



CITY OF BEACON, NEW YORK  
ONE MUNICIPAL PLAZA  
BEACON, NY 12508

Mayor Randy Casale  
Councilmember Lee Kyriacou, At Large  
Councilmember George Mansfield, At Large  
Councilmember Terry Nelson, Ward 1  
Councilmember John E. Rembert, Ward 2  
Councilmember Jodi M. McCrede, Ward 3  
Councilmember Amber J. Grant, Ward 4  
City Administrator Anthony Ruggiero

**City Council Workshop Agenda**  
**November 13, 2018**  
**7:00 PM**

**Workshop Agenda Items:**

1. Fire Department Budget Presentation
2. Highway Department Budget Presentation
3. Water and Sewer Department Budget Presentation
4. Recreation Department Budget Presentation
5. Roundhouse Special Use Permit Application
6. Zoning Tables
7. Removal of Ch 223-24.8 Amusement centers containing only vintage amusement devices
8. A local law to repeal Chapter 135 and to amend Chapter 1, Article I, Section 3 of the Code of the City of Beacon to remove reference to Housing Standards in the City Code.
9. Asset Management Award
10. Conservation Easement Appraisal Proposal
11. Executive Session: Personnel
12. Executive Session: Litigation
13. Executive Session: Real Estate

**City of Beacon Workshop Agenda**  
**11/13/2018**

**Title:**

**Fire Department Budget Presentation**

**Subject:**

**Background:**

**City of Beacon Workshop Agenda  
11/13/2018**

**Title:**

**Highway Department Budget Presentation**

**Subject:**

**Background:**

**City of Beacon Workshop Agenda  
11/13/2018**

**Title:**

**Water and Sewer Department Budget Presentation**

**Subject:**

**Background:**

City of Beacon Workshop Agenda  
11/13/2018

**Title:**

Recreation Department Budget Presentation

**Subject:**

**Background:**

**City of Beacon Workshop Agenda**  
**11/13/2018**

**Title:**

**Roundhouse Special Use Permit Application**

**Subject:**

**Background:**

**ATTACHMENTS:**

Description	Type
SUP_Roundhouse	Backup Material
JC memo to CC_Roundhouse	Cover Memo/Letter
KB Memo_Roundhouse	Cover Memo/Letter
Roundhouse Sheet 1 Site Plan	Plans
Roundhouse Sheet 7 Roundhouse Building	Plans
Roundhouse Sheet 8 Mill Hotel	Plans

*BEACON PLANNING BOARD  
ONE MUNICIPAL PLAZA - SUITE 1  
BEACON, NEW YORK 12508  
Phone (845) 838-5002 Fax (845) 838-5026  
John Gunn, Chairman*

October 15, 2018

Mayor Casale & City Council Members  
One Municipal Plaza - Suite One  
Beacon, New York 12508

RE: Amend Special Use Permit – Roundhouse  
2 East Main Street

Applicant: 10 Boulevard, LLC

Dear Mayor Casale & Council Members:

At its August 14, 2018, September 11, 2018 and October 10, 2018 meetings, the Planning Board reviewed an application to amend the existing Special Use Permit for the project known as “The Roundhouse” on East Main Street. The applicant is proposing to amend its Site Plan and Special Use Permit by replacing the spa with 10 additional hotel rooms in the Mill Building and replacing a private dining room in the Roundhouse Building with a hotel administration office. The parcel is located in the GB and CMS zoning districts and the Historic District and Landmark Overlay Zone. The 10 additional hotel rooms in the Mill Building require an amendment of the existing Special Permit. In 2010 the approved Special Permit allowed a total of 58 hotel rooms. In 2013 an Amended Special Permit was approved reducing the number of hotel rooms to 41. The Applicant now seeks a further amendment to the Special Permit to increase the number of hotel rooms to 51 by eliminating the spa and converting that space to hotel rooms. After careful review, Board members voted unanimously to recommend the City Council issue a Special Use Permit subject to the applicant returning to the Planning Board for Site Plan Approval. A more detailed description and discussion of the project can be read in the Planning Board’s attachment to its SEQRA Negative Declaration.

A copy of the application, EAF, Negative Declaration and Plans are attached for your information. If you have any questions regarding the Planning Board’s action, please call me.

Yours truly,

*Randall Williams*

Randall Williams, Acting Chairman

**APPLICATION FOR SPECIAL USE PERMIT**

Submit to Planning Board Secretary, One Municipal Plaza, Suite One, Beacon, New York 12508

**IDENTIFICATION OF APPLICANT**

*(For Official Use Only)*

Date Initials

Name: 10 Boulevard, LLC

Application & Fee Rec'd  
Initial Review

2-27-18  
3-15-18

Address: 217 Main Street  
Beacon, NY 12508

PB Public Hearing

Sent to City Council

Signature: *Robert A. Mc El*

City Council Workshop

Date: February 27, 2018

City Council Public Hearing

Phone: 845-765-0061

City Council Approve/Disapprove

**IDENTIFICATION OF REPRESENTATIVE / DESIGN PROFESSIONAL**

Name: Aryeh Siegel Architect

Phone: 845-838-2490

Address: 84 Mason Circle  
Beacon, NY 12508

Fax: 845-838-2657

Email address: ajs@ajsarch.com

**IDENTIFICATION OF SUBJECT PROPERTY:**

Property Address: 2 East Main Street

Tax Map Designation: Section 6054 Block 30 Lot(s) 171812

Land Area: 8.943 Acres Zoning District(s) CB, GB, LB, HI

**DESCRIPTION OF PROPOSED DEVELOPMENT:**

Proposed Use: Hotel, Catering Event Space, Artist Live Work, Restaurant

Gross Non-Residential Floor Space: Existing 58,494 Proposed 0

TOTAL: 58,494

Dwelling Units (by type): Existing 7 Proposed 0

TOTAL: 7

**ITEMS TO ACCOMPANY THIS APPLICATION**

- a. Eight (8) **folded** copies of a site location sketch showing the location of the subject property and the proposed development with respect to neighboring properties and developments.
- b. Eight (8) **folded** copies of the proposed site development plan, consisting of sheets, showing the required information as set forth on the back of this form and other such information as deemed necessary by the City Council or the Planning Board to determine and provide for the property enforcement of the Zoning Ordinance.
- c. Eight (8) **folded** copies of any additional sketches, renderings or other information submitted.
- d. An application fee, payable to the City of Beacon, computed per the attached fee schedule.
- e. An initial escrow amount, payable to the City of Beacon, as set forth in the attached fee schedule.

**APPLICATION FOR SITE PLAN APPROVAL**

Submit to Planning Board Secretary, One Municipal Plaza, Suite One, Beacon, New York 12508

**IDENTIFICATION OF APPLICANT**

*(For Official Use Only)*

Date Initials

Name: 10 Boulevard, LLC

Application & Fee Rec'd

2-27-18

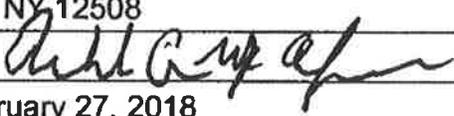
Address: 217 Main Street

Initial Review

3-13-18

Beacon, NY 12508

Public Hearing

Signature: 

Conditional Approval

Date: February 27, 2018

Final Approval

Phone: 845-765-0061

**IDENTIFICATION OF REPRESENTATIVE / DESIGN PROFESSIONAL**

Name: Aryeh Siegel Architect

Phone: 845-838-2490

Address: 84 Mason Circle

Fax: 845-838-2657

Beacon NY 12508

Email address: ajs@ajsarch.com

**IDENTIFICATION OF SUBJECT PROPERTY:**

Property Address: 2 East Main Street

Tax Map Designation: Section 6054

Block 30 Lot(s) 171812

Land Area: 8.943 Acres

Zoning District(s) CB, GB, LB, HI

**DESCRIPTION OF PROPOSED DEVELOPMENT:**

Proposed Use: Hotel, Catering Event Space, Artist Live Work, Restaurant

Gross Non-Residential Floor Space: Existing 58,494 Proposed 0

TOTAL: 58,494

Dwelling Units (by type): Existing 7 Proposed 0

TOTAL: 7

**ITEMS TO ACCOMPANY THIS APPLICATION**

- a. One electronic and five (5) **folded** paper copies of a site location sketch showing the location of the subject property and the proposed development with respect to neighboring properties and developments.
- b. One electronic and five (5) **folded** paper copies of the proposed site development plan, consisting of sheets, showing the required information as set forth on the back of this form and other such information as deemed necessary by the City Council or the Planning Board to determine and provide for the property enforcement of the Zoning Ordinance.
- c. One electronic and five (5) **folded** paper copies of additional sketches, renderings or other information.
- d. An application fee, payable to the City of Beacon, computed per the attached fee schedule.
- e. An initial escrow amount, payable to the City of Beacon, as set forth in the attached fee schedule.

**INFORMATION TO BE SHOWN ON SITE LOCATION SKETCH**

- a. Property lines, zoning district boundaries and special district boundaries affecting all adjoining streets and properties, including properties located on the opposite sides of adjoining streets.
- b. Any reservations, easements or other areas of public or special use which affect the subject property.
- c. Section, block and lot numbers written on the subject property and all adjoining properties, including the names of the record owners of such adjoining properties.

**INFORMATION TO BE SHOWN ON THE SITE DEVELOPMENT PLAN**

- a. Title of development, date and revision dates if any, north point, scale, name and address of record owner of property, and of the licensed engineer, architect, landscape architect, or surveyor preparing the site plan.
- b. Existing and proposed contours at a maximum vertical interval of two (2) feet.
- c. Location and identification of natural features including rock outcrops, wooded areas, single trees with a caliper of six (6) or more inches measured four (4) feet above existing grade, water bodies, water courses, wetlands, soil types, etc.
- d. Location and dimensions of all existing and proposed buildings, retaining walls, fences, septic fields, etc.
- e. Finished floor level elevations and heights of all existing and proposed buildings.
- f. Location, design, elevations, and pavement and curbing specifications, including pavement markings, of all existing and proposed sidewalks, and parking and truck loading areas, including access and egress drives thereto.
- g. Existing pavement and elevations of abutting streets, and proposed modifications.
- h. Location, type and design of all existing and proposed storm drainage facilities, including computation of present and estimated future runoff of the entire tributary watershed, at a maximum density permitted under existing zoning, based on a 100 year storm.
- i. Location and design of all existing and proposed water supply and sewage disposal facilities.
- j. Location of all existing and proposed power and telephone lines and equipment, including that located within the adjoining street right-of-way. All such lines and equipment must be installed underground.
- k. Estimate of earth work, including type and quantities of material to be imported to or removed from the site.
- l. Detailed landscape plan, including the type, size, and location of materials to be used.
- m. Location, size, type, power, direction, shielding, and hours of operation of all existing and proposed lighting facilities.
- n. Location, size, type, and design of all existing and proposed business and directional signs.
- o. Written dimensions shall be used wherever possible.
- p. Signature and seal of licensed professional preparing the plan shall appear on each sheet.
- q. Statement of approval, in blank, as follows:

**Approved by Resolution of the Beacon Planning Board  
on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_  
subject to all conditions as stated therein**

\_\_\_\_\_  
**Chairman, City Planning Board**

\_\_\_\_\_  
**Date**

**APPLICATION PROCESSING RESTRICTION LAW**  
**Affidavit of Property Owner**

Property Owner: 10 Boulevard, LLC

If owned by a corporation, partnership or organization, please list names of persons holding over 5% interest.

Robert McAlpine

List all properties in the City of Beacon that you hold a 5% interest in:

Applicant Address: 217 Main Street, Beacon, NY 12508

Project Address: 2 East Main Street

Project Tax Grid # 6054-30-171812

Type of Application Site Plan / Special Use Permit Amendment

Please note that the property owner is the applicant. "Applicant" is defined as any individual who owns at least five percent (5%) interest in a corporation or partnership or other business.

I, Robert McAlpine, the undersigned owner of the above referenced property, hereby affirm that I have reviewed my records and verify that the following information is true.

