOR
TEMPERATURE SHALL BE 3000K

REVISIONS:			
NO.	DATE	DESCRIPTION	BY
1	9/24/19	Revised Per Planning Board Comments	AJS

PLANT SCHEDULE

KEY	BOTANICAL NAME	QTY.	SIZE	ROOT	SPACING	COMMENTS
	SHRUBS					
AV	THUJA OCCIDENTALIS (ARBOR VITAE)	15	7 GAL.	CONT	3' O.C. - STAGGERED	
LF	LEUCOTHOE FONTANESIANA (DROOPING LEUCOTHOE)	12	7 GAL.	CONT	4' O.C. - STAGGERED	
RP	RHODODENDRON PRUNIFOLIUM (SMALL) (RHODODENDRON)	14	5 GAL.	CONT	6' O.C. - STAGGERED	

LAWN

SEEDED WITH 5311 CONSERVATION MIX (OR APPROVED EQUAL). APPLIED AT 3-5LBS PER 1000SF
30% CREEPING RED FESCUE; 30% ANNUAL RYEGRASS; 25% KENTUCKY BLUEGRASS 'CORSAIR'; 25% KENTUCKY BLUEGRASS 'SHAMROCK'; 10% ANNUAL RYEGRASS; 10% PERENNIAL RYEGRASS. SOURCE: ERNST CONSERVATION SEEDS

HATCHING LEGEND



CONCRETE SIDEWALK



PAVERS



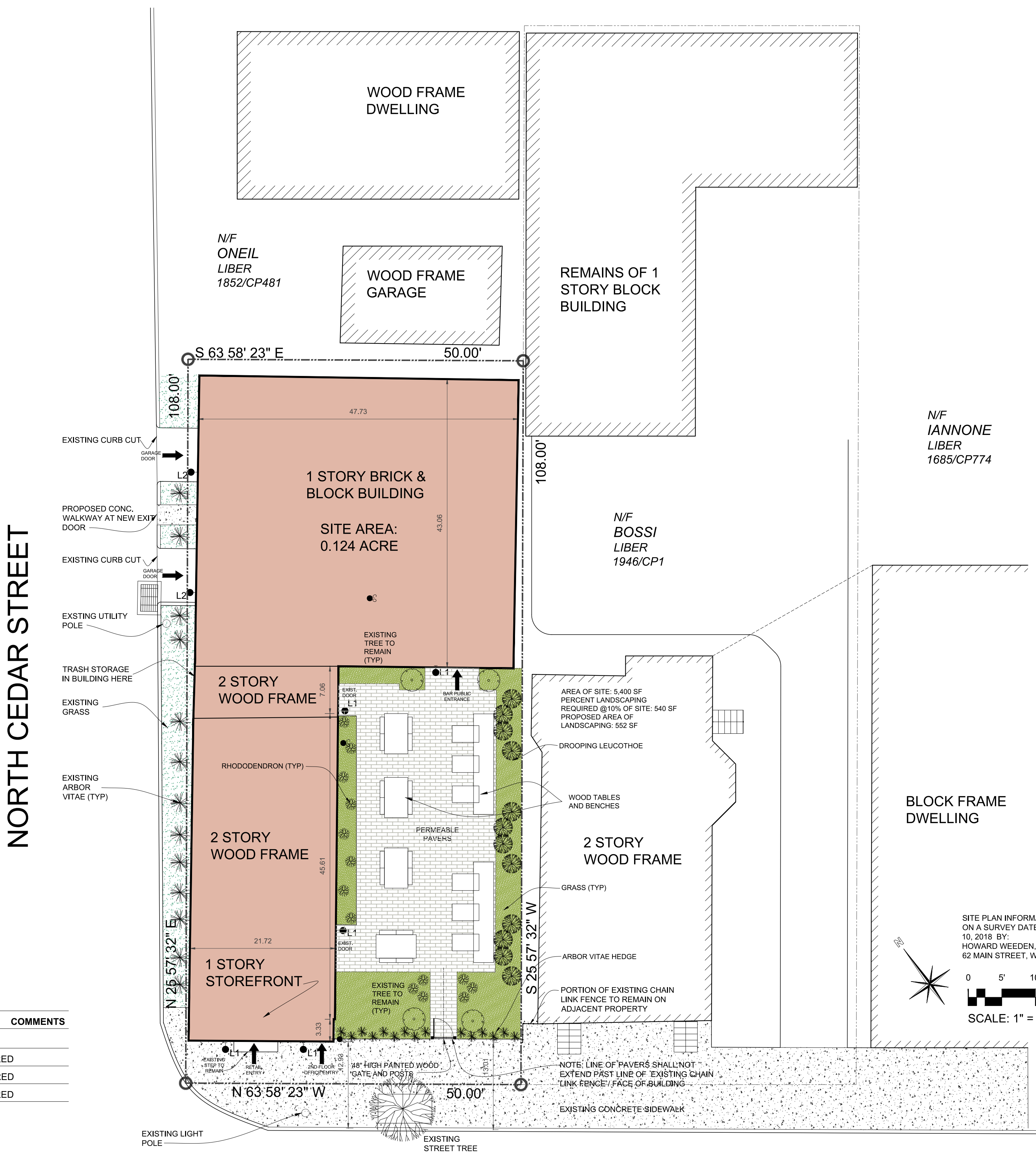
GRASS

Bulk Zoning Regulations Table

[illegible]

Notes:

1. Existing Condition



Site Plan

Scale: 1" = 10'

MAIN STREET



Location Map

Not to Scale

Zoning Summary

Zoning District:	CMS (Central Main Street District)
Tax Map No.:	5459-36-933866
Lot Area:	0.124 acre (5,401 sf)
Building Footprint:	3,294 square feet
Historical Overlay District:	No
Parking Overlay District:	Yes
Existing Use:	Retail / Office Space
Proposed Use:	Bar / Retail / Office Space

Parking & Loading

Use & Parking Requirements	1964 Area	1964 Parking Requirement	Proposed Area	Current Parking Requirement
Retail Service (1964 Use) Automobile Service Garage <i>1 space per 200 gsf</i>	1,858 gsf	10 spaces		
Apartment (1964 Use) <i>1 1/2 space per Apartment</i>	1 Apartment	2 spaces		
Mercantile (1964 Use) 1964 - 1 space per 200 SF of gross floor area <i>excluding basement and utility areas</i>	998 sf	5 spaces		
Bar- Current <i>2.5 spaces per 1,000 SF</i>			1,800 sf	5 spaces
Retail - Current 2 spaces per 1,000 SF <i>of gross floor area</i>			998 sf	2 spaces
Office- Current <i>2 spaces per 1,000 square feet</i>			1,109 sf	3 spaces
Total Required Parking Spaces		17 spaces		10 spaces
Total Proposed Parking Spaces				0 spaces (Note 1)

Notes:

1. Parking is not required per Beacon Zoning Code Section 223-26 (B.2): The building was in existence on April 20, 1964. The existing use in 1964 was found in the 1964 Beacon Directory. The new use is less than 25% greater intensity than the use existing in 1964. 17 parking spaces would have been required in 1964 for the uses in existence at that time. 9 parking spaces are required for the current proposed uses.
2. There is no space on the property to provide parking.
3. For lots of 8,000 square feet or less, where the provision of on-site parking is infeasible, the Planning Board may waive all parking requirements, provided that the total floor area of the building is no greater than 5,000 square feet.
4. There is currently no plan to present live music in the garden. If the Applicant decides to present live music at a later date, they will comply with City of Beacon regulations regarding both times and decibel levels in effect at that time.
5. Arcade / Bar Hours of operation:
Monday and Tuesday: closed
Wednesday & Thursday: 4pm to midnight,
Friday: 3pm to 1am,
Saturday: 12pm to 1am,
Sunday: 12pm to 10pm, .
Note: Must be 21+ (unless accompanied by adult), 21+ only after 9pm

Index of Drawings

Sheet 1 of 4	Site Plan
Sheet 2 of 4	Existing Conditions & Demolition Plan
Sheet 3 of 4	Plans & Elevations
Sheet 4 of 4	Storm Water Utility Plan

Site Plan Application

Sheet 1 of 4 - Site Plan

Beacon, New York
Scale: 1" = 10'
August 27, 2019

Owner:
Field Properties, LLC

36 Winston Lane
Garrison, New York 10524

Applicant:
Big Village Media

1192 North Avenue
Beacon, New York 12508

Architect:
Aryeh Siegel, Architect

84 Mason Circle
Beacon, New York 12508

296 Main Street - Happy Valley Bar

Beacon, New York
Scale: 1" = 10'
August 27, 2019

Beacon, New York
Scale: 1" = 10'
August 27, 2019

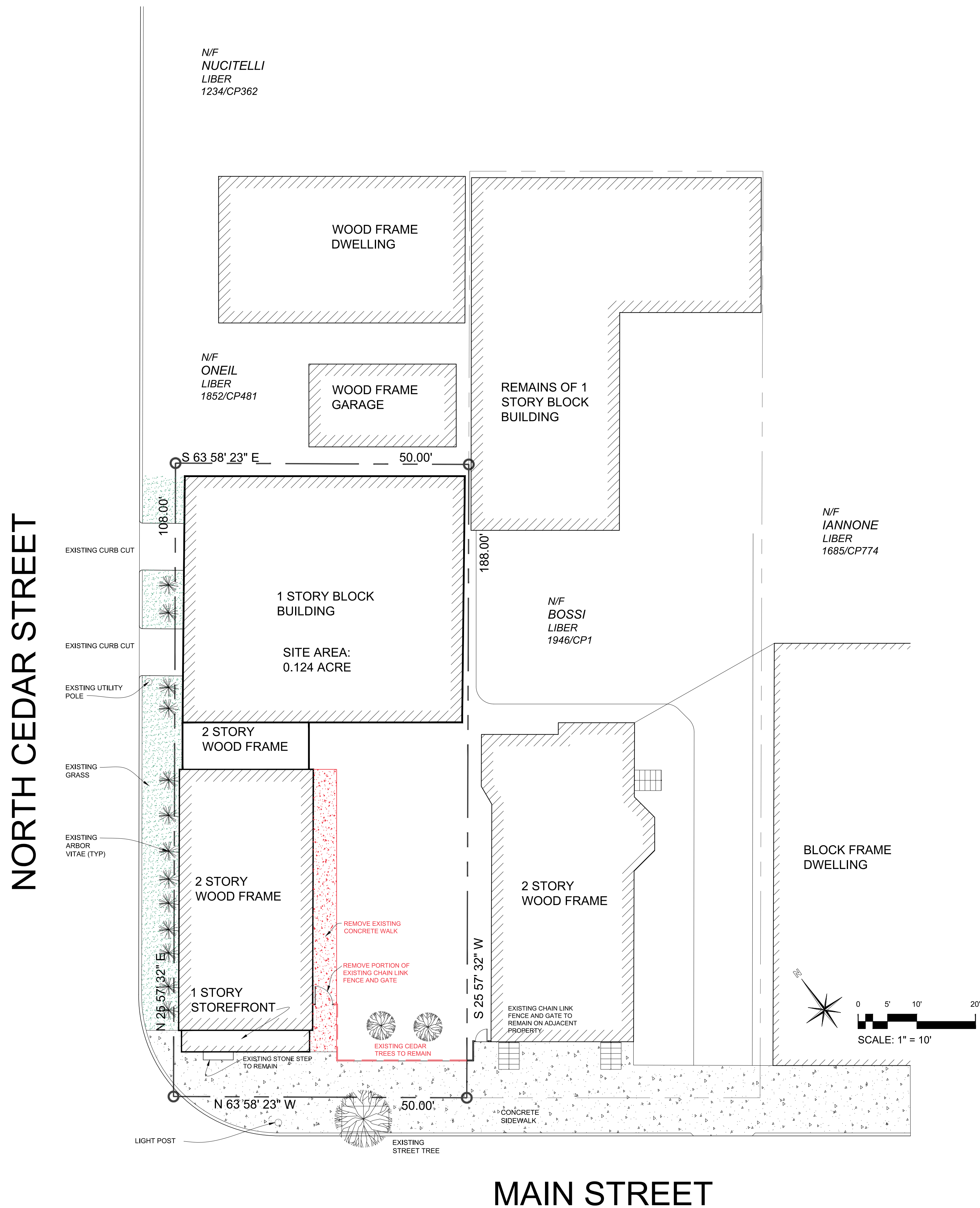
APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE _____ DAY OF _____, 20____, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS _____ DAY OF _____, 20____, BY _____

_____ CHAIRMAN

_____ SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.



Owner:
Field Properties, LLC
36 Winston Lane
Garrison, New York 10524

Applicant:
Big Village Media
1192 North Avenue
Beacon, New York 12508

Architect:
Aryeh Siegel, Architect
84 Mason Circle
Beacon, New York 12508

Site Plan Application
Sheet 2 of 4 - Existing Conditions / Demolition Plan
296 Main Street - Happy Valley Bar
Beacon, New York
Scale: 1" = 10'
August 27, 2019

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE _____ DAY OF _____, 20____, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION, ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS _____ DAY OF _____, 20____, BY _____ CHAIRMAN _____ SECRETARY

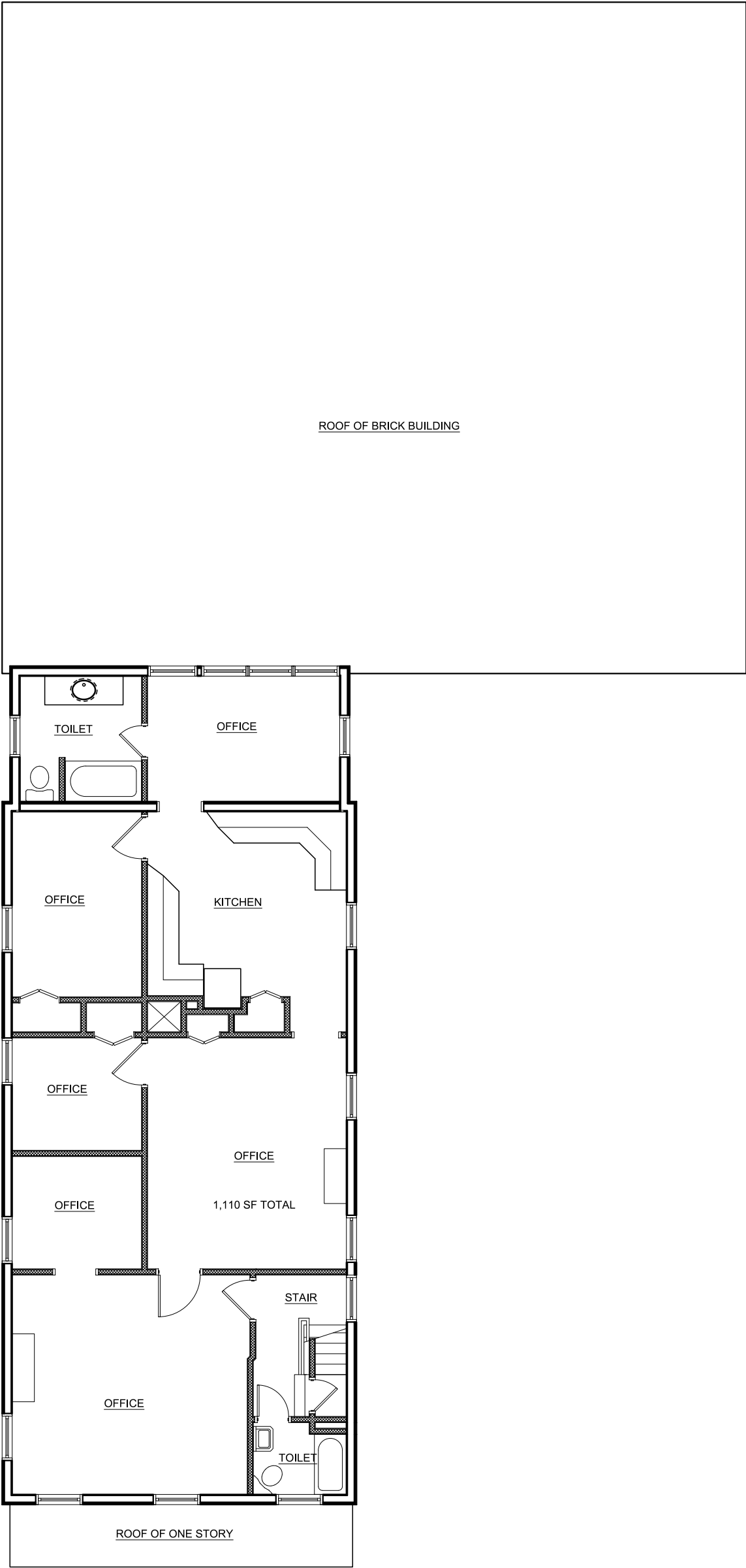
IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

REVISIONS:			
NO.	DATE	DESCRIPTION	BY
1	9/24/19	Revised Per Planning Board Comments	AJS



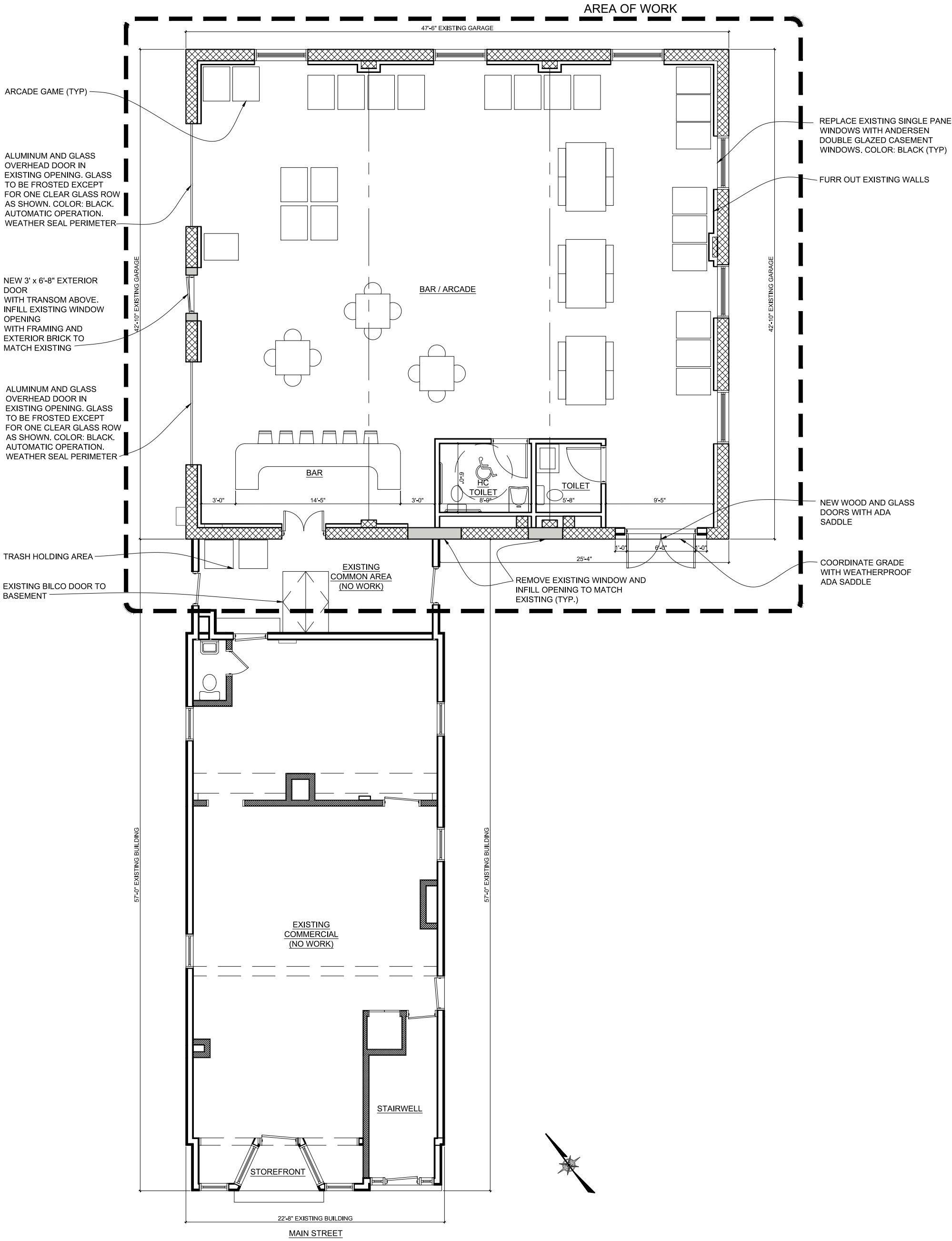
Gate Image

Not to Scale



2nd Floor Plan (For Reference)

Scale: 1/8" = 1'-0"



1st Floor Plan

Scale: 1/8" = 1'-0"



Main Street Elevation

Scale: 1/8" = 1'-0"



Main Street / Garage Elevation

Scale: 1/8" = 1'-0"



North Cedar Street Elevation

Scale: 1/8" = 1'-0"

Site Plan Application

Sheet 3 of 4 - Plans & Elevations

Owner:
Field Properties, LLC

36 Winston Lane
Garrison, New York 10524

Applicant:
Big Village Media

1192 North Avenue
Beacon, New York 12508

Architect:
Aryeh Siegel, Architect

84 Mason Circle
Beacon, New York 12508

296 Main Street - Happy Valley Bar

Beacon, New York
Scale: As Noted
August 27, 2019

LANC & TULLY
ENGINEERING AND SURVEYING, P.C.

John J. O'Rourke, P.E., Principal
David E. Higgins, P.E., Principal
John Queenan, P.E., Principal

Rodney C. Knowlton, L.S., Principal
Jerry A. Woods, L.S., Principal

John D. Russo, P.E., Principal
John Lane, P.E., L.S.
Arthur R. Tully, P.E.

October 2, 2019

Mr. John Gunn
Beacon Planning Board Chair
City of Beacon
1 Municipal Plaza
Beacon, NY 12508

RE: Happy Valley Bar - 296 Main Street
City of Beacon

Dear Mr. Gunn:

My office has received the following in regard to the above application:

- Response correspondence from Aryeh Siegel, Architect, dated May 28, 2019.
- Special Permit Narrative dated September 24, 2019, as prepared by Aryeh Siegel, Architect.
- Entity Disclosure Forms.
- Set of plans entitled "Site Plan Application – 296 Main Street – Happy Valley Bar", with the latest revision date of September 24, 2019 and consisting of sheets 1 through 4 as prepared by Aryeh Siegel, Architect and Hudson Land Design.

Based on our review of the above our office has no engineering comments at this time. Further comments may be provided based on future submissions. If you have any questions, or require any additional information, please do not hesitate to contact our office.

Very truly,

LANC & TULLY, P.C.


John Russo, P.E.

cc: John Clarke, Planner
Jennifer Gray, Esq.
David Buckley, Building Inspector

To: John Gunn, Chair, and the City of Beacon Planning Board

Date: October 3, 2019

Re: **296 Main Street Site Plan**

I have reviewed a response letter and September 24, 2019 Special Permit Narrative from Aryeh Siegel and a 4-sheet Site Plan Application set with the latest revision date of September 24, 2019.

Proposal

The applicant is proposing to convert an existing one-story rear garage into a bar with outdoor patio, maintaining the front building's first floor retail use and second story office use. The 0.124-acre parcel is in the Central Main Street (CMS) district.

Comments and Recommendations

1. The approximately 3-foot tall drooping laurel shrubs proposed along the eastern edge of the patio do not seem sufficient to provide adequate screening for the neighboring property. The Board and applicant should consider taller and additional plantings.
2. Note 4 on Sheet 1 should state whether the patio is proposed to have outdoor speakers or any live or amplified music. Any later changes may require an amendment to the Site Plan and/or Special Permit.
3. A note on the plans should describe the proposed use of the garage doors. The Planning Board should consider restrictions on the opening of the garage doors along North Cedar Street, except for deliveries.
4. According to the design standards in 223-41.18 J(9), individual window proportions shall be greater in height than in width, with a few exceptions. The Board should decide if the garage doors qualify as specialty window exceptions.
5. For the Parking Table, the bar should require two spaces per 1,000 square feet of floor area as a non-retail commercial use in the CMS district.
6. Sheet 3 proposes a wood front gate, so a gate detail drawing should be included in the plans to supplement the photo example.
7. A bar in the CMS district requires a Special Permit from the City Council. Once the Board is generally satisfied with the plans, it should submit a recommendations report on the bar/arcade use to the Council.

Page 2, October 3, 2019 Memo re: 296 Main Street

If you have any questions or need additional information, please feel free to contact me.

John Clarke, Beacon Planning Consultant

c: Dave Buckley, Building Inspector
 Jennifer L. Gray, Esq., City Attorney
 Arthur R. Tully, P.E., City Engineer
 John Russo, P.E., City Engineer
 Aryeh Siegel, Project Architect

City of Beacon Planning Board
10/8/2019

Title:

November Meeting Date

Subject:

Change Meeting Date from **Tuesday, November 12th** to **Wednesday, November 13th** due to Veterans' Day Holiday
– City Offices closed

Background:

City of Beacon Planning Board
10/8/2019

Title:

Zoning Board of Appeals

Subject:

Zoning Board of Appeals – October agenda

Background:

ATTACHMENTS:

Description
October Agenda

Type
Backup Material

CITY OF BEACON
ONE MUNICIPAL PLAZA - SUITE 1
BEACON, NEW YORK 12508
Phone (845) 838-5002 Fax (845) 838-5026

The Zoning Board of Appeals will meet on **Wednesday, October 16, 2019** in the Municipal Center courtroom, located at One Municipal Plaza, Beacon, New York at 7:00 PM

Regular Meeting

1. Application submitted by Robert Vye, 19 South Elm Street, Tax Grid No. 30-5954-27-813875-00, R1-5 Zoning District, for relief from Section 223-17(E) to construct a 425 sq. ft. detached garage (*299 sq. ft. maximum permitted*)
2. Application submitted by David Maros, 1228 North Avenue, Tax Grid No. 30-5955-75-792142-00, R1-7.5 Zoning District, for relief from Section 223-10(C)(4) to allow the vacant pre-existing, non-conforming two-family dwelling that is under renovation to remain unoccupied and maintain its two-family status until renovations are complete

Miscellaneous Business

1. 35 Rombout Avenue - consider request for 6-month extension of approval granted 7/17/18

City of Beacon Planning Board
10/8/2019

Title:

1181 North Avenue

Subject:

Consider request for an additional 90-day extension of Subdivision Approval – 1181 North Avenue, submitted by North Avenue Properties, LLC (Schofield)

Background:

ATTACHMENTS:

Description

1181 North Avenue Request for Extension

Type

Cover Memo/Letter



Civil & Environmental Engineering Consultants
174 Main Street, Beacon, New York 12508 (Main Office and Mailing Address)
13 Chambers Street, Newburgh, New York 12550 (Satellite Office)
Phone: 845-440-6926 Fax: 845-440-6637
www.HudsonLandDesign.com

September 5, 2019

Mr. John Gunn, Chairman
City of Beacon Planning Board
1 Municipal Center
Beacon, NY 12508

Re: 1181 North Avenue (Schofield) – Subdivision and Special Use Permit Applications
Tax Parcel ID: 5955-19-716048 (±0.70 acres)
City of Beacon, Dutchess County, NY

Dear Chairman Gunn:

At the September 11, 2018 meeting, the Planning Board resolved to grant Preliminary and Final Subdivision Plat, Site Plan and Certificate of Appropriateness Approvals for the aforementioned project. In addition, the Planning Board, at its January 8, 2019 meeting, made an administrative amendment to the resolution. At the Planning Board's February 12, 2019 meeting, the Planning Board granted a 90-day extension and made a second administrative amendment to the resolution. At its May 14, 2019 meeting, the Planning Board granted an additional 90-day extension.