- 1. No violations are pending for ANY parcel owned by me situated within the City of Beacon
- 2. Violations are pending on a parcel or parcels owned by me situated within the City of Beacon
- 3. ALL tax payments due to the City of Beacon are current
- 4. Tax delinquencies exist on a parcel or parcels owned by me within the City of Beacon
- 5. Special Assessments are outstanding on a parcel or parcels owned by me in the City of Beacon
- 6. ALL Special Assessments due to the City of Beacon on any parcel owned by me are current

*Robert A. McAlpine*  
 Signature of Owner

Title if owner is corporation

Office Use Only:	NO	YES	Initial
Applicant has violations pending for ANY parcel owned within the City of Beacon (Building Dept.)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	_____
ALL taxes are current for properties in the City of Beacon are current (Tax Dept.)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____
ALL Special Assessments, i.e. water, sewer, fines, etc. are current (Water Billing)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____

**FOR OFFICE USE ONLY**

Application #

**CITY OF BEACON**  
**1 Municipal Plaza, Beacon, NY**  
**Telephone (845) 838-5000 • <http://cityofbeacon.org/>**

**ENTITY DISCLOSURE FORM**

(This form must accompany every land use application and every application for a building permit or certificate of occupancy submitted by any entity)

Disclosure of the names and addresses of all persons or entities owning any interest or controlling position of any Limited Liability Company, Partnership, Limited Partnership, Joint Venture, Corporation or other business entity (hereinafter referred to as the "Entity") filing a land-use application with the City is required pursuant to Section 223-62 of the City Code of the City of Beacon. If any Member of the Entity is not a natural person, then the names and addresses as well as all other information sought herein must be supplied about the non-natural person member of that Entity, including names, addresses and Formation filing documents. Applicants shall submit supplemental sheets for any additional information that does not fit within the below sections, identifying the Section being supplemented.

**SECTION A.****IF AFFIANT IS A PARTNERSHIP, JOIN VENTURE OR OTHER BUSINESS ENTITY, EXCEPT A CORPORATION:**

Name of Entity  10 Blvd. LLC	Address of Entity  36 Slocum Rd. Beacon, NY
Place where such business entity was created  Greenlawn, NY	Official Registrar's or Clerk's office where the documents and papers creating entity were filed  NYS Dept of State Albany NY
Date such business entity or partnership was created  7/30/01	Telephone Contact Information  631 796 4203

**IF AFFIANT IS A CORPORATION:**

Name of Entity	Telephone Contact Information
Principal Place of Business of Entity	Place and date of incorporation



**SECTION C.** List all owners of record of the subject property or any part thereof.

Name	Residence or Business Address	Telephone Number	Date and Manner title was acquired	Date and place where the deed or document of conveyance was recorded or filed.
Sama as B				

**SECTION D.** Is any owner, of record or otherwise, an officer, director, stockholder, agent or employee of any person listed in Section B-C?

YES

NO

Name	Employer	Position

**SECTION E.** Is any party identified in Sections A- C an officer, elected or appointed, or employee of the City of Beacon or related, by marriage or otherwise, to a City Council member, planning board member, zoning board of appeals member or employee of the City of Beacon ?

YES      x       NO

If yes, list every Board, Department, Office, agency or other position with the City of Beacon with which a party has a position, unpaid or paid, or relationship and identify the agency, title, and date of hire.

Agency	Title	Date of Hire, Date Elected, or Date Appointed	Position or Nature of Relationship

**SECTION F.** Was any person referred to in Sections A-D known by any other name within five (5) years preceding the date of the application?

YES       NO

Current Name	Other Names

**SECTION G.** List the names and addresses of each person, business entity, partnership and corporation in the chain of title of the subject premises for the five (5) years next preceding the date of the application.

Name	Address
Same as B	

**SECTION H.** If the applicant is a contract vendee, a duplicate original or photocopy of the full and complete contract of purchase, including all riders, modification and amendments thereto, shall be submitted with the application.

**SECTION I.** Have the present owners entered into a contract for the sale of all or any part of the subject property and, if in the affirmative, please provide a duplicate original or photocopy of the fully and complete contract of sale, including all riders, modifications and amendments thereto.

YES

NO

I, ROBERT A. McALPINE being first duly sworn, according to law, deposes and says that I am (Title) SOLE MEMBER an active and qualified member of the 10 BLVD. LLC, a business duly authorized by law to do business in the State of New York, and that the statements made herein are true, accurate, and complete.

(Print) ROBERT A. McALPINE

(Signature) *Robert A. McAlpine*

**CITY OF BEACON  
SITE PLAN SPECIFICATION FORM**

Name of Application: Roundhouse at Beacon Falls - Amendment

**PLEASE INDICATE WHETHER THE SITE PLAN DRAWINGS SHOW THE SUBJECT INFORMATION BY PLACING A CHECK MARK IN THE APPROPRIATE BOXES BELOW.**

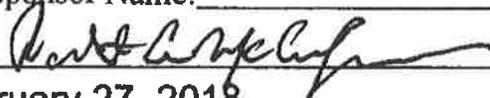
	YES	NO
The site plan shall be clearly marked "Site Plan", it shall be prepared by a legally certified individual of firm, such as a Registered Architect or Professional Engineer, and it shall contain the following information:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>LEGAL DATA</b>		
Name and address of the owner of record.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Name and address of the applicant (if other than the owner).	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Name and address of person, firm or organization preparing the plan.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Date, north arrow, and written and graphic scale.		
<b>NATURAL FEATURES</b>		
Existing contours with intervals of two (2) feet, referred to a datum satisfactory to the Planning Board.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Approximate boundaries of any areas subject to flooding or stormwater overflows.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Location of existing watercourses, wetlands, wooded areas, rock outcrops, isolated trees with a diameter of eight (8) inches or more measured three (3) feet above the base of the trunk, and any other significant existing natural features.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>EXISTING STRUCTURES, UTILITIES, ETC.</b>		
Outlines of all structures and the location of all uses not requiring structures. Paved areas, sidewalks, and vehicular access between the site and public streets.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Locations, dimensions, grades, and flow direction of any existing sewers, culverts, water lines, as well as other underground and above ground utilities within and adjacent to the property.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Other existing development, including fences, retaining walls, landscaping, and screening.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Sufficient description or information to define precisely the boundaries of the property.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
The owners of all adjoining lands as shown on the latest tax records.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
The locations, names, and existing widths of adjacent streets and curb lines.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Location, width, and purpose of all existing and proposed easements, setbacks, reservations, and areas dedicated to private or public use within or adjacent to the properties.	<input type="checkbox"/>	<input type="checkbox"/>

<b>PROPOSED DEVELOPMENT</b>	<b>YES</b>	<b>NO</b>
The location, use and design of proposed buildings or structural improvements.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
The location and design of all uses not requiring structures, such as outdoor storage (if permitted), and off-street parking and unloading areas.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Any proposed division of buildings into units of separate occupancy.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
The location, direction, power, and time of use for any proposed outdoor lighting.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
The location and plans for any outdoor signs.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
The location, arrangement, size(s) and materials of proposed means of ingress and egress, including sidewalks, driveways, or other paved areas.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Proposed screening and other landscaping including a planting plan and schedule prepared by a qualified individual or firm.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
The location, sizes and connection of all proposed water lines, valves, and hydrants and all storm drainage and sewer lines, culverts, drains, etc.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Proposed easements, deed restrictions, or covenants and a notation of any areas to be dedicated to the City.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Any contemplated public improvements on or adjoining the property.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Any proposed new grades, indicating clearly how such grades will meet existing grades of adjacent properties or the street.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Elevations of all proposed principal or accessory structures.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Any proposed fences or retaining walls.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>MISCELLANEOUS</b>		
A location map showing the applicant's entire property and adjacent properties and streets, at a convenient scale.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Erosion and sedimentation control measures.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
A schedule indicating how the proposal complies with all pertinent zoning standards, including parking and loading requirements.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
An indication of proposed hours of operation.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If the site plan only indicates a first stage, a supplementary plan shall indicate ultimate development.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

For all items marked "NO" above, please explain below why the required information has not been provided:

Items marked NO are NOT applicable

Applicant/Sponsor Name: 10 Boulevard LLC

Signature: 

Date: February 27, 2018

**Full Environmental Assessment Form**  
**Part 1 - Project and Setting**

**Instructions for Completing Part 1**

**Part 1 is to be completed by the applicant or project sponsor.** Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the project sponsor to verify that the information contained in Part 1 is accurate and complete.

**A. Project and Sponsor Information.**

Name of Action or Project: Roundhouse at Beacon Falls		
Project Location (describe, and attach a general location map): 2 East Main Street		
Brief Description of Proposed Action (include purpose or need): Renovation of existing building to create the following uses: Hotel Restaurant Artist Live Work Residential Event Space Hydroelectric Powerhouse  2. Parking  3. Landscaping		
Name of Applicant/Sponsor: 10 Boulevard LLC		Telephone: 845-765-0061
		E-Mail:
Address: 217 Main Street		
City/PO: Beacon	State: NY	Zip Code: 12508
Project Contact (if not same as sponsor; give name and title/role): Same as Sponsor		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor): Same as Sponsor		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:

**B. Government Approvals**

<b>B. Government Approvals Funding, or Sponsorship.</b> ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)		
<b>Government Entity</b>	<b>If Yes: Identify Agency and Approval(s) Required</b>	<b>Application Date (Actual or projected)</b>
a. City Council, Town Board, <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No or Village Board of Trustees	City Council - Special Use Permit	May 2010; February 2013; February 2018
b. City, Town or Village <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Planning Board or Commission	Planning Board - Site Plan Approval, Subdivision Approval	February 2010, February 2018
c. City Council, Town or <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Village Zoning Board of Appeals	Zoning Board - Variances	February 2010, February 2013
d. Other local agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Building Permit	July 2010, June 2013, October 2018
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	County Department of Health	March 2010
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYSDEC SPDES permit	March 2010
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Army Corps of Engineers Federal Energy Regulatory Commission	May 2010, September 2010
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

**C. Planning and Zoning**

<b>C.1. Planning and zoning actions.</b>	
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
<ul style="list-style-type: none"> <li>• If Yes, complete sections C, F and G.</li> <li>• If No, proceed to question C.2 and complete all remaining sections and questions in Part 1</li> </ul>	
<b>C.2. Adopted land use plans.</b>	
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes, identify the plan(s):	
_____	
_____	
_____	
c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes, identify the plan(s):	
_____	
_____	
_____	

**C.3. Zoning**

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance.  Yes  No  
 If Yes, what is the zoning classification(s) including any applicable overlay district?  
 GB - General Business; CB - Central Business; LB - Local Business; HI - Heavy Industrial; RD-5 - Residential

b. Is the use permitted or allowed by a special or conditional use permit?  Yes  No

c. Is a zoning change requested as part of the proposed action?  Yes  No  
 If Yes,  
 i. What is the proposed new zoning for the site? \_\_\_\_\_

**C.4. Existing community services.**

a. In what school district is the project site located? Beacon City School District

b. What police or other public protection forces serve the project site?  
City of Beacon

c. Which fire protection and emergency medical services serve the project site?  
City of Beacon

d. What parks serve the project site?  
Memorial Park

**D. Project Details**

**D.1. Proposed and Potential Development**

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Hospitality, Residential, Restaurant, Event Space

b. a. Total acreage of the site of the proposed action? 8.943 acres  
 b. Total acreage to be physically disturbed? 0 acres  
 c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 8.943 acres

c. Is the proposed action an expansion of an existing project or use?  Yes  No  
 i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % \_\_\_\_\_ Units: 10 Hotel Rooms

d. Is the proposed action a subdivision, or does it include a subdivision?  Yes  No  
 If Yes,  
 i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types) \_\_\_\_\_  
 ii. Is a cluster/conservation layout proposed?  Yes  No  
 iii. Number of lots proposed? \_\_\_\_\_  
 iv. Minimum and maximum proposed lot sizes? Minimum \_\_\_\_\_ Maximum \_\_\_\_\_

e. Will proposed action be constructed in multiple phases?  Yes  No  
 i. If No, anticipated period of construction: 12 months  
 ii. If Yes:  
 • Total number of phases anticipated \_\_\_\_\_  
 • Anticipated commencement date of phase I (including demolition) \_\_\_\_\_ month \_\_\_\_\_ year  
 • Anticipated completion date of final phase \_\_\_\_\_ month \_\_\_\_\_ year  
 • Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

f. Does the project include new residential uses?  Yes  No

If Yes, show numbers of units proposed.