Since the original approval and over the course of the granted extensions, professionals for the applicant have been working on satisfying the various conditions associated with the resolution, namely the preparation of easement agreements. As such, on behalf of the applicant, Hudson Land Design respectfully requests one (1) additional 90-day extension of approval, which is due to expire on September 6, 2019, and would extend the approval through December 5, 2019. We anticipate having all conditions of the resolution of approval satisfied by the end of September. Please place this item on your next available agenda to further discuss.

Should you have any questions or require additional information, please feel free to call me at 845-440-6926.

Sincerely,

A handwritten signature in dark ink, appearing to read "Daniel G. Koehler", with a long horizontal flourish extending to the right.

Daniel G. Koehler, P.E.
Principal

cc: Norm Schofield (via email)
Aryeh Siegel (via email)
Niki Pagones Quinn (via email)
Michael A. Bodendorf, P.E. (HLD File)

City of Beacon Planning Board
10/8/2019

Title:

Local Law Review

Subject:

City Council request to review proposed Local Law amending the Historic District and Landmark Overlay Map (HDLO) and Zoning Map by the addition of 35 landmarked properties

Background:

ATTACHMENTS:

Description
HDLO Local Law

Type
Local Law

LOCAL LAW NO. ____ OF 2019

**CITY COUNCIL
CITY OF BEACON**

**LOCAL LAW AMENDING THE HISTORIC DISTRICT AND
LANDMARK OVERLAY MAP (“HDLO”) AND ZONING MAP OF
THE CITY OF BEACON**

A LOCAL LAW to amend the
HDLO Zoning Map of the City of
Beacon.

BE IT ENACTED by the City Council of the City of Beacon as follows:

Section 1. Intent. The City has identified 35 properties to be designated as landmarks pursuant to Chapter 134 of the City Code and to be added to the Historic District and Landmark Overlay Map (“HDLO”) and Zoning Map.

Section 2. The parcels listed below having been landmarked pursuant to Chapter 134 of the City Code by Resolution adopted on September __, 2019 are hereby added to the Historic District and Landmark Overlay Map and to be designated as such on the City Zoning Map as listed in the table below and depicted on Figure 1 annexed hereto.

1. 1158 North Avenue - 5954-26-744995 - Hibernation Auto Storage Inc., 1158 North Ave. Beacon, NY 12508
2. 1154 North Avenue - 5954-26-740983 - Lindley LLC, 4 Cross St. Beacon, NY 12508
3. 152 Main Street - 5954-27-774986 - Lindley Todd LLC, 4 Cross St. Beacon, NY 12508
4. 4 Cross Street - 5954-27-798971 - Hudson Todd LLC, 4 Cross St. Beacon, NY 12508
5. 11 Digger Phelps Ct. - 5954-27-843954 - Jonathan Bailey/Gemma Simon, 11 Digger Phelps Ct. Beacon, NY 12508
6. 9 Mattie Cooper Sq. - 5954-27-853946 - Erich Hess/Hattie Hess, 9 Mattie Cooper Sq. Beacon, NY 12508
7. 11 N. Elm Street - 5954-27-858938 - Daniel Aubry, 196 Bowery, New York, NY 10012
8. 4 N. Elm Street - 5954-27-864924 - 4 Elm Holdings LLC, 15 Sumter Rd. Airmont, NY 10952

9. 17 Church Street - 5954-27-873931 - Brenda Belladone Edwards, 17 Church St. Beacon, NY 12508
10. 27 Church Street - 5954-28-897918 - Christopher Brown/Babette Brown, 27 Church St. Beacon, NY 12508
11. 232 Main Street - 5954-27-867918 - Stephen Bock/Ricann Bock, 11540 NE Wing Pt Way, Bainbridge, Island, WA 98110
12. 246 Main Street - 5954-28-877907 - J & J 246 LLC, P.O. Box 548, Beacon, NY 12508
13. 250 Main Street - 5954-28-883903 - Fa Tuan Ni/Ming Fang Chen, 250 Main St. Beacon, NY 12508
14. 257 Main Street - 5954-28-865897 - Marin Equities Inc., P.O. Box 9136, Bardonia, NY 10954
15. 269 Main Street - 5954-27-875890 - Tersal Inc., 269 Main St. Beacon, NY 12508
16. 274 Main Street - 5954-28-903888 - Michael Pomarico/Tina Pomarico, 274 Main St. Beacon, NY 12508
17. 284 Main Street - 5954-28-921882 - Movil Development Corp., 284 Main St. Beacon, NY 12508
18. 288 Main Street - 5954-36-923874 - Movil Development Corp., 284 Main St. Beacon, NY 12508
19. 291 Main Street - 5954-36-893875 - 291 Main Street LLC, 55B Heritage Hills, Somers, NY 10589
20. 315 Main Street - 5954-36-924855 - 315 Beacon Realty LLC, 278 Mil St. Poughkeepsie, NY 12601
21. 314 Main Street - 5954-36-949852 - Sunshine Boy LLC, 20 Harvest Rd. Bloomingburg, NY 12721
22. 372 Main Street - 6054-29-018818 - The Salvation Army, 120-130 W. 14th St. New York, NY 10011
23. 378-382 Main Street - 6054-29-020808 - Dutchess Point II LLC, P.O. Box 229, Beacon, NY 12508

24. 403 Main Street - 6054-29-015786 - Erik Allgauer/Patrick Malouf, 403 Main St. Beacon, NY 12508
25. 159 Fishkill Avenue - 6054-29-024827 - Kimberly Garcia/James Halstead, 159 Fishkill Av. Beacon, NY 12508
26. 189 Fishkill Avenue - 6054-29-047864 - Emily De Cordova, 189 Fishkill Av. Beacon, NY 12508
27. 194 Fishkill Avenue - 6054-29-062856 - Jessica Jelliffe/Jason Craig, 194 Fishkill Av. Beacon, NY 12508
28. 331 Verplanck Avenue - 6054-29-056850 - Beacon Hebrew Alliance, 55 Fishkill Av. Beacon, NY 12508
29. 26 S. Chestnut Street - 5954-36-926817 - St. Rocco Society, 26 S. Chestnut St. Beacon, NY 12508
30. 19 Commerce Street - 5954-27-783929 - June C. Crilly, 19 Commerce St. Beacon, NY 12508
31. 11 Commerce Street - 5954-27-771935 - Jianmao Deng, 11 Commerce St. Beacon, NY 12508
32. 20 South Avenue - 5954-27-753929 - Barbara Sims/Brenda Sims, 5 Kitteridge Pl. Beacon, NY 12508
33. 22 South Avenue - 5954-26-750920 - Shirish Chitanvis/Jacqueline Paris-Chitanvis, 22 South Av. Beacon, NY 12508
34. 26 South Avenue - 5954-26-745908 - Matthew Yarnis/Maggie Garrido-Yarnis, 26 South Av. Beacon, NY 12508
35. 30 South Avenue - 5954-26-743898 - Matthew Healey/Jacqueline Rubin, 255 W. 90th St. New York, NY 12508

Section 3. Severability

The provisions of this Local Law are separable and if any provision, clause, sentence, subsection, word or part thereof is held illegal, invalid or unconstitutional, or inapplicable to any person or circumstance, such illegality, invalidity or unconstitutionality, or inapplicability shall not affect or impair any of the remaining provisions, clauses, sentences, subsections, words or parts of this

Local Law or their petition to other persons or circumstances. It is hereby declared to be the legislative intent that this Local Law would have been adopted if such illegal, invalid or unconstitutional provision, clause, sentence, subsection, word or part had not been included therein, and if such person or circumstance to which the Local Law or part hereof is held inapplicable had been specifically exempt there from.

Section 4.

This local law shall become effective immediately upon filing with the Office of the Secretary of State.

City of Beacon Planning Board
10/8/2019

Title:

Review Local Law

Subject:

City Council request to review Local Law amending Chapter 223, Article III concerning conformity required for land use approvals.

Background:

ATTACHMENTS:

Description	Type
DOCS-#681077-v1-Memo_to_City_Council_re_Enforcement_Local_Law	Cover Memo/Letter
DOCS-#680820-v1-Local_Law_Conformity_Required_	Local Law

**PRIVILEGED AND CONFIDENTIAL
NOT SUBJECT TO FOIL DEMAND**

MEMORANDUM

■ **Main Office**
445 Hamilton Avenue
White Plains, NY 10601
Phone 914.946.4777
Fax 914.946.6868

■ **Mid-Hudson Office**
200 Westage Business Center
Fishkill, NY 12524
Phone 845.896.0120

■ **New York City Office**
505 Park Avenue
New York, NY 10022
Phone 646.794.5747

TO: Mayor Randy Casale and Beacon City Council Members

FROM: Keane & Beane, P.C.

RE: Zoning Enforcement Local Law

DATE: July 18, 2019

Currently, enforcement of an approved Site Plan and/or Approval Resolution is predicated on the fact that a building permit and certificate of occupancy would be issued prior to the enforcement action. (See, Section 223-51 of the City of Beacon Zoning Code). Such enforcement reflects the typical case whereby approval for construction is issued, the applicant satisfies certain conditions, obtains a building permit, constructs the improvement, and receives a certificate of occupancy to close out the building permit.

However, in some cases, implementation of an approved Site Plan does not require the issuance of a building permit or certificate of occupancy. In these cases, the Building Inspector does not have a clear and unequivocal enforcement tool upon which to issue violations returnable in the Beacon City Court.

The proposed local law to amend Section 223-7 of the City of Beacon Zoning Code is intended to provide a broad tool for use by the Building Inspector where a property is not in conformance with an approved Site Plan or Approval Resolution, regardless of whether a building permit or certificate of occupancy is required for the approved improvements or uses.

To move forward with the local law, the City Council is required to refer the local law to the Beacon Planning Board and to the Dutchess County Planning Department. A public hearing on the local law will also be required.

**CITY COUNCIL
CITY OF BEACON**

**LOCAL LAW TO AMEND CHAPTER 223, ARTICLE III, SECTION 7, OF
THE CODE OF THE CITY OF BEACON**

A LOCAL LAW amend Chapter 223, Article III, Section 7 of the Code of the City of Beacon concerning conformity required for land use approvals.

BE IT ENACTED by the City Council of the City of Beacon as follows:

Section 1. Chapter 223, Article III, Section 7 of the Code of the City of Beacon entitled “Conformity Required” is hereby amended as follows:

§ 223-7. Conformity required.

No building shall be erected, moved, altered, rebuilt or enlarged, nor shall any land or building be used, designed or arranged to be used, for any purpose or any manner, except in conformity with all regulations, requirements and restrictions specified in this chapter for the district in which such building or land is located. The details of any plan or site plan approved by the City Council, Planning Board or Board of Appeals acting under the terms of this chapter and any conditions attached to such approval as set forth on the plan or Resolution shall be deemed to be such requirements.

Section 2. Ratification, Readoption and Confirmation

Except as specifically modified by the amendments contained herein, Chapter 223, Article III, of the Code of the City of Beacon is otherwise to remain in full force and effect and are otherwise ratified, readopted and confirmed.

Section 3. Numbering for Codification

It is the intention of the City of Beacon and it is hereby enacted that the provisions of this Local Law shall be included in the Code of the City of Beacon; that the sections and subsections of this

Local Law may be re-numbered or re-lettered by the Codifier to accomplish such intention; that the Codifier shall make no substantive changes to this Local Law; that the word “ Local Law” shall be changed to “ Chapter,” “ Section” or other appropriate word as required for codification; and that any such rearranging of the numbering and editing shall not affect the validity of this Local Law or the provisions of the Code affected thereby.

Section 4. Severability.

If any clause, sentence, paragraph, subdivision, section, or part of this chapter or the application thereof to any person, individual, corporation, firm, partnership, entity, or circumstance shall be adjudged by any court of competent jurisdiction to be invalid or unconstitutional, such order or judgment shall not affect, impair, or invalidate the remainder thereof, but shall be confined in its operation to the clause, sentence, paragraph, subdivision, section, or part of this chapter, or in its application to the person, individual, corporation, firm, partnership, entity, or circumstance directly involved in the controversy in which such order or judgment shall be rendered.

Section 5. Effective date.

This chapter shall take effect immediately upon filing with the Office of the Secretary of State of the State of New York.