One Family      Two Family      Three Family      Multiple Family (four or more)

Initial Phase \_\_\_\_\_  
At completion \_\_\_\_\_  
of all phases \_\_\_\_\_

g. Does the proposed action include new non-residential construction (including expansions)?  Yes  No

If Yes,

- i. Total number of structures One
- ii. Dimensions (in feet) of largest proposed structure: 15 feet height; 26.10' width; and 17.75' length
- iii. Approximate extent of building space to be heated or cooled: 486 square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage?  Yes  No

If Yes,

- i. Purpose of the impoundment: \_\_\_\_\_
- ii. If a water impoundment, the principal source of the water:  Ground water  Surface water streams  Other specify: \_\_\_\_\_
- iii. If other than water, identify the type of impounded/contained liquids and their source. \_\_\_\_\_

- iv. Approximate size of the proposed impoundment. Volume: \_\_\_\_\_ million gallons; surface area: \_\_\_\_\_ acres
- v. Dimensions of the proposed dam or impounding structure: \_\_\_\_\_ height; \_\_\_\_\_ length
- vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): \_\_\_\_\_

**D.2. Project Operations**

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)  Yes  No

If Yes:

- i. What is the purpose of the excavation or dredging? \_\_\_\_\_
- ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?
  - Volume (specify tons or cubic yards): \_\_\_\_\_
  - Over what duration of time? \_\_\_\_\_
- iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. \_\_\_\_\_

iv. Will there be onsite dewatering or processing of excavated materials?  Yes  No  
If yes, describe. \_\_\_\_\_

- v. What is the total area to be dredged or excavated? \_\_\_\_\_ acres
- vi. What is the maximum area to be worked at any one time? \_\_\_\_\_ acres
- vii. What would be the maximum depth of excavation or dredging? \_\_\_\_\_ feet

viii. Will the excavation require blasting?  Yes  No

ix. Summarize site reclamation goals and plan: \_\_\_\_\_

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area?  Yes  No

If Yes:

- i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): \_\_\_\_\_

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

iii. Will proposed action cause or result in disturbance to bottom sediments?  Yes  No  
If Yes, describe: \_\_\_\_\_

iv. Will proposed action cause or result in the destruction or removal of aquatic vegetation?  Yes  No  
If Yes:

- acres of aquatic vegetation proposed to be removed: \_\_\_\_\_
- expected acreage of aquatic vegetation remaining after project completion: \_\_\_\_\_
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): \_\_\_\_\_
- \_\_\_\_\_
- proposed method of plant removal: \_\_\_\_\_
- if chemical/herbicide treatment will be used, specify product(s): \_\_\_\_\_

v. Describe any proposed reclamation/mitigation following disturbance: \_\_\_\_\_

c. Will the proposed action use, or create a new demand for water?  Yes  No

If Yes:

i. Total anticipated water usage/demand per day: \_\_\_\_\_ 26,592 gallons/day

ii. Will the proposed action obtain water from an existing public water supply?  Yes  No

If Yes:

- Name of district or service area: City of Beacon
- Does the existing public water supply have capacity to serve the proposal?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No
- Do existing lines serve the project site?  Yes  No

iii. Will line extension within an existing district be necessary to supply the project?  Yes  No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_
- Source(s) of supply for the district: \_\_\_\_\_

iv. Is a new water supply district or service area proposed to be formed to serve the project site?  Yes  No

If Yes:

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- Proposed source(s) of supply for new district: \_\_\_\_\_

v. If a public water supply will not be used, describe plans to provide water supply for the project: \_\_\_\_\_

vi. If water supply will be from wells (public or private), maximum pumping capacity: \_\_\_\_\_ gallons/minute.

d. Will the proposed action generate liquid wastes?  Yes  No

If Yes:

i. Total anticipated liquid waste generation per day: \_\_\_\_\_ 26,592 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): \_\_\_\_\_

sanitary wastewater

iii. Will the proposed action use any existing public wastewater treatment facilities?  Yes  No

If Yes:

- Name of wastewater treatment plant to be used: City of Beacon
- Name of district: City of Beacon
- Does the existing wastewater treatment plant have capacity to serve the project?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No

- Do existing sewer lines serve the project site?  Yes  No
- Will line extension within an existing district be necessary to serve the project?  Yes  No

 If Yes:
 

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site?  Yes  No  
 If Yes:
 

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- What is the receiving water for the wastewater discharge? \_\_\_\_\_

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge, or describe subsurface disposal plans):  
 \_\_\_\_\_  
 \_\_\_\_\_

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: \_\_\_\_\_  
 \_\_\_\_\_

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e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction?  Yes  No  
 If Yes:
 

- i. How much impervious surface will the project create in relation to total size of project parcel?  
 \_\_\_\_\_ Square feet or \_\_\_\_\_ acres (impervious surface)  
 \_\_\_\_\_ Square feet or \_\_\_\_\_ acres (parcel size)
- ii. Describe types of new point sources. \_\_\_\_\_
- iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?  
 \_\_\_\_\_  
 \_\_\_\_\_
  - If to surface waters, identify receiving water bodies or wetlands: \_\_\_\_\_
  - Will stormwater runoff flow to adjacent properties?  Yes  No

iv. Does proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater?  Yes  No

---

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations?  Yes  No  
 If Yes, identify:
 

- i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)  
 \_\_\_\_\_
- ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)  
 \_\_\_\_\_
- iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)  
 \_\_\_\_\_

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g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit?  Yes  No  
 If Yes:
 

- i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year)  Yes  No
- ii. In addition to emissions as calculated in the application, the project will generate:
  - \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide (CO<sub>2</sub>)
  - \_\_\_\_\_ Tons/year (short tons) of Nitrous Oxide (N<sub>2</sub>O)
  - \_\_\_\_\_ Tons/year (short tons) of Perfluorocarbons (PFCs)
  - \_\_\_\_\_ Tons/year (short tons) of Sulfur Hexafluoride (SF<sub>6</sub>)
  - \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)
  - \_\_\_\_\_ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)?  Yes  No

If Yes:

i. Estimate methane generation in tons/year (metric): \_\_\_\_\_

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): \_\_\_\_\_

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i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations?  Yes  No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): \_\_\_\_\_

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j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services?  Yes  No

If Yes:

i. When is the peak traffic expected (Check all that apply):  Morning  Evening  Weekend  
 Randomly between hours of \_\_\_\_\_ to \_\_\_\_\_.

ii. For commercial activities only, projected number of semi-trailer truck trips/day: \_\_\_\_\_

iii. Parking spaces: Existing \_\_\_\_\_ Proposed \_\_\_\_\_ Net increase/decrease \_\_\_\_\_

iv. Does the proposed action include any shared use parking?  Yes  No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: \_\_\_\_\_

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vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site?  Yes  No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles?  Yes  No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes?  Yes  No

---

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy?  Yes  No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: \_\_\_\_\_

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): \_\_\_\_\_

iii. Will the proposed action require a new, or an upgrade to, an existing substation?  Yes  No

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l. Hours of operation. Answer all items which apply.

<p>i. During Construction:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____</li> <li>• Saturday: _____</li> <li>• Sunday: _____</li> <li>• Holidays: _____</li> </ul>	<p>ii. During Operations:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____</li> <li>• Saturday: _____</li> <li>• Sunday: _____</li> <li>• Holidays: _____</li> </ul>
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m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both?  Yes  No

If yes:

i. Provide details including sources, time of day and duration:  
Construction of Lobby Addition. 8am-5pm weekdays for approximately 2 months

ii. Will proposed action remove existing natural barriers that could act as a noise barrier or screen?  Yes  No  
Describe: \_\_\_\_\_

---

n.. Will the proposed action have outdoor lighting?  Yes  No

If yes:

i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:  
New shielded exterior building mounted lights at lobby door

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen?  Yes  No  
Describe: \_\_\_\_\_

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o. Does the proposed action have the potential to produce odors for more than one hour per day?  Yes  No  
If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: \_\_\_\_\_

---

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage?  Yes  No

If Yes:

i. Product(s) to be stored \_\_\_\_\_

ii. Volume(s) \_\_\_\_\_ per unit time \_\_\_\_\_ (e.g., month, year)

iii. Generally describe proposed storage facilities: \_\_\_\_\_

---

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation?  Yes  No

If Yes:

i. Describe proposed treatment(s):  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

ii. Will the proposed action use Integrated Pest Management Practices?  Yes  No

---

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)?  Yes  No

If Yes:

i. Describe any solid waste(s) to be generated during construction or operation of the facility:

- Construction: \_\_\_\_\_ 15 tons per \_\_\_\_\_ month (unit of time)
- Operation : \_\_\_\_\_ 12.3 tons per \_\_\_\_\_ month (unit of time)

ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:

- Construction: Bins for recyclable materials will be provided \_\_\_\_\_
- Operation: Bins for recyclable materials will be provided \_\_\_\_\_

iii. Proposed disposal methods/facilities for solid waste generated on-site:

- Construction: Royal Carting \_\_\_\_\_
- Operation: Royal Carting \_\_\_\_\_

s. Does the proposed action include construction or modification of a solid waste management facility?  Yes  No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): \_\_\_\_\_

ii. Anticipated rate of disposal/processing:

- \_\_\_\_\_ Tons/month, if transfer or other non-combustion/thermal treatment, or
- \_\_\_\_\_ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: \_\_\_\_\_ years

---

t. Will proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste?  Yes  No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: \_\_\_\_\_

ii. Generally describe processes or activities involving hazardous wastes or constituents: \_\_\_\_\_

iii. Specify amount to be handled or generated \_\_\_\_\_ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: \_\_\_\_\_

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility?  Yes  No

If Yes: provide name and location of facility: \_\_\_\_\_

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: \_\_\_\_\_

**E. Site and Setting of Proposed Action**

**E.1. Land uses on and surrounding the project site**

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

Urban  Industrial  Commercial  Residential (suburban)  Rural (non-farm)

Forest  Agriculture  Aquatic  Other (specify): \_\_\_\_\_

ii. If mix of uses, generally describe: \_\_\_\_\_

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b. Land uses and covertypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	4.45	4.46	.01
• Forested	0	0	0
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	0	0	0
• Agricultural (includes active orchards, field, greenhouse etc.)	0	0	0
• Surface water features (lakes, ponds, streams, rivers, etc.)	0	0	0
• Wetlands (freshwater or tidal)	0	0	0
• Non-vegetated (bare rock, earth or fill)	0	0	0
• Other Describe: Lawn & Landscaping _____	3.49	3.49	0

c. Is the project site presently used by members of the community for public recreation?  Yes  No  
i. If Yes: explain: \_\_\_\_\_

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site?  Yes  No  
If Yes,  
i. Identify Facilities: \_\_\_\_\_

e. Does the project site contain an existing dam?  Yes  No  
If Yes:  
i. Dimensions of the dam and impoundment:  
• Dam height: \_\_\_\_\_ feet  
• Dam length: \_\_\_\_\_ feet  
• Surface area: \_\_\_\_\_ acres  
• Volume impounded: \_\_\_\_\_ gallons OR acre-feet  
ii. Dam's existing hazard classification: \_\_\_\_\_  
iii. Provide date and summarize results of last inspection: \_\_\_\_\_

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility?  Yes  No  
If Yes:  
i. Has the facility been formally closed?  Yes  No  
• If yes, cite sources/documentation: \_\_\_\_\_  
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: \_\_\_\_\_  
iii. Describe any development constraints due to the prior solid waste activities: \_\_\_\_\_

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste?  Yes  No  
If Yes:  
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: \_\_\_\_\_

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site?  Yes  No  
If Yes:  
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply:  Yes  No  
 Yes – Spills Incidents database Provide DEC ID number(s): \_\_\_\_\_  
 Yes – Environmental Site Remediation database Provide DEC ID number(s): \_\_\_\_\_  
 Neither database  
ii. If site has been subject of RCRA corrective activities, describe control measures: \_\_\_\_\_  
iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database?  Yes  No  
If yes, provide DEC ID number(s): \_\_\_\_\_  
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): \_\_\_\_\_

v. Is the project site subject to an institutional control limiting property uses?  Yes  No

- If yes, DEC site ID number: \_\_\_\_\_
- Describe the type of institutional control (e.g., deed restriction or easement): \_\_\_\_\_
- Describe any use limitations: \_\_\_\_\_
- Describe any engineering controls: \_\_\_\_\_
- Will the project affect the institutional or engineering controls in place?  Yes  No
- Explain: \_\_\_\_\_

---

**E.2. Natural Resources On or Near Project Site**

a. What is the average depth to bedrock on the project site? \_\_\_\_\_ 5 feet

b. Are there bedrock outcroppings on the project site?  Yes  No  
 If Yes, what proportion of the site is comprised of bedrock outcroppings? \_\_\_\_\_ <10 %

c. Predominant soil type(s) present on project site: Urban \_\_\_\_\_ 100 %  
 \_\_\_\_\_ %  
 \_\_\_\_\_ %

d. What is the average depth to the water table on the project site? Average: \_\_\_\_\_ 5-6 feet

e. Drainage status of project site soils:  Well Drained: \_\_\_\_\_ 100 % of site  
 Moderately Well Drained: \_\_\_\_\_ % of site  
 Poorly Drained \_\_\_\_\_ % of site

f. Approximate proportion of proposed action site with slopes:  0-10%: \_\_\_\_\_ 84 % of site  
 10-15%: \_\_\_\_\_ 8 % of site  
 15% or greater: \_\_\_\_\_ 8 % of site

g. Are there any unique geologic features on the project site?  Yes  No  
 If Yes, describe: \_\_\_\_\_

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h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)?  Yes  No

ii. Do any wetlands or other waterbodies adjoin the project site?  Yes  No  
 If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency?  Yes  No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Lakes or Ponds: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Wetlands: Name \_\_\_\_\_ Approximate Size \_\_\_\_\_
- Wetland No. (if regulated by DEC) \_\_\_\_\_

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies?  Yes  No  
 If yes, name of impaired water body/bodies and basis for listing as impaired: \_\_\_\_\_

---

i. Is the project site in a designated Floodway?  Yes  No

j. Is the project site in the 100 year Floodplain?  Yes  No

k. Is the project site in the 500 year Floodplain?  Yes  No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer?  Yes  No  
 If Yes:  
 i. Name of aquifer: \_\_\_\_\_

m. Identify the predominant wildlife species that occupy or use the project site: None _____ _____ _____	
n. Does the project site contain a designated significant natural community? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes: i. Describe the habitat/community (composition, function, and basis for designation): _____ _____	
ii. Source(s) of description or evaluation: _____ iii. Extent of community/habitat:	
• Currently: _____ acres • Following completion of project as proposed: _____ acres • Gain or loss (indicate + or -): _____ acres	
o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>	
p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>	
q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If yes, give a brief description of how the proposed action may affect that use: _____ _____	
<b>E.3. Designated Public Resources On or Near Project Site</b>	
a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes, provide county plus district name/number: _____	
b. Are agricultural lands consisting of highly productive soils present? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> i. If Yes: acreage(s) on project site? _____ ii. Source(s) of soil rating(s): _____	
c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes: i. Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____ _____ _____	
d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes: i. CEA name: _____ ii. Basis for designation: _____ iii. Designating agency and date: _____	

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on, or has been nominated by the NYS Board of Historic Preservation for inclusion on, the State or National Register of Historic Places?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
<i>i.</i> Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District	
<i>ii.</i> Name: _____	
<i>iii.</i> Brief description of attributes on which listing is based: _____	
<hr/>	
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/> Yes <input type="checkbox"/> No
g. Have additional archaeological or historic site(s) or resources been identified on the project site?	
If Yes:	
<i>i.</i> Describe possible resource(s): _____	
<i>ii.</i> Basis for identification: _____	
<hr/>	
h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
<i>i.</i> Identify resource: _____	
<i>ii.</i> Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____	
<i>iii.</i> Distance between project and resource: _____ miles.	
<hr/>	
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
<i>i.</i> Identify the name of the river and its designation: _____	
<i>ii.</i> Is the activity consistent with development restrictions contained in 6NYCRR Part 666?	
<input type="checkbox"/> Yes <input type="checkbox"/> No	

**F. Additional Information**

Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

**G. Verification**

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name 10 Boulevard LLC Date August 28, 2018

Signature \_\_\_\_\_ Title Robert McAlpine - Sole Member 10 Boulevard LLC

**PRINT FORM**

**ROUNDHOUSE AT BEACON FALLS**

**ENVIRONMENTAL ASSESSMENT FORM**

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**APPLICATION FOR SPECIAL USE PERMIT**

**By 10 BOULEVARD LLC**

**For premises located at:**

**2 EAST MAIN STREET  
BEACON, NY 12508**

**SUBMITTED TO:**

**CITY OF BEACON PLANNING BOARD**

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**CONTRIBUTORS**

**Applicant:**

**10 Boulevard LLC**  
179 Main Street  
Beacon, NY 12508

**10 Leonard Street LLC**  
217 Main Street  
Beacon, NY 12508

**Architect:**

**Aryeh Siegel, Architect**  
84 Mason Circle  
Beacon, NY 12508

**Landscape Designer:**

**Naomi Sachs Design**  
55 South Brett Street  
Beacon, NY 12508

**Civil Engineer:**

**Hudson Land Design**  
174 Main Street  
Beacon, NY 12508

**Traffic Engineer:**

**John Collins Engineers,  
P.C.**  
11 Bradhurst Avenue  
Hawthorne, NY 10532

**Surveyor:**

**Badey & Watson  
Surveying and Engineering,  
P.C.**  
3063 Route 9  
Cold Spring, NY 10516

**Planning Consultant:**

**Saccardi & Schiff, Inc.**  
445 Hamilton Avenue  
Suite 404  
White Plains, NY 10601

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In addition, site development plans and drawings prepared by Aryeh Siegel, Architect, Hudson Land Design, Naomi Sachs Design, and Badey & Watson, and submitted to the Planning Board with the application materials, are made part of this document by reference.

## **INTRODUCTION**

### **Summary**

The Roundhouse at Beacon Falls project sits on approximately 9 acres of land near the intersection of Main Street and East Main Street and Fishkill Creek, and consists of the renovation and adaptive re-use of several existing buildings and the construction of new buildings, in addition to landscaping and other general improvements to the site to be conducted as follows (Note: All building label references refer to the Site Building Diagram attached hereto as Exhibit A):

#### **1. Roundhouse**

The existing brick Roundhouse building (Building 1) will be converted into a 14 room hotel and an 80-seat restaurant that will serve the hotel and the community. The restaurant will have a small outdoor dining patio overlooking the Fishkill Creek. The hotel rooms in this building are an adjunct to rooms contained in the Mill Building Hotel (Buildings 2 and 3). The previously approved Private Dining Room on the 2<sup>nd</sup> floor will be replaced by a Hotel Administration Office.

#### **2. Mill Building Hotel**

The 2 existing brick mill buildings (Buildings 2 and 3) will be connected to create a hotel. There will be 37 rooms in the Mill Building Hotel, which, when combined with the 14 rooms planned for the Roundhouse, will result in a total of 51 rooms in the hotel buildings. ~~The spa will be located in this building,~~ as well as 2 Artist Live Work Lofts.

#### **3. Artist Live/Work Lofts**

The non-historic structures attached to Building 4 will be demolished to expose the original historic brick structures. The portions to be demolished are additions that detract from the historic nature of the site. Building 4 will be converted into 5 Artist Live/Work Lofts.

#### **4. Event Space**

The lower level of Building 5 will become an Event Space, capable of holding approximately 226 people for catered events. A portion of the upper level of Building 5 will serve as the reception area for the Event Space on the lower level. The lower level is reached through the upper level. Access to a patio, deck, and large landscaped garden with views of the waterfall is through doors located on the lower level. An entry addition has been added.

## **5. ~~Residential Building~~ NO LONGER PART OF THE ROUNDHOUSE PROJECT**

~~A new multi-family residential building (shown as Buildings 6, 7, and 8) containing approximately 78 units will be constructed on the subdivided parcel at the northeastern portion of the site. The design of the new building will reference the 3-story brick mill buildings (Buildings 2 and 3) in keeping with the historic nature of the site.~~

## **6. Powerhouse**

Restoration of the site's existing historic Powerhouse (Building 9) will be conducted by the Applicant's hydroelectric operator partner. The design of the building will reference Buildings 2 and 3 in keeping with the historic nature of the site. The restoration and operation of the Powerhouse will be subject to approval by the Federal Energy Regulatory Commission, which will be obtained by the Applicant's hydroelectric operator partner. The Powerhouse will be outfitted with large windows for public viewing of the hydroelectric generator and turbine inside. Based on the applicant's hydroelectric operator estimate, the restoration of the Powerhouse Building is expected to occur in 2021.

## **Zoning**

The site is located in a number of adjacent zoning districts:

- Roundhouse (Building 1) is in the CB Zone
- Hotel (Buildings 2 and 3) are in the GB Zone
- Powerhouse (Building 9) is in the LB and GB Zone
- Artist Live/Work & Event Space (Buildings 4 and 5) are in the GB Zone
- Residential Buildings (Buildings 7, 8, and 9) are in the GB Zone
- Parking spaces occur in the GB, LB, HI, and RD-5 Zones

The proposed uses are consistent with the Zoning Code requirements for each zoning district, and are either permitted as of right, or with Special Use Permits.

## **Architecture**

The renovation and adaptive re-use of the Roundhouse (Building 1) would reestablish the building as a significant part of the traditional structures along the Main Street corridor. This structure was originally built in the 1800's and its rehabilitation and re-use as a restaurant and hotel will ensure that the neighborhood fabric of the Main Street area remains anchored to its historic roots. The Powerhouse building (Building 9) will be rebuilt on its existing foundation, and the exterior appearance will reflect the architecture of the existing buildings on the site. The renovation of the 2 historic mill buildings (Buildings 2 and 3) would result in almost no change to the existing condition, apart from improvements to the under-utilized buildings. Partial demolition of the Artist Live/Work

and Event Space buildings (Buildings 4 and 5) will reveal the original historic structures that have been partially concealed over time by subsequent additions that detract from the historic nature of the original buildings. The configuration of the new residential buildings (Buildings 6, 7, and 8) at the northern end of the site has been designed to be similar to the height, style and massing of the existing historic mill buildings (Buildings 2 and 3); and the siting of the new structures maintains open areas around them. The new construction would not result in a significant loss of views to the mountains from the Main Street side of Fishkill Creek; and of Fishkill Creek from the neighboring properties to the east of the site. The structures that make up the new residential buildings have sections that are raised above the 1<sup>st</sup> floor and would allow views through the site to the Fishkill Creek and beyond. The new buildings will be solid, well-built structures that will look and feel as though they have always been a part of the site.

### **Green Building Practices**

One of the goals of the project is to obtain the highest LEED certification possible, given development budgets and existing conditions of the buildings. This will be accomplished through landscaping, stormwater management, adaptive re-use of existing buildings and construction of new buildings using environmentally responsible materials and systems. Additionally, as mentioned above, the Applicant has partnered with an experienced local hydroelectric operator to restore the historic Powerhouse building on the Fishkill Creek (Building 9) and re-use the original turbine resident in the Powerhouse to generate hydroelectric power from the waters of the Fishkill Creek.

### **Ownership**

The site, excluding the construction of Buildings 6, 7, and 8 on the subdivided parcel, will be developed as a mixed-use condominium development. The condominium development will consist of the 7 artist live-work spaces (Buildings 2 & 4) (each owned as individual units), the hotel property comprising Buildings 1, 2, 3, and 5 (owned as a single unit), and the Powerhouse (Building 9) (owned as a single unit), for a total of 7 units. The Applicant will own and operate the hotel unit. The Powerhouse unit will be sold to Applicant's hydroelectric operator. The 5 artist live-work spaces will be sold to the general public on an individual basis.

Specifics regarding the condominium bylaws and other legal arrangements are currently under consideration, and will be finalized after Planning Board approval has been granted. Applicant has retained the law firm of Certilman Balin Adler & Hyman, LLP, to handle the formation of the condominium. The firm has experience in Beacon via its work on behalf of the Tallix development adjacent to Fishkill Avenue.