City of Beacon Planning Board
10/8/2019

Title:

St. Luke's Place

Subject:

Single Family House – St. Luke's Place

Background:

ATTACHMENTS:

Description

Type

St. Luke's Place Application

Application

St. Luke's Place Elevations

Backup Material

ARCHITECTURAL REVIEW BOARD APPLICATION

Date: 9-24-19

Project Address: St Lukes Pl Beacon NY 12508

Project Architect/Engineer: Madaya Engineering

Owner/Builder: 226 Main St LLC

Contact Phone No.: 845-416-1808

Approval Requested: ☐ Certificate of Appropriateness ☒ New Single Family House

Color/Materials:

Siding: Double 4" white by Mastic

Roofing: Charcoal Gray color, 30 year Architectural Shingle by GAF Timberline HD

Windows: Color: Black Dbl hung Type: Marvin

Trim: white

Garage Door: _____

Stone/Brick: _____

[Signature]
Signature of Owner

FOR OFFICE USE ONLY:

The Architectural Review Board has reviewed the plans submitted for approval for the project listed above and has determined:

Plan Denied _____

(Date)

Plan Approved _____

(Date)

Subject to the following: _____

FEE: \$100.00

NOTES:

- 1) ALL WINDOW SIZES CALLED OUT ON FLOOR PLANS ARE "ANDERSEN UNIT NUMBERS". IF "ANDERSEN" WINDOWS ARE NOT USED, A WINDOW OF EQUAL TYPE AND UNIT DIMENSION IS TO BE USED
- 2) ALL GLAZING TO BE DOUBLE INSULATED
- 3) ALL GLAZING TO BE "HIGH PERFORMANCE", "LOW-E" GLASS
- 4) ALL GLAZING WITHIN 18" OF FINISHED FLOOR TO BE TEMPERED

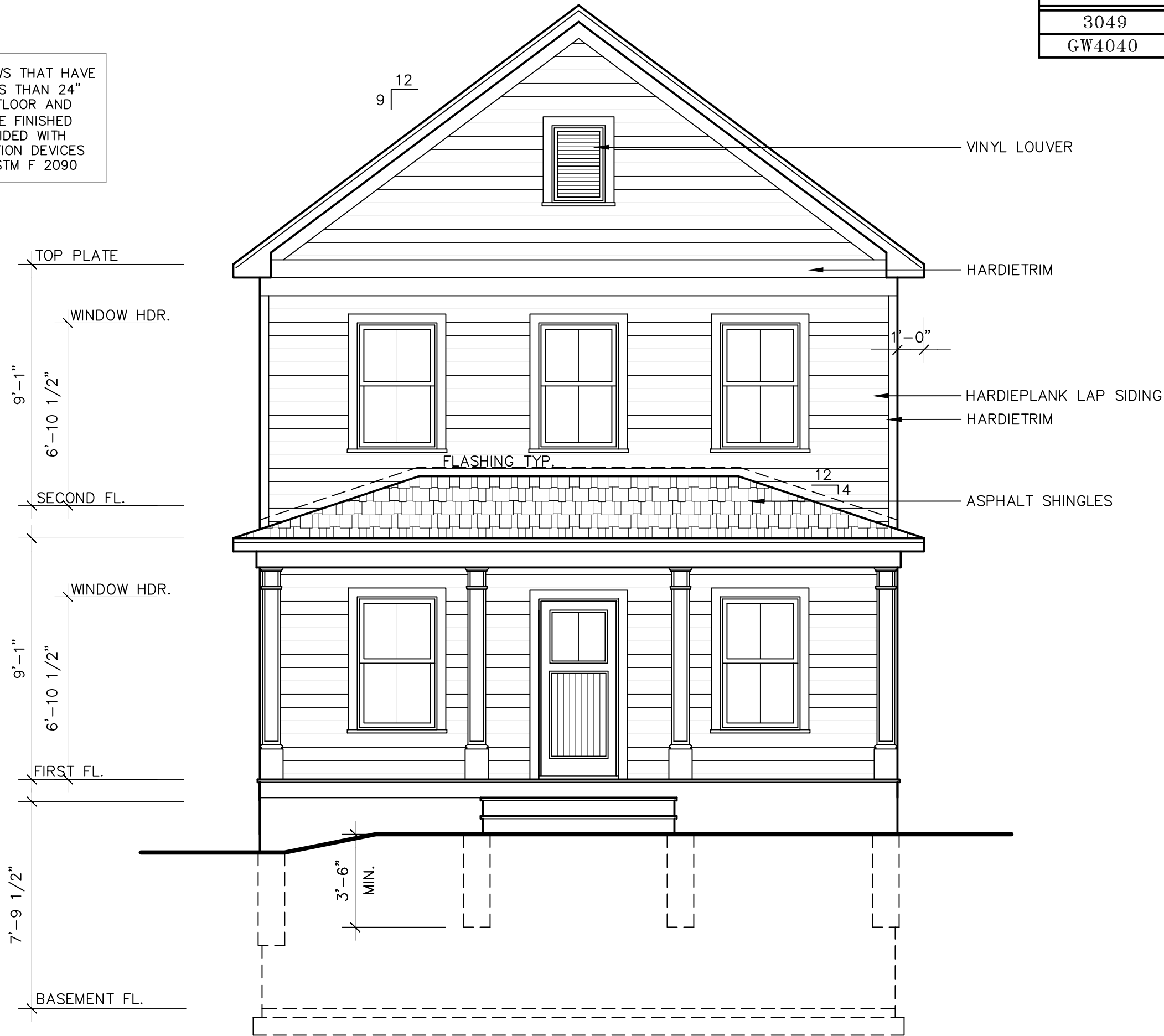
ALL OPERABLE WINDOWS THAT HAVE A SILL HEIGHT OF LESS THAN 24" ABOVE THE FINISHED FLOOR AND MORE THAN 72" ABOVE FINISHED GRADE MUST BE PROVIDED WITH WINDOW FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F 2090

SQUARE FOOTAGE:			
1st FLOOR:	1056		
2nd FLOOR:	1017		
TOTAL:	2073		

EGRESS REQUIREMENTS

WINDOW	SQ.FT. CLEAR	WIDTH CLEAR	HEIGHT CLEAR
3049	5.7	32.56"	25.20"
GW4040	6.43	21"	44 1/8"

CONTRACTOR TO AFFIX AN APPROVED SIGN/SYMBOL TO THE EXTERIOR ELECTRIC BOX AT THE SERVICE POINT. THE SIGN IS TO INDICATE THE USE OF TRUSSES, PRE-ENGINEERED WOOD GIRDERS, BEAMS OR JOISTS THAT ARE BONDED WITH ADHESIVES (INCLUDING I-JOISTS, STRUCTURAL GLUED LAMINATED TIMBERS, STRUCTURAL LOG MEMBERS, STRUCTURAL COMPOSITE LUMBER & CROSS-LAMINATED TIMBER) AND/OR TIMBER CONSTRUCTION



FRONT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"

RAILING & STAIR NOTES:

PORCH/DECK RAILINGS, IF REQUIRED, NOT SHOWN ON ELEVATION.

STAIRS WITH (4) OR MORE RISERS SHALL BE PROVIDED WITH HANDRAILS ON AT LEAST ONE SIDE. HANDRAILS SHALL BE A MINIMUM OF 34" IN HEIGHT AND NOT MORE THAN 38" IN HEIGHT. RAILS ARE TO BE MEASURED VERTICALLY FROM THE NOSING OF THE TREADS. CIRCULAR HANDRAILS SHALL HAVE AN OUTSIDE DIAMETER OF AT LEAST 1 1/4" AND NOT GREATER THAN 2". IF THE HANDRAIL IS NOT CIRCULAR IT SHALL HAVE A PERIMETER OF AT LEAST 4" AND NOT MORE THAN 6 1/4".

PORCHES, DECKS, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS A MINIMUM OF 36" HIGH.

RISERS ARE TO BE CLOSED SUCH THAT THE OPENING BETWEEN THE TREADS DOES NOT PERMIT THE PASSAGE OF A 4" DIAMETER SPHERE.

TABLE R301.2(1)
CLIMATE AND GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	ICE BARRIER UNDERLYMT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP
	SPEED (mph)	TOPOGRAPHIC EFFECTS	SPECIAL WIND REGION	WIND-BORNE DEBRIS ZONE		WEATHERING	FROST LINE DEPTH	TERMITE					
40	115 MPH	NO	YES	NO	B	SEVERE	42"	MOD.-HEAVY	-1	YES	MAY 2, 2012	1500	47.4

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSONS TO ALTER THESE PLANS, SPECIFICATIONS, OR REPORTS IN ANY WAY, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR.

	Brian J. Stokosa, PE
	09-23-19
	09-18-19
Revisions	09-11-19
Project No.	2019.287
	License No. 083970

M.A. DAY Engineering, PC

Consulting Engineers

3 Van Wyck
Lane Suite 2
Wappingers Falls, New York
(845)-223-3202

PROJECT

Lot #2, St. Luke's Place, City of Beacon
Dutchess County, New York

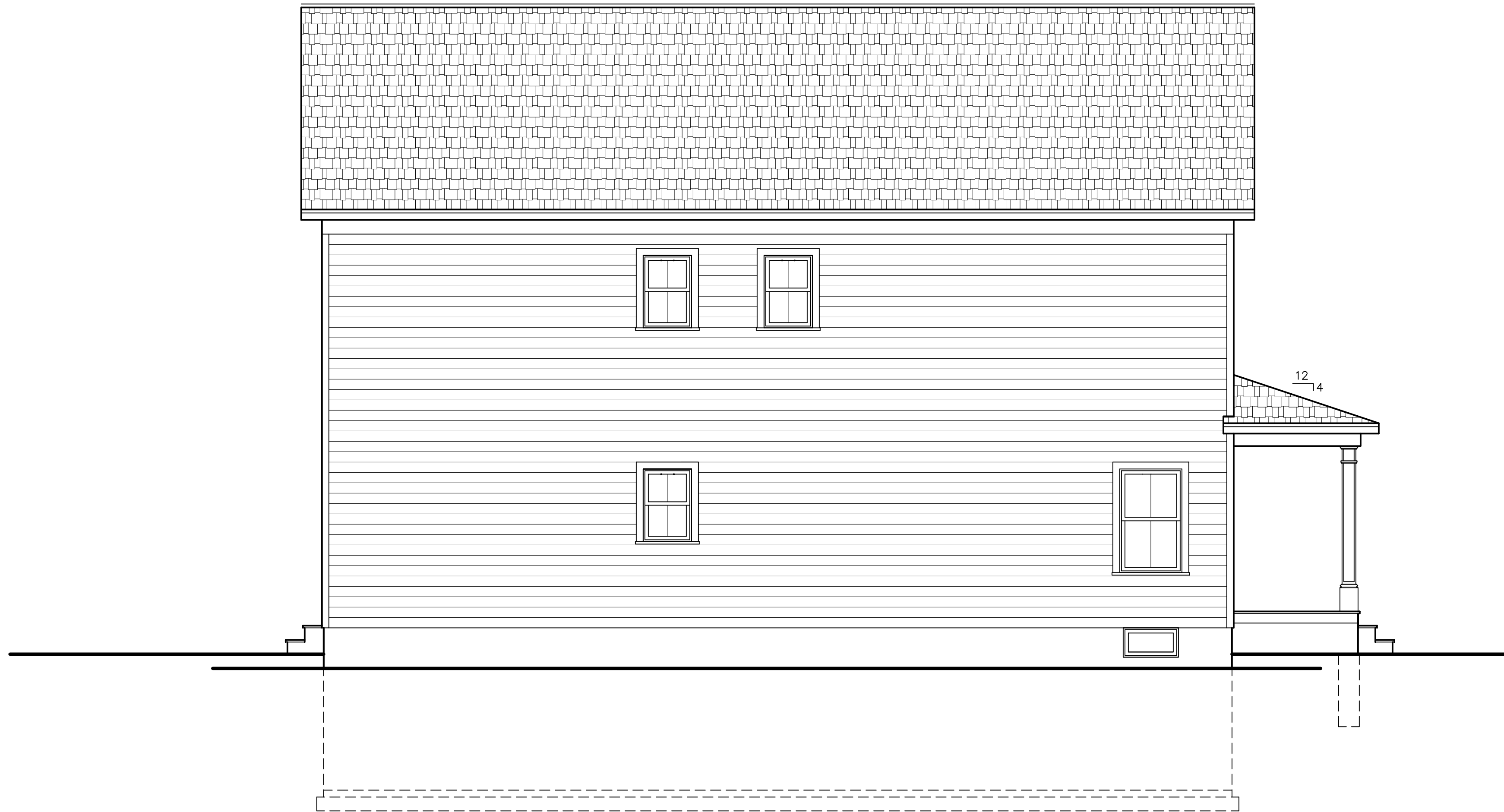
New Residence For:
Hannah Kluger

SCALE 1/4" = 1'-0"	DRAWN BY S.M.M.	E1
DATE 09-05-19	CHECKED BY B.J.S.	



RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

RAILING & STAIR NOTES:

PORCH/DECK RAILINGS, IF REQUIRED, NOT SHOWN ON ELEVATIONS.

STAIRS WITH (4) OR MORE RISERS SHALL BE PROVIDED WITH HANDRAILS ON AT LEAST ONE SIDE. HANDRAILS SHALL BE A MINIMUM OF 34" IN HEIGHT AND NOT MORE THAN 38" IN HEIGHT. RAILS ARE TO BE MEASURED VERTICALLY FROM THE NOSING OF THE TREADS. CIRCULAR HANDRAILS SHALL HAVE AN OUTSIDE DIAMETER OF AT LEAST 1 1/4" AND NOT GREATER THAN 2". IF THE HANDRAIL IS NOT CIRCULAR IT SHALL HAVE A PERIMETER OF AT LEAST 4" AND NOT MORE THAN 6 1/4".

PORCHES, DECKS, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS A MINIMUM OF 36" HIGH.

RISERS ARE TO BE CLOSED SUCH THAT THE OPENING BETWEEN THE TREADS DOES NOT PERMIT THE PASSAGE OF A 4" DIAMETER SPHERE.

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSONS TO ALTER THESE PLANS, SPECIFICATIONS, OR REPORTS IN ANY WAY, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR.

	Brian J. Stokosa, PE
	09-23-19
	09-18-19
Revisions	09-11-19
Project No.	2019.287
	License No. 083970

M.A. DAY Engineering, PC
Consulting Engineers
3 Van Wyck
Lane Suite 2
Wappingers Falls, New York
(845)-223-3202

Lot #2, St. Luke's Place, City of Beacon
Dutchess County, New York

New Residence For:
Hannah Kluger

SCALE 1/4" = 1'-0"	DRAWN BY S.M.M.	DRAWING NO. E2
DATE 09-05-19	CHECKED BY B.J.S.	