The Applicant has sold Buildings 6, 7 and 8 to another Owner, who is renting the apartments. ~~Units in these buildings may be rented as apartments or sold as condominiums, depending on market conditions.~~

## **Traffic Access**

Access to the restaurant, hotel, spa and event space portions of the site would be via full movement entrances/exits on East Main Street and Leonard Street. Access to the site via the access drive on East Main Street will connect at a "T"-intersection to East Main Street east of the existing bridge structure in the vicinity of the existing driveway. It is proposed that this intersection be controlled by a "stop" sign. The sight distance looking left is available up to Leonard Street, while the sight distance looking right is somewhat controlled by the bridge abutment at the Fishkill Creek crossing. The driveway as proposed on the site plan has been located to the maximum sight distance.

Access to the hotel, spa, event space and artist live/work portions of the site on Leonard Street would be via a reconstruction of the existing driveway opposite Amity Street. Clearing of excess vegetation will be completed to ensure proper sight lines. In addition, it is proposed that new pavement markings including centerline striping and "stop" signs be installed at this intersection.

Access within the hotel, spa, event space and artist live/work portions of the site would be conducted via the internal site driveway.

~~Access to the future residential portion of the site (Buildings 6, 7, and 8) would be via two full movement entrances/exits on Leonard Street. The location of these driveways as proposed on the site plan maximize sight distances and the final design will ensure that any clearing or grading be completed to accommodate entering and exiting vehicles.~~

## **Parking**

The project will provide a total of 283-173 parking spaces located in a number of lots on the site, as well as one remote lot for valet parking off Main Street near Herbert Street. Parking will be screened by landscaping and decorative wood fencing to mitigate views from the street and neighboring properties. The total required number of parking spaces is 282-173. Therefore 1 extra parking space is provided in addition to the required parking. The provision of sufficient on-site parking for the residents and users of the hospitality portion of the site ensures that on-street parking would continue to be available for patrons of Main Street businesses and neighboring residents. The following table summarizes the parking requirements:

Use & Parking Requirements	Area / Count	Proposed Parking Requirement
<b>Hotel</b> <i>1 space for each hotel room, plus 1 space for each employee, plus 1 space for each 50 square feet of floor area of restaurants, bars, and other public rooms, other than lobbies, devoted to patron use</i>	51 Rooms (14 in Roundhouse & 37 in Mill) + 8 employees	59
<b>Restaurant in Hotel</b> <i>1 space for every 50 square feet of floor area for patron use</i>  <i>Note that the net area excluding kitchen, bar, toilets, and storage is 2,182 sf. Based on area, 44 parking spaces are required.</i>	2,182 sf	44
<b>Hotel Administration Office</b> <i>Non-simultaneous accessory to hotel use</i>		0 (See Note 4)
<b>Event Space (Place of Assembly)</b> <i>1 space for each 4 seats, or in places without seats, 1 space for each 100 square feet of floor space used for public assembly</i>	226 seats (57 spaces) 4,067 sf area (41 spaces) <i>Note that area does not include reception space, which is non-simultaneous occupancy</i>	57
<b>Artist Live Work Space</b> <i>1 space for each dwelling unit, plus 1/4 space for each bedroom, plus 1/2 space for each live work space containing retail area</i>	(7) artist live/work spaces without retail area - 11 bedrooms total	10
<b>Apartments</b> <i>1 space per apartment + 1/4 space per bedroom</i>	(78) apartments (40) 1 bedroom (38) 2 bedroom	107 (SEPARATE PROPERTY OWNER - NOT PART OF ROUNDHOUSE PROJECT - NOT COUNTED IN TOTAL REQUIRED PARKING)
<b>Laundry / Utility</b> <i>1 space per 1,000 sf</i>	2,000 sf	2
<b>Power House</b>		1
<b>Total Required Parking Spaces</b>		173
<b>Total Proposed Parking Spaces</b>		173

In an effort to reduce the project's environmental impact on the Fishkill Creek, the Applicant has proposed landbanking 46 parking spots in the valet parking lot off Main Street near Herbert Street. ~~This is authorized by the City's zoning law, which permits landbanking of up to 10% (28 spots in this case) of a proposed project's parking spots.~~ Since the valet lot will most likely only be used by valets parking cars at larger events held at the event space, it is the Applicant's belief that landbanking these 46 parking spots will not adversely impact the availability of parking on the site for hotel and restaurant patrons.

The landbanked spaces can be converted to paved parking spaces if required after a determination of the actual usage requirements by the Applicant or the Planning Board. Suitable agreements between the Applicant and the City, satisfactory to the Planning Board, will be provided to assure construction of the landbanked spaces should the Planning Board determine these spaces are necessary.

### **Hotel, Restaurant and Event Space Operations**

The entire hotel premises (Buildings 2 and 3, and the hotel portion of Building 1) will be accessible to hotel guests 24 hours a day, 7 days a week, 365 days a year. Guest access to the hotel portion of the Roundhouse (Building 1) will be separated from access to the restaurant and will be via keycard. The Mill Building Hotel (Buildings 2 and 3) lobby will be staffed at all times, and all other entrances to the Mill Building Hotel will be accessible to guests via keycards. The restaurant in the Roundhouse (Building 1) will be open during standard restaurant operating hours, depending on market conditions. The Event Space building (Building 5) will be open only for events, with such events typically taking place on weekends and nights.

The Applicant intends to provide valet parking service for restaurant and hotel patrons as necessary given business conditions. Valet parking for events at the event space will be provided during those events. Valets will park patrons' cars in the valet parking lot off of Main Street near Herbert Street. Given the distance of the valet parking lot from the hotel, restaurant and event space, the Applicant intends to provide the valets with a car so they can travel from the valet lot back to the restaurant, hotel or event space to pick up patrons' cars.

### **Phasing**

The project is composed of four phases. Phase I consists of site work and landscaping, demolition of the non-historic structures surrounding Buildings 4 and 5, and the restoration and development of the Event Space (Building 5) and Artist Live-Work Units (Building 4). The existing buildings on the subdivided parcel (proposed Lot 2) will also be demolished as part of this Phase. The proposed water and sewer mains will be installed up to the proposed property line adjacent to the Artist Live-Work Units. The water and sewer mains will be stubbed into proposed Lot 2 for future Phase IV. Water and sewer service stubs will be provided for the future Phase III Mill Building Hotel,

(Buildings 2 and 3), and Powerhouse Building 9. All existing water and sewer service connections to Buildings 4 and 5 and existing buildings on Lot 2 will be disconnected from the municipal system and capped in place or removed.

Phase II consists of the restoration and development of the Roundhouse building (Building 1). The existing water main beneath the bridge over the Fishkill Creek will be repaired as part of this Phase. The existing sewer service connection to the Roundhouse will be disconnected and replaced. New water and sewer service connections will be provided to the building. It has not been determined at this time, but it is the Applicant's expectation, based on the hydroelectric operator's estimates of the length of the federal approval process, the restoration of the Powerhouse building (Building 9) will begin as soon as approvals are granted. New water and sewer service connections will be provided to the Powerhouse building during such restoration.

Phase III consists of the restoration and development of the Mill Building Hotel (Buildings 2 and 3). Water and sewer service connections will be connected to the buildings from the stubs provided during Phase I. The Event Space Addition will be construction during this phase.

Finally, Phase IV consists of the new construction of the Residential Buildings on the subdivided parcel (Buildings 6, 7, and 8). The water and sewer mains will be extended from the stubs provided as part of Phase I work to serve the new buildings. The water main will connect to the existing City water main located beneath Leonard St.

### **Landscaping**

Landscaping on this project will fulfill several goals. First, it will improve the aesthetic experience of the site through the removal of dead, diseased, and invasive vegetation, as well as non-vegetative debris, and replacement with gardens, planted parking islands, and shade trees. Additionally, a combination of fencing and plant material (trees, shrubs, perennials, vines, and ornamental grasses) will be employed to create a visual buffer between the street and parking areas. Plantings will also be designed to soften buildings while framing and enhancing views of Fishkill Creek and Mount Beacon.

Second, the landscaping will help with the management of stormwater runoff through grading, hardscape and softscape (vegetation) elements that will serve to slow, detain, and filter surface runoff. Third, implementation of the proposed landscaping plan will result in restoration of a native riparian habitat through removal of non-native and invasive species and planting of native trees, shrubs, and herbaceous plants. Fourth, the landscaping will improve safety conditions along the banks of the Fishkill Creek through planting, where possible, of evergreen or dense deciduous shrubs, obviating the need for guardrail fencing along steep drop-off areas of the creek.

A certified arborist has identified all dead, diseased, hazardous, and non-native/invasive trees that can and should be removed. He has also identified trees that should, if possible, be retained and protected during construction. Due to the industrial history of the site,

very few significant trees were identified. Trees to remain are shown on the site plan. It should be noted that while most trees along the banks of Fishkill Creek are proposed to remain, any trees to be removed will be cut close to the base, leaving the roots intact to maintain the integrity of the streambank.

### **Historic Preservation**

As reflected in the site plan and architectural drawings submitted to the Planning Board, it is the Applicant's intention to restore the historic buildings to an appearance substantially similar to those buildings' actual historical appearance. As discussed above, the Applicant intends to construct the Powerhouse building and the new Residential Buildings in keeping with the historic appearance and character of the existing buildings on the site.

### **Storm Water**

As site disturbance will exceed 1-acre, a full Storm Water Pollution Prevention Plan (SWPPP) will be prepared in order to obtain coverage under the New York State Department of Environmental Conservation (NYSDEC) State Pollution Discharge Elimination System (SPDES) General Permit GP-0-08-001. The proposed disturbance area requires quality control of the storm water along with erosion and sediment control measures. Fishkill Creek bifurcates the two properties and runs in a south direction through the site. Fishkill Creek is classified as a fourth order stream; therefore, under the current permit, quantity control is not required and discharge directly to the creek without attenuation is permitted. Since the Creek has a substantial watershed, attenuating the site runoff and delaying the discharge to the Creek could actually exacerbate flooding problems within the watershed by discharging the site's runoff at a time closer to when the peak flow of the stream occurs. Since the site is very close to the bottom of the Fishkill Creek watershed, it would be beneficial to discharge the runoff as quickly as possible. This has been confirmed with a conversation with Pat Faracane of the NYSDEC. The permit does require qualitative treatment prior to discharge off site. Qualitative treatment will be established by providing a combination of storm water practices consisting of storm water infiltration basins, bioretention areas, and rain gardens. The use of these "best management practices" BMP's will ensure that the state standard goals are met.

### **Water Supply**

At full build-out, the project is expected to require 26,592 gallons of water per day. Per conversations with the City of Beacon Water Superintendent, the anticipated increase in daily water demand is readily available. There is an existing 8" cast iron line connected to the City's 8" main in Leonard Street that feeds the existing buildings on the Leonard Street parcel. The 8" ductile iron line in Leonard St. was installed by the City in 2003. The Roundhouse building (Building 1) currently has no water service connection to the City's water main. There is a 12" cast iron water main that runs under the bridge over the Fishkill Creek, and dead ends at a hydrant on the opposite side of the street in front of the

Roundhouse building. This line is currently shut off at a water valve on the east side of the bridge due to a leak that occurred under the bridge in the winter of 2005. Repairs or replacement to the water main beneath the bridge will be necessary to put this section of water main back into service.

A new 4" service line will be provided to the Roundhouse building and will connect to the repaired 12" main beneath East Main Street. New service lines will be provided to all of the buildings on the Leonard Street parcel via a new 8" ductile iron water main connected to the existing 8" ductile iron water main beneath Leonard St. All old service lines including the 8" cast iron service line will be capped at the street ROW and abandoned in place or removed. The new on-site 8" water main will also connect to the existing 8" main beneath East Main Street to form a looped connection to the municipal system. The 8" line beneath East Main Street was installed by the city in 1997.

The proposed water main is shown on the plans as a private main with meter pits at each connection to the city's municipal system. The main will be offered to the city once it is complete. If the city takes ownership of the water main, the meter pits will not be required; however, in either case, individual meters will be provided at all of the buildings. If the new main is to remain private, cross easements will be provided along the main throughout the site with legally binding maintenance agreements for the benefit of each parcel for repair work if necessary. If the main is to be taken over by the City, an easement will be provided along the main through the site for allowance of maintenance and repairs by the Beacon Water Department.