SCALE: $1/4" = 1'-0"$

⑤ INTERCONNECTED 110 VOLT SMOKE DETECTOR W/ BATTERY BACKUP TESTED IN ACCORDANCE WITH UL217 & NFPA72

⑥ INTERCONNECTED CARBON MONOXIDE ALARM W/ BATTERY BACKUP TESTED IN ACCORDANCE WITH UL 2034 & CSA 6.19
-TO BE INSTALLED ON EACH FLOOR CONTAINING A SLEEPING AREA OR CARBON MONOXIDE SOURCE. TO BE INSTALLED WITHIN 15 FEET OF EACH SLEEPING AREA

FIRST FLOOR PLAN

⑥ INTERCONNECTED CARBON MONOXIDE ALARM W/ BATTERY BACKUP TESTED IN ACCORDANCE WITH UL 2034 & CSA 6.19
-TO BE INSTALLED ON EACH FLOOR CONTAINING A SLEEPING AREA OR CARBON MONOXIDE SOURCE. TO BE INSTALLED
WITHIN 15 FEET OF EACH SLEEPING AREA

EXHAUST AIR FROM BATHROOM FANS SHALL BE EXHAUSTED DIRECTLY TO THE EXTERIOR AND SHALL NOT DISCHARGE INTO AN ATTIC, CRAWL SPACE OR OTHER AREA INSIDE THE BUILDING.

NOTES:

ALL EXTERIOR WALLS ARE TO BE
2X6 WOOD STUDS
ALL INTERIOR WALLS ARE TO BE
2X4 WOOD STUDS

DOUBLE ALL FLOOR JOISTS UNDER
WALLS ABOVE, THAT ARE FRAMED
PARALLEL TO FLOOR FRAMING UNLESS
OTHERWISE NOTED ON PLAN.

ALL FLOOR JOISTS, CEILING JOISTS
& RAFTERS ARE TO BE S.P.F.

ALL BEAMS, GIRDERS AND HEADERS
ARE TO BE DOUG FIR LARCH #2 OR
BETTER WITH A F_b RATING OF 875
AND A MODULUS OF ELASTICITY OF
1600000 MINIMUM UNLESS OTHERWISE
NOTED ON PLAN.

ALL LAMINATED VENEER LUMBER (L.V.L.)
BEAMS, GIRDERS AND HEADERS, LABELED
ON PLAN, TO HAVE A Fb RATING OF 2950
AND A MODULUS OF ELASTICITY OF 2,000,000
MINIMUM UNLESS OTHERWISE NOTED ON PLAN.
STRUCTURAL LAMINATED BEAMS TO BE INSTALLED
AS PER MANUFACTURERS SPECIFICATIONS.

CUTS, NOTCHES & HOLES BORED IN TRUSSES, STRUCTURAL COMPOSITE LUMBER, STRUCTURAL GLUE-LAMINATED MEMBERS OR I-JOISTS ARE PROHIBITED EXCEPT WHERE PERMITTED BY THE MANUFACTURER'S RECOMMENDATIONS.

FOR LOAD-BEARING PARTITIONS INSTALL DOUBLE JAMB STUDS UNDER HEADER FOR OPENINGS 6' AND LESS IN WIDTH. TRIPLE JAMB STUDS FOR WIDER OPENINGS. FOR NON-BEARING PARTITIONS INSTALL ONE JAMB STUD FOR OPENINGS LESS THAN 4' IN WIDTH AND DOUBLE JAMS STUDS FOR WIDER OPENINGS.

CONTRACTOR TO PROVIDE SOLID 2 X 10
BLOCKING TO BE LOCATED BETWEEN FLOOR
JOISTS WERE POSTS, FROM ABOVE, CARRYING
STRUCTURAL HEADERS LAND BETWEEN FLOOR
JOISTS BELOW. BLOCKING TO BE BUILT UP TO
THE SAME WIDTH AS POST IT IS CARRYING ABOVE.
ALL JOISTS TO OVER LAP GIRDER OR BEARING
WALL A MINIMUM OF 3".

ALL DIMENSIONS MUST BE VERIFIED IN THE FIELD BY THE CONTRACTOR BEFORE START OF CONSTRUCTION. ANY DISCREPANCIES ON THE PLANS, OR SPECIFICATIONS, MUST BE REPORTED TO THE ENGINEER PRIOR TO THE START OF CONSTRUCTION.

INSTALL 2 X 6 COLLAR TIES AT 32" O.C.
COLLAR TIES TO BE LOCATED DOWN FROM THE
MAIN RIDGE A MINIMUM OF 1/3RD OF THE TOTAL
HEIGHT BETWEEN THE CEILING JOISTS AND
THE TOP OF THE MAIN RIDGE.

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSONS TO ALTER THESE PLANS, SPECIFICATIONS, OR REPORTS IN ANY WAY, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR.

	Brian J. Stokosa, PE
09-23-19	
09-18-19	
Revisions 09-11-19	
Project No. 2019.287	License No. 083970

M.A. DAY Engineering, PC
Consulting Engineers

3 Van Wyck
Lane Suite 2
Wappingers Falls, New York
(845)-223-3202

PROJECT
Lot #2, St. Luke's Place, City of Beacon
Dutchess County, New York

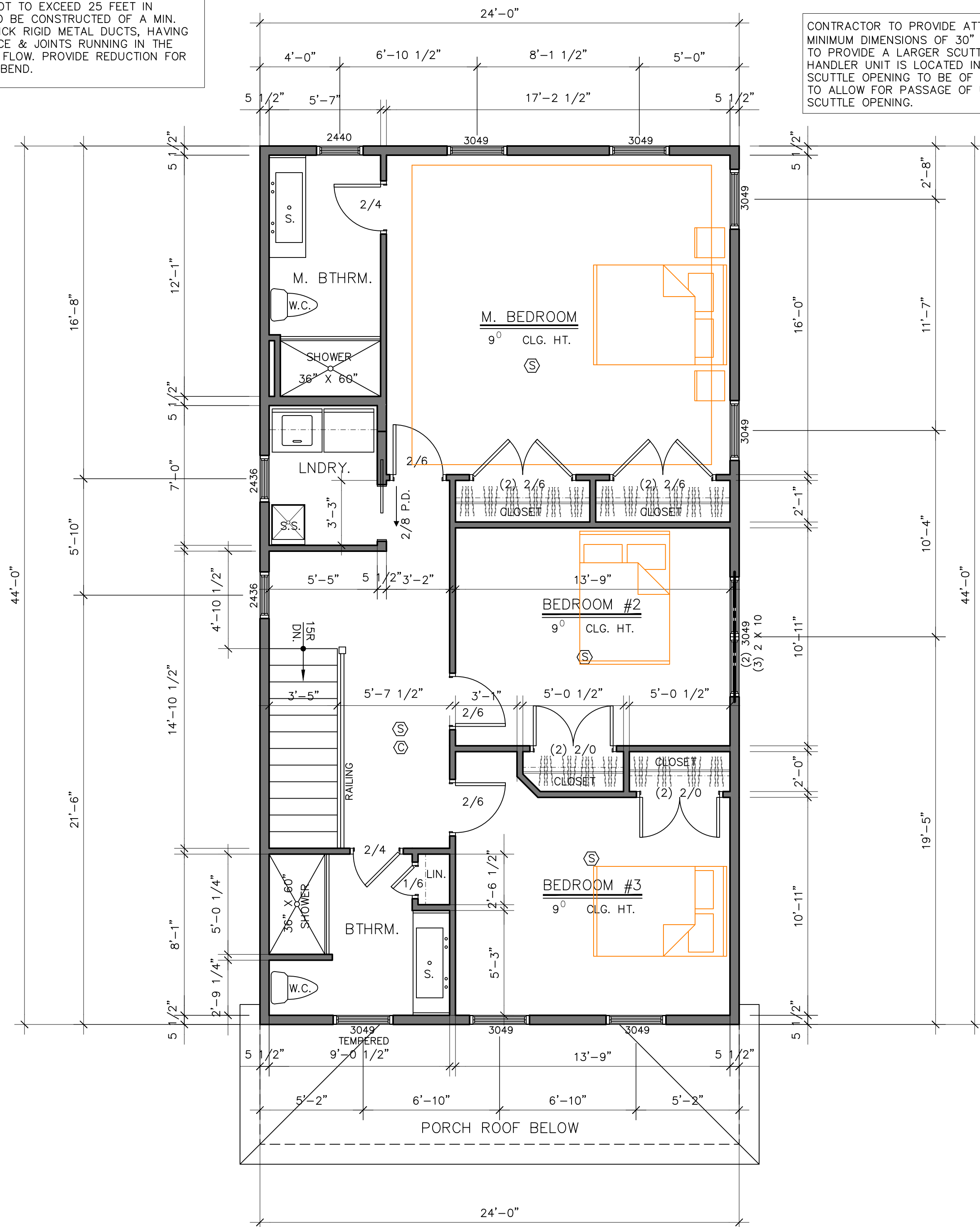
New Residence For:
Hannah Kluger

SCALE	DRAWN BY	DRAWING No.
DATE	CHECKED BY	
$\frac{1}{4}" = 1'-0"$	S.M.M.	P1
09-05-19	B.J.S.	

CONTRACTOR TO VENT DRYER TO EXTERIOR SUCH THAT IT SHALL NOT TERMINATE LESS THAN 3 FEET FROM ANY OPENING INTO THE BUILDING. DRYER DUCT IS NOT TO EXCEED 25 FEET IN LENGTH AND IS TO BE CONSTRUCTED OF A MIN. OF 0.016 INCH THICK RIGID METAL DUCTS, HAVING A SMOOTH SURFACE & JOINTS RUNNING IN THE DIRECTION OF AIR FLOW. PROVIDE REDUCTION FOR EACH 90 DEGREE BEND.

INSULATED R-30 ATTIC ACCESS COVER TO BE PROVIDED IN ATTIC

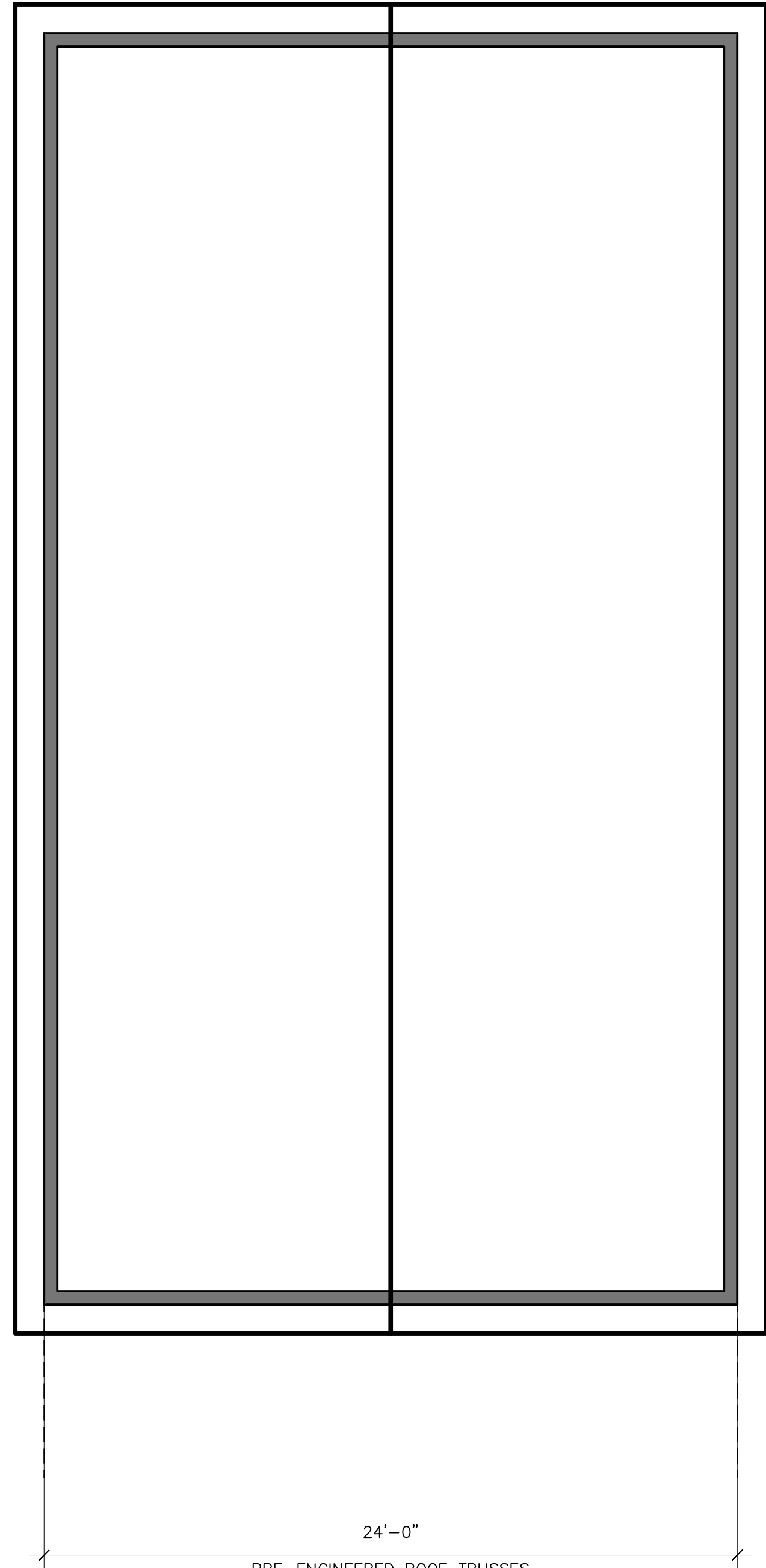
CONTRACTOR TO PROVIDE ATTIC SCUTTLE WITH MINIMUM DIMENSIONS OF 30" X 22". CONTRACTOR TO PROVIDE A LARGER SCUTTLE OPENING IF AIR HANDLER UNIT IS LOCATED IN ATTIC SPACE. SCUTTLE OPENING TO BE OF ADEQUATE DIMENSION TO ALLOW FOR PASSAGE OF UNIT THROUGH SCUTTLE OPENING.



SECOND FLOOR PLAN

- ⑤ INTERCONNECTED 110 VOLT SMOKE DETECTOR W/ BATTERY BACKUP TESTED IN ACCORDANCE WITH UL217 & NFPA72
⑥ INTERCONNECTED CARBON MONOXIDE ALARM W/ BATTERY BACKUP TESTED IN ACCORDANCE WITH UL 2034 & CSA 6.19 - TO BE INSTALLED ON EACH FLOOR CONTAINING A SLEEPING AREA OR CARBON MONOXIDE SOURCE. TO BE INSTALLED WITHIN 15 FEET OF EACH SLEEPING AREA

SCALE: 1/4" = 1'-0"



ROOF PLAN

SCALE: 1/4" = 1'-0"

NOTES:

- ALL EXTERIOR WALLS ARE TO BE 2X6 WOOD STUDS
ALL INTERIOR WALLS ARE TO BE 2X4 WOOD STUDS
DOUBLE ALL FLOOR JOISTS UNDER WALLS ABOVE, THAT ARE FRAMED PARALLEL TO FLOOR FRAMING UNLESS OTHERWISE NOTED ON PLAN.
ALL FLOOR JOISTS, CEILING JOISTS & RAFTERS ARE TO BE S.P.F.
ALL BEAMS, GIRDERS AND HEADERS ARE TO BE DOUG FIR LARCH #2 OR BETTER WITH A Fb RATING OF 875 AND A MODULUS OF ELASTICITY OF 1600000 MINIMUM UNLESS OTHERWISE NOTED ON PLAN.
ALL LAMINATED VENEER LUMBER (L.V.L.) BEAMS, GIRDERS AND HEADERS, LABELED ON PLAN, TO HAVE A Fb RATING OF 2950 AND A MODULUS OF ELASTICITY OF 2,000,000 MINIMUM UNLESS OTHERWISE NOTED ON PLAN. STRUCTURAL LAMINATED BEAMS TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
CUTS, NOTCHES & HOLES BORED IN TRUSSES, STRUCTURAL COMPOSITE LUMBER, STRUCTURAL GLUE-LAMINATED MEMBERS OR I-JOISTS ARE PROHIBITED EXCEPT WHERE PERMITTED BY THE MANUFACTURER'S RECOMMENDATIONS.
FOR LOAD-BEARING PARTITIONS INSTALL DOUBLE JAMB STUDS UNDER HEADER FOR OPENINGS 6" AND LESS IN WIDTH. TRIPLE JAMB STUDS FOR WIDER OPENINGS. FOR NON-BEARING PARTITIONS INSTALL ONE JAMB STUD FOR OPENINGS LESS THAN 4" IN WIDTH AND DOUBLE JAMB STUDS FOR WIDER OPENINGS.
CONTRACTOR TO PROVIDE SOLID 2 X 10 BLOCKING TO BE LOCATED BETWEEN FLOOR JOISTS WERE POSTS, FROM ABOVE, CARRYING STRUCTURAL HEADERS LAND BETWEEN FLOOR JOISTS BELOW. BLOCKING TO BE BUILT UP TO THE SAME WIDTH AS POST IT IS CARRYING ABOVE.
ALL JOISTS TO OVER LAP GIRDER OR BEARING WALL A MINIMUM OF 3".
ALL DIMENSIONS MUST BE VERIFIED IN THE FIELD BY THE CONTRACTOR BEFORE START OF CONSTRUCTION. ANY DISCREPANCIES ON THE PLANS, OR SPECIFICATIONS, MUST BE REPORTED TO THE ENGINEER PRIOR TO THE START OF CONSTRUCTION.
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	Brian J. Stokosa, PE
09-23-19	
09-18-19	
Revisions	09-11-19
Project No.	2019.287
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M.A. DAY Engineering, PC

Consulting Engineers

3 Van Wyck
Lane Suite 2
Wappingers Falls, New York
(845)-223-3202

Lot #2, St. Luke's Place, City of Beacon
Dutchess County, New York

New Residence For:
Hannah Kluger

SCALE	DRAWN BY	DRAWING NO.
1/4" = 1'-0"	S.M.M.	P2
DATE	CHECKED BY	
09-05-19	B.J.S.	

2015 INTERNATIONAL ENERGY CONSERVATION CODE

BUILDING TYPE:
CODE DESIGN METHOD:
CLIMATE ZONE:

SINGLE FAMILY RESIDENCE
RESCHECK *SEE ATTACHED
5A

HEATING EQUIPMENT TYPE: SHALL BE DESIGNED BY THE H.V.A.C. CONTRACTOR

I, BRIAN J. STOKOSA CERTIFY THAT THESE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE SECTIONS OF THE INTERNATIONAL ENERGY CONSERVATION CODE.

WOOD HEADER SIZES	
SPANS UP TO AND INCLUDING:	MINIMUM HEADER SIZE
0'-0" - 3'-11"	(2) 2x8's
4'-0" - 5'-11"	(2) 2x10's
6'-0" - 7'-11"	(2) 2x12's
UNLESS OTHERWISE NOTED	

THE BUILDING ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE. THE ENVELOPE SHALL BE TESTED AND VERIFIED TO HAVE AN AIR LEAKAGE RATE NOT EXCEEDING 3 AIR CHANGES PER HOUR AND A REPORTED PRESSURE OF 0.2 INCH W.G. (50 PASCALES). ALL DUCTS, AIR HANDLERS AND FILTER BOXES ARE TO BE SEALED. DUCTS ARE TO BE PRESSURE TESTED TO DETERMINE LEAKAGE.

A WHOLE HOUSE VENTILATION SYSTEM IS TO BE INSTALLED FOR THE NEW DWELLING. THE SYSTEM IS TO BE DESIGNED IN ACCORDANCE WITH M1507.3, THE SQUARE FOOTAGE OF THE DWELLING AND THE NUMBER OF BEDROOMS. OUTDOOR AIR INTAKES AND EXHAUSTS ARE TO HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN SYSTEM IS NOT IN OPERATION.

FIREBLOCKING SHALL BE PROVIDED TO CUT OFF VERTICLE AND HORIZONTAL DRAFT OPENINGS AND TO FORM A FIRE BARRIER BETWEEN STORIES AND THE TOP STORY AND ROOF SPACE.

FIREBLOCKING IS TO BE PROVIDED IN THE FOLLOWING LOCATIONS:
- IN CONCEALED STUD WALLS VERTICALLY AT CEILING & FLOOR LEVELS AND INTERVALS NOT EXCEEDING 10'
- AT INTERCONNECTIONS BETWEEN CONCEALED VERTICLE AND HORIZONTAL SPACES, SUCH AS SOFFITS, DROP CEILINGS, COVE CEILINGS
- IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP & BOTTOM OF THE RUN.
FIREBLOCKING SHALL CONSIST OF NOMINAL TWO-INCH LUMBER, 2½" PLYWOOD, ¾" PARTICAL BOARD, ½" GYPSUM BOARD, ¼" CEMENT BASED MILLBOARD OR BATTS/BLANKETS OF MINERAL WOOL OR GLASS FIBER SECURELY RETAINED IN PLACE.

AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES, AND WIRES AT THE CEILING AND FLOOR LEVEL AN APPROVED MATERAIL IS TO BE INSTALLED TO RESIST THE FREE PASSAGE OF FLAME & PRODUCTS OF COMBUSTION.

GENERAL NOTES

DIVISION 1 - GENERAL CONDITIONS:

CODES: ALL WORK & MATERIALS MUST CONFORM TO THE 2015 INTERNATIONAL RESIDENTIAL CODE, LOCAL BUILDING CODES, NATIONAL BOARD OF FIRE UNDERWRITERS CODE AND TO THE REQUIREMENTS OF THE BOARD OF HEALTH & 2015 INTERNATIONAL ENERGY CONSERVATION CODE.

OMISSION: ANYTHING NOT SPECIFICALLY SHOWN HEREON AND/OR SPECS, BUT WHICH IS REASONABLY IMPLIED, SHALL BE FURNISHED AS THOUGH SET FORTH IN THE PLANS AND/OR SPECIFICATIONS. ALL WRITTEN FIGURES, NOTES & DIMENSIONS ON THE FLOOR PLANS, OR SPECIFICATIONS SHALL TAKE PRECEDENCE OVER ANY DRAWN FIGURES. DO NOT SCALE PRINTS. ALL DIMENSIONS MUST BE VERIFIED IN THE FIELD BY THE CONTRACTOR BEFORE START OF CONSTRUCTION. ANY DISCREPANCIES ON THE PLANS, OR SPECIFICATIONS, MUST BE REPORTED TO THE ENGINEER PRIOR TO THE START OF CONSTRUCTION.

ALL PERMITS ARE NOT THE RESPONSIBILITY OF THE ENGINEER.

MATERIALS: ALL MATERIALS SHALL BE NEW AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.

SUBSTITUTIONS: SUBSTITUTIONS MADE FOR STRUCTURAL MATERIALS SPECIFIED BY NAME MAY BE MADE ONLY IF APPROVED BY ENGINEER.

OWNERSHIP OF PLANS: THESE PLANS ARE PROPERTY OF M.A. DAY ENGINEERING, P.C. ANY USE OR REPRODUCTION, IN WHOLE OR PART, WITHOUT THE WRITTEN CONSENT OF M.A. DAY ENGINEERING, P.C. IS PROHIBITED. ANY PERSON, OR CORPORATION, USING PLANS WITHOUT CONSENT WILL BE RESPONSIBLE TO COMPENSATE M.A. DAY ENGINEERING, P.C.

ENGINEER'S STATUS: THE ENGINEER HAS NOT BEEN RETAINED BY OWNER TO PROVIDE PERIODIC JOB INSPECTIONS OR JOB ADMINISTRATION AND SHALL NOT BE RESPONSIBLE FOR CHANGES MADE IN THE FIELD WITHOUT WRITTEN OR GRAPHIC AUTHORIZATION.

DIVISION 2 - SITE WORK:

FOOTINGS: IF SOIL BEARING CONDITIONS ARE QUESTIONABLE, THE CONTRACTOR SHALL CONSULT A SOILS ENGINEER FOR PROPER FOOTING DESIGN. THE PLANS ARE BASED ON A MINIMUM SOIL BEARING CAPACITY 2,000 PSF.

FINISHED GRADING: FINISHED GRADING SHALL BE PERFORMED SO AS TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE HOUSE.

DIVISION 3 - CONCRETE:

ALL CONCRETE USED SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,500 PSI AT 28 DAYS UNLESS OTHERWISE NOTED. ALL CONCRETE WORK SHALL BE DONE IN COMPLETE CONFORMANCE TO APPLICABLE ACI CODES.

DIVISION 5 - METALS:

STRUCTURAL STEEL: ALL STRUCTURAL STEEL SHALL CONFORM TO ASTM SPECIFICATIONS A-36 FOR STRUCTURAL STEEL. ALL STEEL PIPE COLUMNS SHALL BE OF STANDARD WEIGHT PIPE UNLESS OTHERWISE NOTED. STRUCTURAL STEEL HAS BEEN DESIGNED FOR A MAXIMUM BENDING STRESS OF 24,000 PSI, IN ACCORDANCE WITH THE 9TH EDITION OF THE AISC. ALL STEEL BEAMS SHAL BE FACTORY PRIMED WITH A RUST PROHIBITOR AND FIELD PAINTED WHERE EXPOSED TO WEATHER. ALL BEAM CONNECTIONS SHALL BE THROUGH BOLTED UNLESS OTHERWISE NOTED. ALL HOLES SHALL BE DRILLED OR PUNCHED. TORCHED HOLES SHALL NOT BE PERMITTED.

REINFORCING STEEL: ALL REINFORCING STEEL BARS SHALL BE GRADE 60.

DIVISION 6 - WOOD & PLASTICS:

LUMBER: ALL STRUCTURAL LUMBER SHALL HAVE A MINIMUM BENDING STRESS OF 1,200 PSI.

FRAMING: FRAMING SHALL BE ERECTED PLUMB, LEVEL, TRUE AND SECURELY NAILED. JOISTS, STUDS AND RAFTERS ARE TO BE DOUBLED AT ALL OPENINGS. ALL FLUSH JOIST HEADERS TO BE CONNECTED WITH GALVANIZED METAL JOIST HANGERS. ALL FLUSH BEAM CONNECTIONS SHALL HAVE HEAVY DUTY JOIST HANGERS. DOUBLE FRAME UNDER ALL PARTITIONS PARALLEL TO FRAMING. SIZES OF JOISTS AND RAFTERS ARE SHOWN ON THE PLAN. IF A WOOD DECK IS PROVIDED, ALL STRUCTURAL MEMBERS SHALL BE PRESSURE TREATED LUMBER.

SHEATHING & SUBFLOOR: SHEATHING & SUBFLOOR SHALL BE APA ORIENTED STRAND BOARD WITH EXTERIOR GLUE AND NAILED TO EACH FRAMING MEMBER UNLESS OTHERWISE NOTED.

JOIST HANGERS: JOIST HANGERS SHALL BE GALVANIZED STEEL OR IRON, SIZED TO FIT THE SUPPORTED MEMBER AND OF SUFFICIENT STRENGTH TO DEVELOP THE FULL STRENGTH OF THE SUPPORTED MEMBER, AND FURNISHED COMPLETE WITH ANY SPECIAL FASTENERS REQUIRED. MANUFACTURES SHALL BE "SIMPSON" STRONG-TIE, OR EQUAL.