Flow and pressure tests have been conducted on existing hydrants at both proposed water main connections. Two hydrants were tested for flow while monitoring pressure losses at two other hydrants per test hydrant. Each hydrant was flowed at a rate in excess of 1,400 gallons per minute with average pressure losses of 15 psi during maximum flow, and static pressures of 80 to 90 psi. Exhibit B "Engineer's Report Sewage Disposal and Water Supply" describes the flow tests and water demand in greater detail.

### **Sewage Disposal**

At full build-out, the project is expected to generate **26,592** gallons of wastewater per day. Per conversations with the City of Beacon Sewer Superintendent, the City's existing sewer infrastructure and sewer treatment plant have sufficient capacity to handle the anticipated increase in daily sewage load. An 8" sewer main will be installed on site to convey the sewage to the City's municipal main. Most of the site's sewer connections are old and experience infiltration and inflow (I&I) problems. Several of the existing building's roof drains are tied into the sewer service connections. During rain storms, the flow into the City's sewer mains increases dramatically, which is a common problem in cities with old buildings. The increase in flow adds unnecessary strain to the existing sewer mains and sewer plant. Therefore, new sewer service connections will be provided at all of the buildings and all existing service connections on site will be disconnected from the City's mains and capped in place or removed. In addition, all roof drains will be disconnected from the building sewer and re-directed to a storm water management

system. This will eliminate (I&I) problems that currently occur on site; thus reducing I&I flow surges to the City's municipal system during rain storms. The new sewer main will connect to a manhole located on East Main Street. Sewage will be conveyed to the City owned sewer treatment plant which has a reported excess capacity of 3 million gallons per day. The sewer main will be offered to the City of Beacon. If the new main is to remain private, cross easements will be provided along the main throughout the site with legally binding maintenance agreements for the benefit of each parcel for repair work if necessary. If the main is to be taken over by the City, an easement will be provided along the main through the site for allowance of maintenance and repairs by the Beacon Sewer Department.

### **Braendly Fishkill Dam**

The Braendly Fishkill Dam is a masonry dam located on the 2 East Main Street parcel. The Dam is registered with the New York State Department of Environmental Conservation (NYSDEC) as a Class B Dam (Intermediate Hazard), subject to regulation by the NYSDEC.

The Applicant's intention is to own and maintain the Dam per NYSDEC regulations, which require the following:

- Submit an Annual Certification to NYSDEC;
- Develop and submit to NYSDEC an Emergency Action Plan (EAP) by August 19, 2011 and submit annual updates to NYSDEC thereafter;
- Develop and implement an Inspection and Maintenance Plan by August 19, 2010;
- Have an Engineering Assessment (EA) conducted by a Professional Engineer and submit the Report to NYSDEC every 10 years with the first EA for a Class B dam due by August 19, 2015;
- Have a Safety Inspection conducted by a Professional Engineer on a regular schedule as defined in the Inspection and Maintenance Plan.

The Dam was last inspected by the NYSDEC on June 28, 2007. The inspector found no structural deficiencies, and no further action was required.

With regard to future inspections and maintenance, the Applicant's hydroelectric operator partner is required, prior to submission of an application as part of the hydroelectric licensing process with the Federal Energy Regulatory Commission (FERC), to have a complete Engineering Assessment performed. Additionally, as part of the hydroelectric licensing process, the NYSDEC will be notified of the Applicant's project plans at which point it can require, among other things, additional inspections. As the Applicant's hydroelectric operator partner intends to submit its application to FERC in September 2010, the Applicant anticipates a complete Engineering Assessment on the dam to be

completed this summer. Once the hydroelectric power portion of the project receives approval, FERC will conduct inspections of the dam every two years.

In the event the hydroelectric power portion of this project does not move forward, the Applicant will have a Safety Inspection performed before the end of the year and will conduct future inspections and maintenance of the dam as required by NYSDEC regulations.

### **Summary**

Once completed, the project will add approximately 7 housing units, 51 hotel rooms, an 80-seat restaurant and a 226-seat event catering space to the Main Street corridor, and serve as an anchor for the east end of downtown Beacon. Given the paucity of hotel lodging within the City limits, and based on a feasibility study developed for the Applicant by HVS, a well-respected hospitality consultant, the Applicant expects operation of the hotel, ~~spa~~, restaurant and event space to be a successful business enterprise that will help revitalize the east end of the downtown area by encouraging new visitors to Beacon, and allowing those who already visit to stay overnight. While the proposed project would generate some additional level of demand for community services, the City of Beacon Police Department and Fire Department have determined that the project will not create a significant increased demand for their services. Further, it is estimated that the additional tax and other revenues generated by the proposed project will more than offset the cost to the City. A Fiscal Impact Study prepared by Saccardi & Schiff, Inc., and attached as Exhibit C, determined that this project will have a significant net positive fiscal impact on the City of Beacon and on other local service and taxing jurisdictions. In addition to generating an annual surplus of revenue over cost to the City of between \$63,918 and \$150,018 and between \$190,489 and \$331,764 to the Beacon CSD when completed, the project will generate one-time, non-property tax revenues of \$653,717 for the City over the next 4 years.

Further, the project is net revenue positive to the City across all four phases, generating between \$10,809 and \$14,733 in net revenue for the City and \$29,422 for the Beacon CSD in Phase I, between \$17,798 and \$19,490 in net revenue for the City and \$43,696 for the Beacon CSD in Phase II, between \$17,829 and \$20,085 in net revenue for the City and \$46,398 for the Beacon CSD in Phase III, between \$16,738 and \$94,590 in net revenue for the City and between \$67,717 and \$208,992 for the Beacon CSD in Phase IV, and between \$744 and \$1,120 in net revenue for the City and \$3,256 for the Beacon CSD once the Powerhouse (Building 9) is completed. Further, once the Powerhouse has been reactivated, it will be assessed by the State and generate additional tax revenues at little or no additional cost to the City.

Besides the foregoing direct fiscal impacts, the study determined that the project will create approximately 139 jobs during construction, resulting in 135 person years of employment, almost \$10,000,000 in total employee compensation in New York State (125 person years and \$9,000,000, respectively, in Dutchess County alone) and nearly \$1,000,000 in non-property tax revenue. When completed, the project will contribute 35 permanent jobs to the local economy.

Additionally, development of the site is entirely consistent with multiple objectives of the City's Comprehensive Plan, as follows:

- Recommendation to encourage green building and develop sources of renewable energy in Beacon (specifically hydroelectric power from the Fishkill Creek).
- Recommendation to preserve and restore historic property.
- Recommendation to encourage development with a mix of uses in the former industrial sites along the Fishkill Creek and recommendation for green building.
- Recommendation to cultivate the growing artistic community.
- The Plan sets a goal of having 100,000 Sq. Ft. of improved floor area along Fishkill Creek by 2012. This project would ultimately contribute approximately 110,000 square feet of improved floor area.

Finally, the project will serve to restore an important and historic site that has been neglected for decades, before the buildings are beyond repair and are lost forever.

## **STATE ENVIRONMENTAL QUALITY REVIEW ACT (SEQRA)**

The project is an Unlisted Action under SEQRA regulations. At the Planning Board meeting on February 9, 2010, the Planning Board declared its intent to assume lead agency status and directed the circulation of the Part 1 Environmental Assessment Form (EAF) and supporting documentation to the appropriate agencies in order to obtain their consent to the Planning Board's designation as lead agency. Circulation of the EAF materials for designation of lead agency status occurred on March 10, 2010.

Assuming that no objection to the Planning Board being designated as lead agency is raised, and the Planning Board is designated lead agency, the following approvals are required for the project:

- City Planning Board:
  - Special Use Permit Recommendation
  - Site Plan Approval, including Architectural Review Board Certificate of Appropriateness
  - Subdivision Approval
- City Zoning Board of Appeals:
  - Variance Approval
- City Council
  - Special Use Permits
- City Building Department:
  - Building Permit
- County Health Department:
  - Sewage Disposal and Water Supply
- New York State Department of Environmental Conservation:
  - SPDES Storm Water Permit
- U.S. Army Core of Engineers
  - Storm Water Outfalls Permit
  - Dewatering and Cofferdam Permit
- Federal Energy Regulatory Commission
  - Order Granting Exemption from Licensing of a Small Hydroelectric Project of 5 Megawatts or Less

Pursuant to SEQRA, the EAF is required to assess the relative significance of potential environmental effects attributable to a project. Part 1 of the EAF provides numerical and other basic data to establish the potential environmental impacts of the project. Part 2 of the EAF is a checklist used by the Lead Agency to review the information submitted by

the Applicant in Part 1. Part 3 of the EAF contains a detailed evaluation of the importance and severity of the impacts identified in Parts 1 and 2, and includes information on how such impacts can be mitigated.

### **PLANNING BOARD REPORT UNDER BEACON CODE SECTION 223-18(C)**

In conjunction with its Site Plan review, Section 223-18(C) requires the Applicant to submit a plan for the proposed development showing the location of all buildings, parking areas, traffic access and circulation drives, open spaces, landscaping, topography, type and location of exterior lighting, drainage improvements, special features and any other pertinent information, including information about neighboring properties.

As shown on the submitted site plans and discussed in the attached EAF Parts 1, 2, 3, as well as this document, adequate provisions for all of the requirements of Section 223-18(C) have been provided. The Applicant will continue to clarify these items in conjunction with its discussions with the Planning Board during the course of the approval process.

### **SPECIAL USE PERMIT REVIEW**

With regard to its Special Use Permit review, Section 223-18(B) of the City Code requires the Planning Board to submit a report to the City Council authorizing site plan approval and the issuance of a special use permit if it finds that the following conditions and standards have been met:

- The location and size of the use, the nature and intensity of the operations involved in or conducted in connection with it, the size of the site in relation to it and the location of the site with respect to streets giving access to it are such that it will be in harmony with the appropriate and orderly development of the district in which it is located;
- The location, nature and height of buildings, walls and fences and the nature and extent of the landscaping on the site are such that the use will not hinder or discourage the appropriate development use of adjacent land and buildings;
- Operations in connection with any special use will not be more objectionable to nearby properties by reason of noise, fumes, vibration or other characteristic than would be the operations of any permitted use, not requiring a special permit; and
- Parking areas will be of adequate size for the particular use and properly located and suitably screened from adjoining residential uses, and the entrance and exit drives shall be laid out so as to achieve maximum safety.

The Applicant submits that the project as currently designed meets the criteria of Section 223-18(B) for the following reasons:

1. The arrangement of site improvements, landscaping, site lighting, site ingress and egress, adaptive re-use of existing buildings, and the architecture of proposed new construction ensure that the project will *“be in harmony with the appropriate and orderly development of the district in which it is located”*. The proposed uses are consistent with a number of goals outlined in the Beacon Master Plan, and the essential character of the neighborhood would not be impacted by the project, and will indeed be enhanced by the proposed improvements.
2. The proposed improvements to the buildings and landscaping are consistent with the surrounding neighborhood and *“are such that the use will not hinder or discourage the appropriate development use of adjacent land and buildings”*. The development of this project will strengthen the character of the existing neighborhoods and provide additional customers for Main Street businesses.
3. The operations of the Hotel, Event Space, Artist Live/Work Spaces, and the residential development, which require special use permits, *“will not be more objectionable to nearby properties than would be the operations of any permitted use, not requiring a special permit”*. The Hotel is a quiet use, similar to residential. The Event Space is similar to a restaurant use, and its operations will be conducted primarily indoors. The Event Space is contained in a solid brick building, and measures will be taken in the renovation of the building to ensure that acoustic privacy is maintained. The Artist Live/Work Spaces are residential in nature, and according to the Beacon Zoning Code, the tenants must be artists whose endeavors are quiet. The residential development is in harmony with the multi-family residential uses on Main Street and in the surrounding neighborhood.
4. Parking is of adequate size for each of the proposed uses, and will be suitably screened from adjoining residential uses by landscaping and fencing.

Project : Roundhouse  
 Date : October 10, 2018

**Full Environmental Assessment Form**  
**Part 3 - Evaluation of the Magnitude and Importance of Project Impacts**  
**and**  
**Determination of Significance**

Part 3 provides the reasons in support of the determination of significance. The lead agency must complete Part 3 for every question in Part 2 where the impact has been identified as potentially moderate to large or where there is a need to explain why a particular element of the proposed action will not, or may, result in a significant adverse environmental impact.