DIVISION 7 - THERMAL & MOISTURE PROTECTION:

ROOFING: ALL CHIMNEYS SHALL BE PROPERLY FLASHED WITH GALVANIZED STEP FLASHING. VALLEY AND VERTICAL ROOF SECTIONS SHALL BE PROPERLY SUPPORTED. ALL ROOFING SHALL BE INSTALLED IN STRICT CONFORMANCE TO THE MANUFACTURER'S SPECIFICATIONS.

ASPHALT SHINGLES: TO BE SELECTED BY OWNER OR CONTRACTOR.

VENTS: VENTILATE ALL ATTIC, RAFTER AND CRAWL SPACE AREAS WITH PROPER SIZED SCREENED VENTS AND/OR LOUVERS.

INSULATION: ALL INSULATION SHALL BE INSTALLED IN ACCORDANCE WITH THE 2015 IECC.

CAULKING: ALL EXTERIOR JOINTS BETWEEN WINDOWS, DOORS AND OTHER SURFACES SHALL BE CAULKED USING A WEATHERPROOF CAULKING.

DIVISION 8 - DOORS & WINDOWS:

WINDOWS: ALL WINDOWS SHALL MEET THE MINIMUM REQUIREMENTS FOR LIGHT, VENTILATION AND EGRESS. ALL WINDOWS SHALL BE OF SUFFICIENT CONSTRUCTION SO AS TO MEET THE 2015 IECC.

INTERIOR DOORS: ALL INTERIOR DOORS SHALL COME COMPLETE WITH HARDWARE. A CLASS "C" SELF-CLOSING FIRE RATED DOOR SHALL BE FURNISHED AND INSTALLED BETWEEN GARAGE & HOUSE. ALL DOORS SHALL MEET THE MINIMUM REQUIREMENTS OF THE 2015 IECC, IF APPLICABLE.

DIVISION 9 - FINISHES:

DRYWALL: DRYWALL SHALL BE 1/2" GYPSUM BOARD SECURELY SCREWED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS. ALL JOINTS ARE TO BE TAPED AND SHALL RECEIVE (3) COATS OF JOINT COMPOUND. FINISHES TO BE SMOOTH, EVEN AND READY FOR PAINTING.

DIVISION 15 - MECHANICAL:

HEATING: THE CONTRACTOR SHALL FURNISH & INSTALL A HEATING SYSTEM WHICH MEETS THE 2015 IECC.

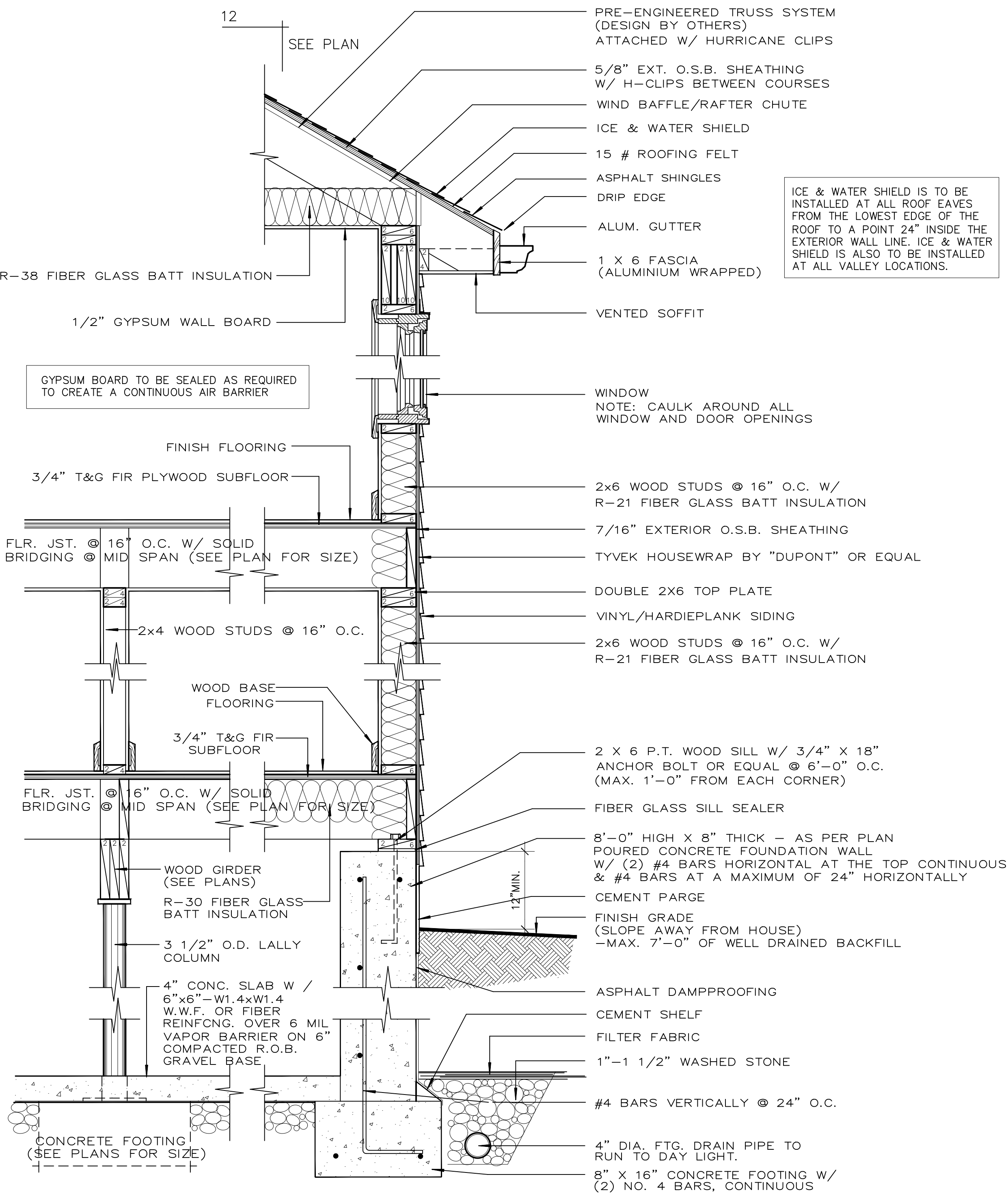
FLASHING: ALL PIPES PASSING THROUGH ROOF SHALL BE MADE WATER-TIGHT.

ALL PIPES CARRYING WATER OVER 105 DEGREES MUST BE INSULATED WITH A MINIMUM OF R-3.

TESTING: THE CONTRACTOR SHALL TEST ALL WATER SUPPLY AND DRAIN, WASTE AND VENT PIPING IN ACCORDANCE WITH ALL CODES.

DIVISION 16 - ELECTRICAL:

ALL ELECTRICAL WORK SHALL BE DONE IN STRICT CONFORMANCE WITH THE NATIONAL BOARD OF FIRE UNDERWRITERS AND LOCAL CODES. THE SERVICE SIZE SHALL BE A MINIMUM OF 100 AMPS.



TYPICAL WALL SECTION

SCALE: N.T.S.

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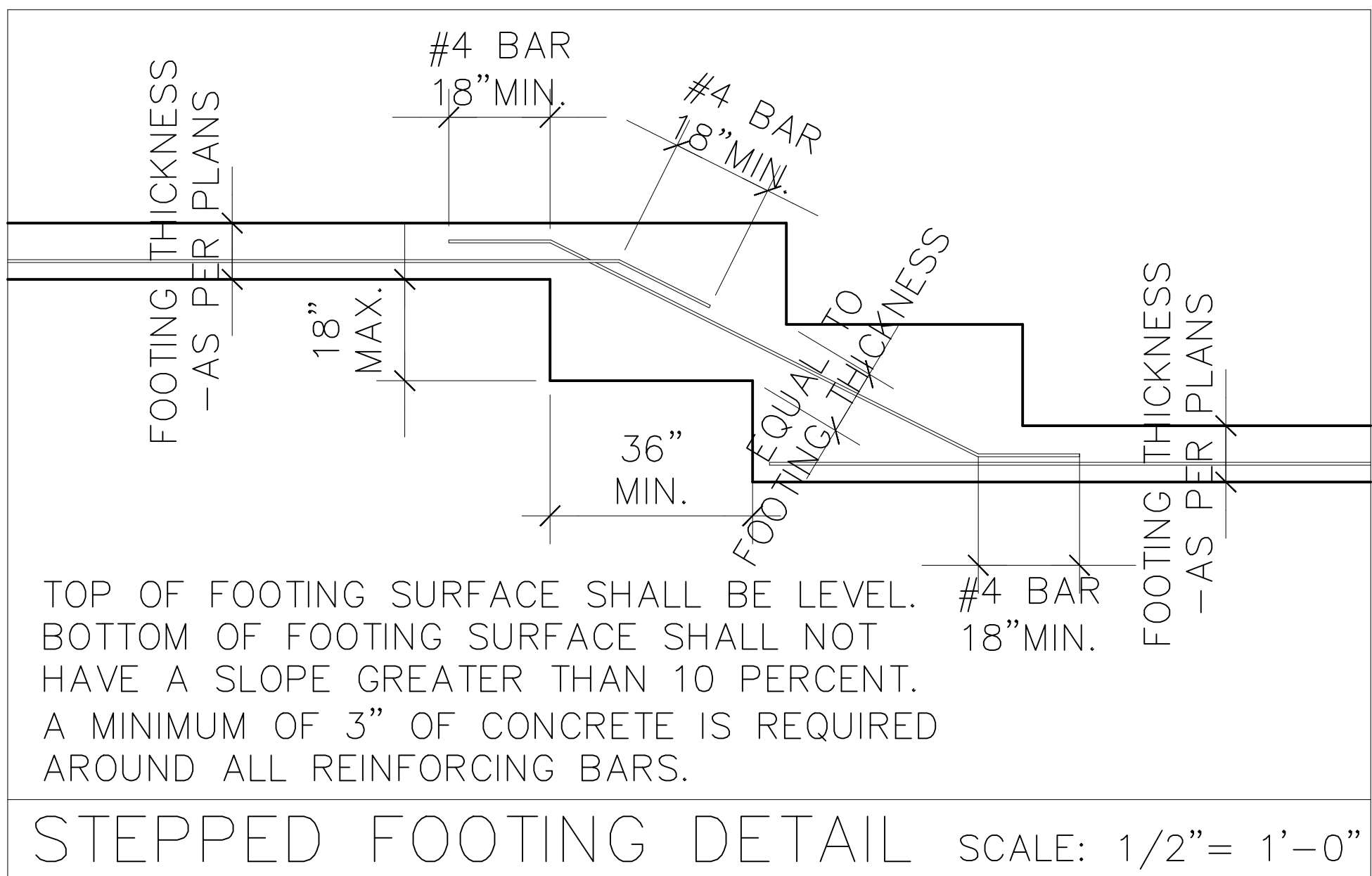
3 Van Wyck
Lane Suite 2
Wappingers Falls, New York
(845)-223-3202

PROJECT

Lot #2, St. Luke's Place, City of Beacon
Dutchess County, New York

New Residence For:
Hannah Kluger

SCALE 1/4" = 1'-0"	DRAWN BY S.M.M.	DRAWING NO. W1
DATE 09-05-19	CHECKED BY B.J.S.	



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3 Van Wyck
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PROJECT
Lot #2, St. Luke's Place, City of Beacon Dutchess County, New York

New Residence For:
Hannah Kluger

SCALE $\frac{1}{4}'' = 1'-0''$	DRAWN BY S.M.M.	DRAWING NO. W2
DATE 09-05-19	CHECKED BY B.J.S.	

City of Beacon Planning Board
10/8/2019

Title:

River Ridge - Parcel L

Subject:

River Ridge – architectural amendment; add porch roofs over all entrances

Background:

ATTACHMENTS:

Description	Type
River Ridge Application	Application
River Ridge Cover Letter	Cover Memo/Letter
River Ridge Sheet 6 Building Elevations 6x6 mullions-Layout1	Backup Material
River Ridge Sheet 6 Building Elevations Front Porches Layout1	Backup Material

ARCHITECTURAL REVIEW BOARD APPLICATION

Date: _____

Project Address: _____

Project Architect/Engineer:_____

Owner/Builder: _____

Approval Requested: _____Certificate of Appropriateness _____New Single Family House

Color/Materials:

Siding: _____

Roofing: _____

Windows: Color:_____ Type:_____

Trim: _____

Garage Door: _____

Stone/Brick: _____

Signature of Owner

FOR OFFICE USE ONLY:

The Architectural Review Board has reviewed the plans submitted for approval for the project listed above and has determined:

Plan Denied _____
(Date)

Plan Approved _____
(Date)

Subject to the following:

FEE: \$100.00

ARYEH SIEGEL
ARCHITECT

Etha Grogan
Planning Board Secretary
City of Beacon
One Municipal Plaza
Beacon, NY 12508

Re: River Ridge
ARB Review – Proposed Porch Roof Additions

September 24, 2019

Dear Etha,

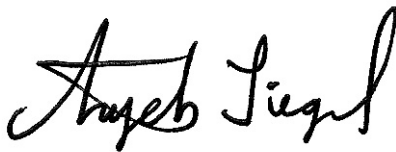
The Applicant is requesting that the ARB review a proposed addition of front porch roofs for all townhouse units that did not originally have a roof over their front porch. The Applicant wants all units to have a front porch roof. The design of the roof is the same at each unit.

Please find enclosed:

- (5) copies of Sheet 6 – Renderings, dated September 24, 2019 – showing the previously approved renderings
- (5) copies of Sheet 6 – Renderings, dated September 24, 2019 – showing the proposed renderings with all units having a front porch roof.
- CDROM with copies of submitted drawings and 11x17 versions of same

Thank you. Please let me know if you have any questions.

Sincerely,



Aryeh Siegel
Aryeh Siegel, Architect



View Towards North from Wolcott Avenue (Route 9D)

Scale: NTS



View from Below Retaining Wall

Scale: NTS



NOTE: RENDERINGS ARE ARTISTIC INTERPRETATIONS OF THE PROPOSED BUILDING DESIGN TO AID IN REVIEWING THE PROPOSED DESIGN OF THE BUILDINGS ONLY; AND ARE NOT INTENDED AS DETAILED REPRESENTATIONS OF SITE CONDITIONS



View from Wolcott Avenue (Route 9D)

Scale: NTS



View from Rombout Avenue

Scale: NTS

PROPOSED MATERIALS

APPROVED BY ARCHITECTURAL REVIEW BOARD

- BRICK: GLEN GARY BRICK: COLOR: 53DD OR APPROVED EQUAL
- WINDOWS: PLYGEM DOUBLE HUNG - COLOR: BLACK. NOTE THAT WINDOW MULLIONS SHALL BE ON THE EXTERIOR OF THE GLASS.
- SIDING: HARDIE BOARD SIDING - COLOR: IRON GRAY
- ROOFING: CERTAINTEED GRAND MANOR ASPHALT SHINGLES. COLOR: GATEHOUSE SLATE
- TRIM COLOR: BENJAMIN MOORE HC-135 LAFAYETTE GREEN
- COLUMNS: BENJAMIN MOORE HC-164 PURITAN GRAY
- DECKING: TREX "TRANSCEND" - COLOR: ISLAND MIST GRAY
- RAILINGS: TREX PG-2 CHARCOAL BLACK RAILS AND ALUMINUM BALUSTERS



South Elevation

Scale: $\frac{1}{16}" = 1'-0"$



West Elevation

Scale: $\frac{1}{16}" = 1'-0"$



East Elevation

Scale: $\frac{1}{16}" = 1'-0"$



North Elevation

Scale: $\frac{1}{16}" = 1'-0"$

REVISIONS:		
NO.	DATE	DESCRIPTION
1	08/28/17	NO CHANGE
2	09/26/17	NO CHANGE
3	10/3/17	REVISE PER PLANNING BOARD COMMENTS
4	11/28/17	NO CHANGE
5	12/26/17	REVISE PER PLANNING BOARD COMMENTS
6	01/30/18	REVISE PER PLANNING BOARD COMMENTS
7	02/27/18	REVISE PER PLANNING BOARD COMMENTS
8	04/16/18	FINAL REVIEW
9	06/25/18	NO CHANGE
10	08/08/18	REVISE PER PLANNING BOARD COMMENTS
11	12/07/18	REVISE PER PLANNING BOARD COMMENTS
12	12/21/18	FOR SIGNATURE
13	6/25/19	ARB REVIEW - 6 OVER 6 MULLIONS
14	9/24/19	ARB REVIEW - PORCHES

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE _____ DAY OF _____, 20____, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION, ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS _____ DAY OF _____, 20____, BY _____

_____, CHAIRMAN

_____, SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

NOT FOR HEALTH DEPARTMENT
REVIEW & APPROVAL

Owner:
River Ridge Views, LLC
50 Red Schoolhouse Road
Fishkill, NY 12524

Architect:
Arveh Siegel, Architect
84 Mason Circle
Beacon, New York 12508

Site / Civil Engineer:
Hudson Land Design
174 Main Street
Beacon, New York 12508

Surveyor:
TEC Land Surveying, P.C.
15C Tioronda Avenue
Beacon, New York 12508

Landscape Design:
LQ Design
P.O. Box 244
Beacon, NY 12508

PREVIOUSLY APPROVED
Building Elevations & Renderings

Sheet 8 of 17

River Ridge Townhouses

Beacon, New York
Scale: As Noted
July 25, 2017



View Towards North from Wolcott Avenue (Route 9D)

Scale: NTS



View from Below Retaining Wall

Scale: NTS



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View from Wolcott Avenue (Route 9D)

Scale: NTS



View from Rombout Avenue

Scale: NTS

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9	06/25/18	NO CHANGE
10	08/08/18	REVISE PER PLANNING BOARD COMMENTS
11	12/07/18	REVISE PER PLANNING BOARD COMMENTS
12	12/21/18	FOR SIGNATURE
13	6/25/19	ARB REVIEW - 6 OVER 6 MULLIONS
14	9/24/19	ARB REVIEW - PORCHES

PROPOSED MATERIALS

APPROVED BY ARCHITECTURAL REVIEW BOARD

- BRICK: GLEN GARY BRICK: COLOR: 53DD OR APPROVED EQUAL
- WINDOWS: PLYGEM DOUBLE HUNG - COLOR: BLACK. NOTE THAT WINDOW MULLIONS SHALL BE ON THE EXTERIOR OF THE GLASS.
- SIDING: HARDIE BOARD SIDING - COLOR: IRON GRAY
- ROOFING: CERTAINTEED GRAND MANOR ASPHALT SHINGLES. COLOR: GATEHOUSE SLATE
- TRIM COLOR: BENJAMIN MOORE HC-135 LAFAYETTE GREEN
- COLUMNS: BENJAMIN MOORE HC-164 PURITAN GRAY
- DECKING: TREX "TRANSCEND" - COLOR: ISLAND MIST GRAY
- RAILINGS: TREX PG-2 CHARCOAL BLACK RAILS AND ALUMINUM BALUSTERS



South Elevation

Scale: 1/8" = 1'-0"



West Elevation

Scale: 1/8" = 1'-0"



East Elevation

Scale: 1/8" = 1'-0"



North Elevation

Scale: 1/8" = 1'-0"

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE _____ DAY OF _____, 20____, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS _____ DAY OF _____, 20____, BY _____

_____, CHAIRMAN

_____, SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

NOT FOR HEALTH DEPARTMENT
REVIEW & APPROVAL

Owner:
River Ridge Views, LLC
50 Red Schoolhouse Road
Fishkill, NY 12524

Architect:
Arveh Siegel, Architect
84 Mason Circle
Beacon, New York 12508

Site / Civil Engineer:
Hudson Land Design
174 Main Street
Beacon, New York 12508

Surveyor:
TEC Land Surveying, P.C.
15C Tioronda Avenue
Beacon, New York 12508

Landscape Design:
LQ Design
P.O. Box 244
Beacon, NY 12508

PROPOSED FRONT PORCH ROOFS OVER ALL UNITS
Building Elevations & Renderings

Sheet 8 of 17

River Ridge Townhouses
Beacon, New York
Scale: As Noted
July 25, 2017

City of Beacon Planning Board
10/8/2019

Title:

1228 North Avenue

Subject:

Certificate of Appropriateness – 1228 North Avenue; revised elevations

Background:

ATTACHMENTS:

Description	Type
1228 North Avenue Application	Application
1228 North Avenue Cover Letter	Cover Memo/Letter
1228 North Avenue Elevations	Backup Material

ARCHITECTURAL REVIEW BOARD APPLICATION

Date: _____

Project Address: _____

Project Architect/Engineer:_____

Owner/Builder: _____

Approval Requested: _____Certificate of Appropriateness _____New Single Family House

Color/Materials:

Siding: _____

Roofing: _____

Windows: Color:_____ Type:_____

Trim: _____

Garage Door: _____

Stone/Brick: _____

Signature of Owner

FOR OFFICE USE ONLY:

The Architectural Review Board has reviewed the plans submitted for approval for the project listed above and has determined:

Plan Denied _____
(Date)

Plan Approved _____
(Date)

Subject to the following:

FEE: \$100.00

ARYEH SIEGEL
ARCHITECT

Etha Grogan
Planning Board Secretary
City of Beacon
One Municipal Plaza
Beacon, NY 12508

Re: 1228 North Avenue
ARB Review – Proposed Siding and Porch Changes

September 24, 2019

Dear Etha,

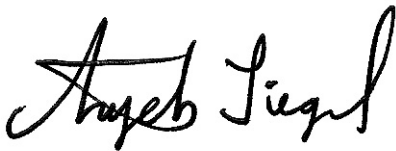
The Applicant is requesting that the ARB review proposed new siding and re-construction of covered porches that were structurally unsound.

Please find enclosed:

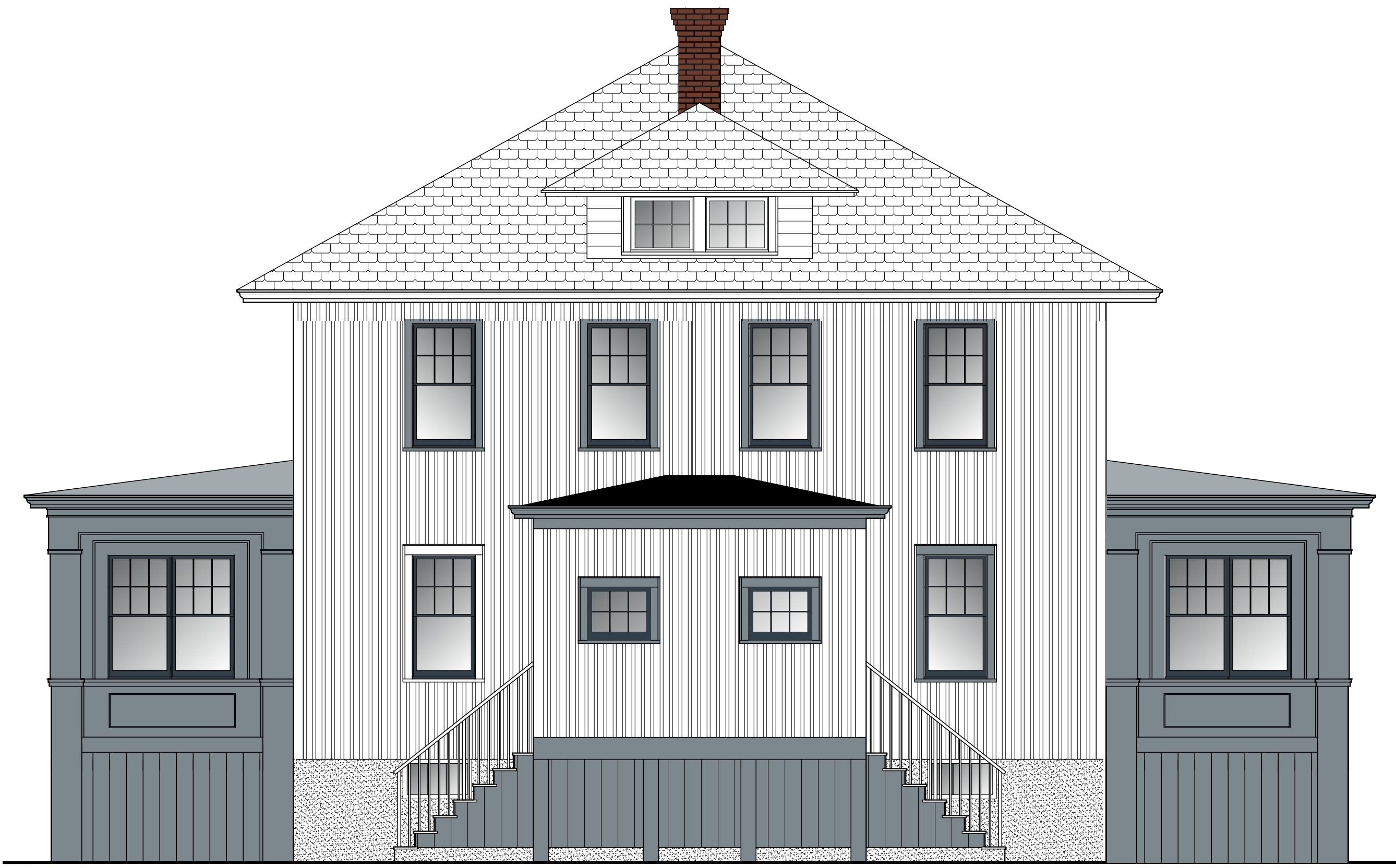
- (5) copies of Proposed Elevations – 11x17 sheets
- ARB Application and check for fee
- CDROM with copies of submitted drawings

Thank you. Please let me know if you have any questions.

Sincerely,



Aryeh Siegel
Aryeh Siegel, Architect



EXISTING ASPHALT SHINGLE
ROOF

SIDING: PLY GEM - "MASTIC"
BOARD & BATTEN VINYL SIDING
DESIGNER SERIES. COLOR: WHITE

WINDOWS: ANDERSEN WINDOWS
"100 SERIES" COLOR: BLACK

PORCH TRIM & PANELS: BENJAMIN
MOORE HC-162 "BREWSTER
GRAY"

WINDOW TRIM: BENJAMIN MOORE
HC-162 "BREWSTER GRAY"



EXISTING ASPHALT SHINGLE
ROOF

SIDING: PLY GEM - "MASTIC"
BOARD & BATTEN VINYL SIDING
DESIGNER SERIES. COLOR: WHITE

WINDOWS: ANDERSEN WINDOWS
"100 SERIES" COLOR: BLACK

PORCH TRIM & PANELS: BENJAMIN
MOORE HC-162 "BREWSTER
GRAY"

WINDOW TRIM: BENJAMIN MOORE
HC-162 "BREWSTER GRAY"

DOOR: BLACK PAINT TO MATCH
ANDERSEN WINDOWS



EXISTING ASPHALT SHINGLE
ROOF

SIDING: PLY GEM - "MASTIC"
BOARD & BATTEN VINYL SIDING
DESIGNER SERIES. COLOR: WHITE

WINDOWS: ANDERSEN WINDOWS
"100 SERIES" COLOR: BLACK

PORCH TRIM & PANELS: BENJAMIN
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MOORE HC-162 "BREWSTER
GRAY"

WINDOW TRIM: BENJAMIN MOORE
HC-162 "BREWSTER GRAY"

Architectural Review Board Application

Sheet 1 of 2 - Proposed Plans & Elevations