Based on the analysis in Part 3, the lead agency must decide whether to require an environmental impact statement to further assess the proposed action or whether available information is sufficient for the lead agency to conclude that the proposed action will not have a significant adverse environmental impact. By completing the certification on the next page, the lead agency can complete its determination of significance.

**Reasons Supporting This Determination:**

To complete this section:

- Identify the impact based on the Part 2 responses and describe its magnitude. Magnitude considers factors such as severity, size or extent of an impact.
- Assess the importance of the impact. Importance relates to the geographic scope, duration, probability of the impact occurring, number of people affected by the impact and any additional environmental consequences if the impact were to occur.
- The assessment should take into consideration any design element or project changes.
- Repeat this process for each Part 2 question where the impact has been identified as potentially moderate to large or where there is a need to explain why a particular element of the proposed action will not, or may, result in a significant adverse environmental impact.
- Provide the reason(s) why the impact may, or will not, result in a significant adverse environmental impact
- For Conditional Negative Declarations identify the specific condition(s) imposed that will modify the proposed action so that no significant adverse environmental impacts will result.
- Attach additional sheets, as needed.

See attached.

**Determination of Significance - Type 1 and Unlisted Actions**

SEQR Status:       Type 1                       Unlisted

Identify portions of EAF completed for this Project:  Part 1               Part 2               Part 3

Upon review of the information recorded on this EAF, as noted, plus this additional support information  
All application materials submitted by the Applicant, memoranda from City staff and consultants, agency and public comments, and testimony from meetings held on the application.

and considering both the magnitude and importance of each identified potential impact, it is the conclusion of the  
City of Beacon Planning Board as lead agency that:

A. This project will result in no significant adverse impacts on the environment, and, therefore, an environmental impact statement need not be prepared. Accordingly, this negative declaration is issued.

B. Although this project could have a significant adverse impact on the environment, that impact will be avoided or substantially mitigated because of the following conditions which will be required by the lead agency:

There will, therefore, be no significant adverse impacts from the project as conditioned, and, therefore, this conditioned negative declaration is issued. A conditioned negative declaration may be used only for UNLISTED actions (see 6 NYCRR 617.d).

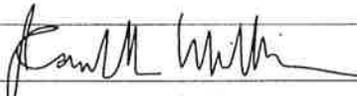
C. This Project may result in one or more significant adverse impacts on the environment, and an environmental impact statement must be prepared to further assess the impact(s) and possible mitigation and to explore alternatives to avoid or reduce those impacts. Accordingly, this positive declaration is issued.

Name of Action: Roundhouse at Beacon Falls

Name of Lead Agency: City of Beacon Planning Board

Name of Responsible Officer in Lead Agency: Randall Williams

Title of Responsible Officer: Acting Chairman

Signature of Responsible Officer in Lead Agency: 

Date:

Signature of Preparer (if different from Responsible Officer)

Date:

**For Further Information:**

Contact Person: Etha Grogan, Planning Secretary

Address: 1 Municipal Plaza, Beacon, New York 12508

Telephone Number: 845-838-5002

E-mail: [egrogan@cityofbeacon.org](mailto:egrogan@cityofbeacon.org)

**For Type I Actions and Conditioned Negative Declarations, a copy of this Notice is sent to:**

Chief Executive Officer of the political subdivision in which the action will be principally located (e.g., Town / City / Village of)

Other involved agencies (if any)

Applicant (if any)

Environmental Notice Bulletin: <http://www.dec.ny.gov/enb/enb.html>

**PRINT FULL FORM**

**ATTACHMENT TO  
NEGATIVE DECLARATION  
REASONS SUPPORTING DETERMINATION**

**APPLICATION FOR APPROVAL OF  
AMENDED SPECIAL PERMIT AND AMENDED SITE PLAN  
FOR 2 EAST MAIN STREET (ROUNDHOUSE)**

Parcel Nos. 6054-30-171812 & 6054-30-195787 (formerly)  
Parcel Nos. 6054-30-168772, -164762, -176760, -184766 (current)

**CONCLUSIONS**

This Part 3 analysis has been prepared to address all relevant areas of environmental concern as identified in the review by the Planning Board. This Part 3 analysis will discuss and explain the analysis of the potential impacts, and why a particular element of the proposed action will not result in a significant adverse environmental impact. Such analysis is appropriately set forth in the Part 3, even if the potential impact was identified as “none” or “small.” Based upon a review of Parts 1 and 2 of the Long Environmental Assessment Form (EAF) and all other application materials that were submitted in support of the Proposed Action, along with reports from City staff and consultants, information from involved and interested agencies, and information from the public, the Planning Board, acting as Lead Agency, provides the following rationale for its SEQRA Determination.

Project Description:

The Proposed Action is the further amendment of a Special Permit and Site Plan previously approved and later amended for the renovation and re-use of several existing buildings, construction of new buildings and general improvements to property formerly designated as 2 East Main Street and 10 East Main Street (also known as 10 Leonard Street), and formerly designated at Parcel Nos. 6054-30-171812 & 6054-30-195787 on the City Tax Map. As originally approved in 2010, the Project consisted of the conversion of the Roundhouse building to a hotel and spa with an 80-seat restaurant, conversion of two existing brick mill buildings to a hotel, conversion of another existing building for artist live/work spaces and an event space for approximately 250 guests, restoration of an historic hydroelectric powerhouse, and construction of 78-multi-family residential units in three buildings in the northeastern portion of the site. The project also included a subdivision of the property into two lots (one for the Hotel and Artist Live/Work component and the other for the Multi-Family component). On April 13, 2010 the Planning Board, acting as SEQRA Lead Agency, adopted a Negative Declaration for the overall Project. On May 17, 2010 the City Council granted Special Permit Approvals and on June 8, 2010 the Planning Board granted Subdivision, Site Plan and Certificate of Appropriateness Approvals for the project.

In 2013, the City Council and Planning Board approved amendments to the Special Permit and Site Plan Approvals for the Hotel and Artist Live/Work component of the project, respectively, to permit a reduction in the total number of hotel rooms from 58 to 41, addition of a private dining room to the Roundhouse building, and addition of two Artist Live/Work spaces to the Mill building. Pursuant to SEQRA, a Negative Declaration was issued for the proposed amendments.

The Applicant is currently seeking a further amendment to the Special Permit and Site Plan Approvals granted in 2010 and 2013 by the City Council and Planning Board, respectively. The Proposed Action includes the following amendments:

1. Replacing the 2<sup>nd</sup> floor private dining room in the Roundhouse building with a hotel administration office.
2. Replacing the spa in the Mill building with 10 additional hotel rooms.
3. Lobby addition to the “link” at the Mill building.
4. The valet parking/landbanked parking area at the corner of Main Street and Herbert Street will have the exposed gravel removed, topdressed with topsoil and hydroseeded.
5. The entrance road from East Main Street is proposed to be widened from 24 feet to 28 feet to allow for 10 new off-street parallel parking spaces.
6. Planting 12 arborvitae in front of the low retaining wall at the parking lot along East Main Street.

The Proposed Action is an Unlisted action and does not involve amendments to the multi-family residential component which is now reportedly under separate ownership from the hotel and artist live/work space component of the overall project. The Planning Board opened a public hearing on September 11, 2018 to consider comments regarding any environmental impacts of the Proposed Action. The SEQRA public hearing was closed on October 10, 2018. As Lead Agency, the Planning Board has reviewed the significance of impacts resulting from the proposed amendments by comparing the 2013 approved condition to the 2018 proposed condition. The following findings are adopted by the Planning Board in support of its conclusion that the proposed amendments will not result in any significant adverse environmental impacts.

#### Summary of Rationale for Negative Declaration

The Proposed Action will not result in any significant adverse impacts on the environment. In summary:

- **Impact on Land: The Proposed Action will not have a significant adverse environmental impact as a result of any physical change to the project site.**

The project site is currently improved with several buildings which collectively contain a restaurant, hotel, event space, and artist live/work spaces. An historic, hydroelectric powerhouse is also located on the project site. The project site which is

the subject of the Proposed Action does not include the previously approved multi-family residential units for which no amendments are currently proposed.

The Proposed Action involves minimal disturbance to land. Proposed disturbances include a lobby addition to the Mill building, widening the entrance road from East Main Street for the construction of 10 off-street parallel parking spaces, and improvements to the valet/landbanked parking area at the corner of Main Street and Herbert Street to remove exposed gravel, add topsoil and hydroseed. Landscape plantings along East Main Street are also proposed.

The Proposed Action will not have a significant adverse environmental impact as a result of physical changes to the Property.

- **Impact on Geological Features: The Proposed Action will not have a significant adverse environmental impact on any unique or unusual land forms on the site.**

There are no unique geological features proposed to be disturbed on the project site.

- **Impacts on Surface Water and Groundwater: The Proposed Action will not have a significant adverse environmental impact on surface or groundwater quality or quantity.**

The Project will be connected to the existing public water distribution and sanitary sewer systems. Water usage and liquid waste generation is anticipated to be 26,116 gallons per day which is 1,236 gallons per day less than that which was approved in 2013 (27,352 gallons per day). Adequate water supply and sewer capacity exist for these additional flows.

The Proposed Action will not result in any significant adverse impact to surface or groundwater quality or quantity.

- **Impact on Flooding: The Proposed Action will not have a significant adverse environmental impact on or alter drainage flows or patterns, or surface water runoff.**

No changes in stormwater impacts are anticipated as a result of the proposed amendments which involve minimal site work and disturbance. All land disturbances will be subject to appropriate erosion and sediment control measures during construction.

The Proposed Action will not have a significant adverse impact on drainage flows or patterns, or surface water runoff.

**Impact on Air: The Proposed Action will not have a significant adverse environmental impact on air quality.**

The proposed amendments will not have a significant adverse impact on air, even during construction where land disturbance is expected to be minimal.

- **Impact on Plants and Animals: The Proposed Action will not have a significant adverse environmental impact on flora or fauna.**

No trees are proposed to be removed as part of this application. The proposed amendments will not result in any significant adverse environmental impacts on plants or animals.

- **Impact on Agricultural Resources: The Proposed Action will not have a significant adverse environmental impact on agricultural resources.**

There are no agricultural resources in the vicinity of the Property.

- **Impact on Aesthetic Resources: The Proposed Action will not have a significant adverse environmental impact on aesthetic resources.**

The Proposed Action will not result in the obstruction, elimination or significant screening of one or more officially designated scenic views, or visible from any publicly accessible vantage points either seasonally nor year around.

- **Impact on Historic and Archeological Resources: The Proposed Action will not have a significant adverse environmental impact on historic or archeological resources.**

The Long EAF indicates the project site is near to the Beacon Engine Company No. 1 Firehouse which is listed on the National Register of Historic Places, however, that building is located on the opposite side of Main Street from the project site, approximately 1 mile away. The project site itself is comprised of renovated or re-used historic buildings which enhance the area's historic character. The proposed lobby addition to the Mill building has been designed in a manner that is consistent with the historic nature of the existing building.

The proposed amendments will not have any significant adverse impacts on historic or archeological resources.

- **Impact on Open Space and Recreation: The Proposed Action will not have a significant adverse environmental impact on open space and recreation.**

The area of the Proposed Action is not designated as open space by the City of Beacon. The Proposed Action will not result in the loss of a current or future

recreational resource, eliminate significant open space, or result in loss of an area now used informally by the community as an open space resource.

- **Impact on Critical Environmental Areas: The Proposed Action will not have a significant adverse environmental impact on Critical Environmental Areas.**

The Proposed Action is not located in a Critical Environmental Area.

- **Impact on Transportation: The Proposed Action will not have a significant adverse environmental impact on transportation.**

Based on Tables 1-R, 1-R (Modified for 2018 Amended Plan) and 1-S, annexed to the Long EAF Part 1, the vehicle trip differentials from the 2013 approved condition to the 2018 proposed condition result in the same or fewer vehicle trips for each study point.

In the Peak AM Hour, entry trips remain constant whereas exit trips will be reduced by 1. In the Peak PM Hour, entry trip will be reduced by 1 and exit trips will remain constant. In the Peak Saturday Hour, entry trips will be reduced by 7 and exit trips will be reduced by 4.

The number of off-street parking spaces will remain compliant with the requirements of the City Zoning Code. In the proposed condition, 173 off-street parking spaces are required and 175 off-street parking spaces are proposed. This total does not include 107 parking spaces that are required for the multi-family residential units on the adjacent parcel. The 175 parking spaces include the elimination of 8 parking spaces from the total count, and the addition of 10 new parallel parking spaces along the west side of the East Main Street entry road and 46 landbanked parking spaces in the valet parking area near the intersection of Main Street and Herbert Street.

The proposed amendments will not result in a significant adverse impact on transportation.

- **Impact on Energy: The Proposed Action will not have a significant adverse environmental impact on energy.**

The proposed amendments will not result in a significant adverse impact on energy.

- **Impact on Noise, Odor and Light: The Proposed Action will not have a significant adverse environmental impact as a result of objectionable odors, noise or light.**

The Proposed Action is not anticipated to generate any noxious odors. Outdoor lighting will be shielded. Noise impacts associated with the proposed Project will be limited to temporary impacts generated during construction. In addition, there will be no significant noise impacts post-construction.

- **Impact on Human Health: The Proposed Action will not have a significant adverse environmental impact on human health from exposure to new or existing sources of contaminants.**

The proposed amendment will not result in a significant adverse impact on human health.

- **Consistency with Community Plans and Community Character: The Proposed Action is not inconsistent with adopted community plans and community character.**

The Proposed Action is generally consistent with the Comprehensive Plan and City Zoning Code and consistent with the character of the existing neighborhood.

Based upon this information and the information in the Long Environmental Assessment Form, the Planning Board finds that the Proposed Action will not have any significant adverse impacts upon the environment. This Negative Declaration indicates that no environmental impact statement need be prepared and that the SEQRA process is complete.

Adopted: October 10, 2018  
Beacon, New York

Motion by D.Burke, seconded by R.Muscat:

Gary Barrack	Voting: AYE	Jill Reynolds	Voting: AYE
David Burke	Voting: AYE	Randall Williams, Acting Chairman	Voting: AYE
Patrick Lambert	Voting: AYE	John Gunn, Chairman	Voting: EXCUSED
Rick Muscat	Voting: AYE		

To: Mayor Casale and the Beacon City Council  
From: John Clarke, City Planner  
Date: November 8, 2018  
Re: **Roundhouse at Beacon Falls Amended Special Permit**

## **Proposal**

The applicant is proposing to amend its previously approved Site Plan and Special Permit by replacing the proposed spa with 10 additional hotel rooms in the Mill Building and replacing a private dining room in the Roundhouse Building with a hotel administration office. The 8.943-acre parcel is in the GB and CMS districts and the Historic District and Landmark Overlay Zone.

## **Comments and Recommendations**

At its October 10, 2018 the Planning Board reviewed the latest plans, dated September 25, 2018, and the comment letters from the City's consultants. The applicant agreed to extend one sidewalk to make a better connection to a proposed crosswalk and to confirm that the revised access drive meets Fire Code width standards. It was decided that the current trees and lawn at the 46-space land-banked parking lot at the end of Herbert Street provided the appropriate landscaping and parking turnaround for the area. The plans now note that the remnant surface gravel will be removed and the lawn area will be reseeded. The existing parking lot on East Main Street will also be screened with evergreen trees along the frontage.

No one from the public came forward during the public hearing. After reviewing the draft SEQRA documents, the Board approved a motion to issue a Negative Declaration and directed the Planning Board Attorney to draft a resolution of Site plan approval for future consideration. Since this parcel is in the Historic District and Landmark Overlay Zone, the application will also require a Certificate of Appropriateness at the time of final Site Plan approval. Having addressed all the member's concerns, the Board unanimously voted to recommend that the City Council approve a Special Permit for the project.

If you have any questions or need additional information, please feel free to contact me.

John Clarke, Beacon Planning Consultant

c: Anthony Ruggiero, City Administrator  
Tim Dexter, Building Inspector  
Nicholas Ward-Willis, Esq., City Attorney  
John Russo, P.E., City Engineer  
Aryeh Siegel, Project Architect

## MEMORANDUM

**TO:** City of Beacon City Council  
**FROM:** Keane & Beane, P.C.  
**RE:** The Roundhouse- Special Use Permit Requirements  
**DATE:** November 5, 2018

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The City Council has received an application from 10 Boulevard, LLC (the “Applicant”) to amend a Special Permit originally granted by the City Council on May 17, 2010, to allow the Applicant to convert the Roundhouse building to a hotel and spa with an 80-seat restaurant, conversion of two existing brick mill buildings to a hotel with 58 hotel rooms, conversion of another existing building for artist live/work spaces an event space for approximately 250 guests, restoration of a historic hydroelectric powerhouse, and construction of 78-multi-family residential units in three buildings in the northeastern portion of the site. The 2010 project also included a subdivision of the property into two lots (one for the Hotel and Artist Live/Work component and the other for the Multi-Family Component). The City Council granted Special Permit Approval for the Hotel and Artist Live Work Components of the overall project on May 17, 2010. In 2013, the City Council approved amendments to the Special Use Permit to permit a reduction in the total number of hotel rooms from 58 to 41, addition of a private dining room to the Roundhouse building, and addition of two Artist Live/Work spaces in the Mill building.

The Applicant now seeks a further amendment to the Special Use Permit to increase the number of hotel rooms from 41 to 51 by eliminating the spa and converting that space to hotel rooms (the “Proposed Action”), on property located at 2 East Main Street and 10 East Main Street (also known as 10 Leonard Street). The Property is located in the General Business (GB), Central Main Street (CMS) Zoning District and the Historic District and Landmark Overlay (HDLO) Zone, and designated on the City tax map as Parcel Nos. **6054-30-168772, -164762, -176760, -184766**. Hotel uses are permitted in the CMS District as of right, and are permitted in the GB District by special permit.

The City Council may grant the Applicant a Special Permit to permit 10 additional hotel rooms, if it finds that all of the conditions and standards set forth in City Code §§ 223-18.B, 223-20 and 134-7 are satisfied.

### **General Special Use Permit Standards (§ 223-18.B)**

The City Council may authorize the issuance of a Special Permit, provided that it shall find that all of the following conditions and standards have been met:

- The location and size of the use, the nature and intensity of the operations involved in or conducted in connection with it, the size of the site in relation to it and the location of the site with respect to streets giving access to it are such that it will be in harmony with the appropriate and orderly development of the district in which it is located.
- The location, nature and height of buildings, walls and fences and the nature and extent of the landscaping on the site are such that the use will not hinder or discourage the appropriate development use of adjacent land and buildings.
- Operations in connection with any special use will not be more objectionable to nearby properties by reason of noise, fumes, vibration or other characteristic than would be the operations of any permitted use, not requiring a Special Permit.
- Parking areas will be of adequate size for the particular use and properly located and suitably screened from adjoining residential uses, and the entrance and exit drives shall be laid out so as to achieve maximum safety.

The City Council may attach such conditions and safeguards to the Special Permit as are necessary to assure continual conformance with all applicable standards and requirements. City Code § 223-18.E. The conditions must relate to the conditions and standards set forth in City Code § 223-18.B.

### **Special Permit Standards for Hotels (§223-20)**

If a site is to be used for a hotel, use of the site and any buildings or structures on the site shall be limited to usual hotel activities and accessory uses incidental to the operation of a hotel and of the same general character, provided that all such accessory uses shall be planned as an integral part and located on the same site with the hotel. Such accessory uses may include the following:

- Dining facilities providing food and drink.
- Newsstands, gift shops and other shops.
- Recreation facilities which shall be for the exclusive use of guests or members.
- Employees' quarters and facilities.
- Spa facilities.
- Conference center facilities.

Outdoor parking areas and recreational facilities shall be screened with fencing, landscaping and/or buildings on all sides toward adjoining residential lots. Where hotel

buildings are set back less than 100 feet from one-family residential lots, such buildings shall be suitably screened with planting.

Hotels require one parking space for each hotel guest room and at least one parking space for each employee for the maximum number of employees working at the hotel at any one time.

There shall be no kitchen facilities in the hotel rooms except for a coffeemaker, a microwave oven and a small refrigerator.

### **Criteria for Approval of Special Permit in the HDLO (§ 134-7)**

In reviewing an application for a Special Permit in the HDLO the City Council must also consider the conditions and standards set forth in City Code § 134-7:

- The historic or architectural value or significance of the structure and its relation to the historic character of the surrounding area.
- The relationship of the exterior architectural features of such structure to the rest of the structure and to the surrounding area.
- The compatibility of exterior design in terms of scale, arrangement, texture and materials proposed, roof and cornice forms, spacing and proportion of windows and doors, exterior architectural details, signs, and street -front fixtures.

In applying the principle of compatibility, the City Council shall use the following standards for new structures, additions, or alterations in the HDLO.

- (1) The design, character, and appropriateness to the property of the proposed alteration or new construction.
  - Construction shall build on the historic context with applications required to demonstrate aspects of inspiration or similarities to adjacent HDLO structures or historic buildings in the surrounding area.
  - Compatibility does not imply historic reproduction, but new architecture shall also not arbitrarily impose contrasting materials, scales, colors, or design features.
  - The intent is to reinforce and extend the traditional patterns of the HDLO district, but new structures may still be distinguishable in up-to-date technologies and details, most evident in window construction and interiors.
  - Exterior accessory elements, such as signs, lighting fixtures, and landscaping, shall emphasize continuity with adjacent HDLO properties and the historic characteristics of the sidewalk and streetscape.

- Where possible, parking shall be placed towards the rear of the property in an unobtrusive location with adequate screening from public views, unless another location provides better screening.
- (2) The scale and height of the proposed alteration or new construction in relation to the property itself, surrounding properties, and the neighborhood.
- Where possible, an addition to a historic structure should be placed towards the rear, or at least recessed, so that the historic structure remains more prominent than the subsidiary addition
  - Any alteration or addition to a historic structure shall not damage or obscure the character-defining features of the architecture or site to the maximum extent possible.
  - The height of any new building facades in the HDLO shall not conflict with the heights of adjacent historic structures on adjoining HDLO parcels.
  - Larger buildings or additions should incorporate significant breaks in the facades and rooflines, generally at intervals of no more than 35 feet.
- (3) Architectural and site elements and their relation to similar features of other properties in the HDLO.
- It is not appropriate to disrupt the relationship between an historic building and its front yard or landscape, including screening historic properties from traditional street views by high walls or hedges.
  - Historic storefronts, porches, cornices, window and door surrounds, or similar architectural features should not be enclosed, obscured, or removed so that the character of the structure is substantially changed.
  - Deteriorated building features should be repaired rather than being replaced and, if not repairable, should be replicated in design, materials, and other historic qualities.
  - New buildings in the HDLO should have a top-floor cornice feature and first-floor architectural articulation, such as an architecturally emphasized entrance doorway or porch, to accent the central body of the building.
  - Architectural features and windows shall be continued on all sides that are clearly visible from a street or public parking area, avoiding any blank walls, except in cases of existing walls or potential common property walls.

- New HDLO buildings shall have a front entrance door facing the primary street and connected to the sidewalk.
- Primary individual window proportions shall be greater in height than width, but the approving body may allow exceptions for storefront, transom, and specialty windows. Mirrored, reflective, or tinted glass and all-glass walls, except greenhouses, shall not be permitted. Any shutters shall match the size of the window opening and appear functional.
- Finish building materials should be wood, brick, traditional cement-based stucco, stone, smooth cast stone, smooth-finished fiber-cement siding, or other materials deemed acceptable by the approving body. Vinyl, aluminum or sheet metal siding or sheet trim, exposed concrete blocks or concrete walls, plywood or other similar prefabricated panels, unpainted or unstained lumber, synthetic rough-cut stone, synthetic brick, synthetic stucco, exterior insulation and finishing system (E I S), direct-applied finish system ( D A F S), and chain link, plastic, or vinyl fencing shall not be permitted.
- Materials and colors should complement historic buildings on the block. Fluorescent, neon, metallic, or other intentionally garish colors, as well as stripes, dots, or other incompatible patterns, shall be prohibited.
- Mechanical equipment and refuse containers shall be concealed from public view by approved architectural or landscaping elements and shall be located to the rear of the site. Window or projecting air conditioners shall not be permitted on the front facade of new buildings or additions.

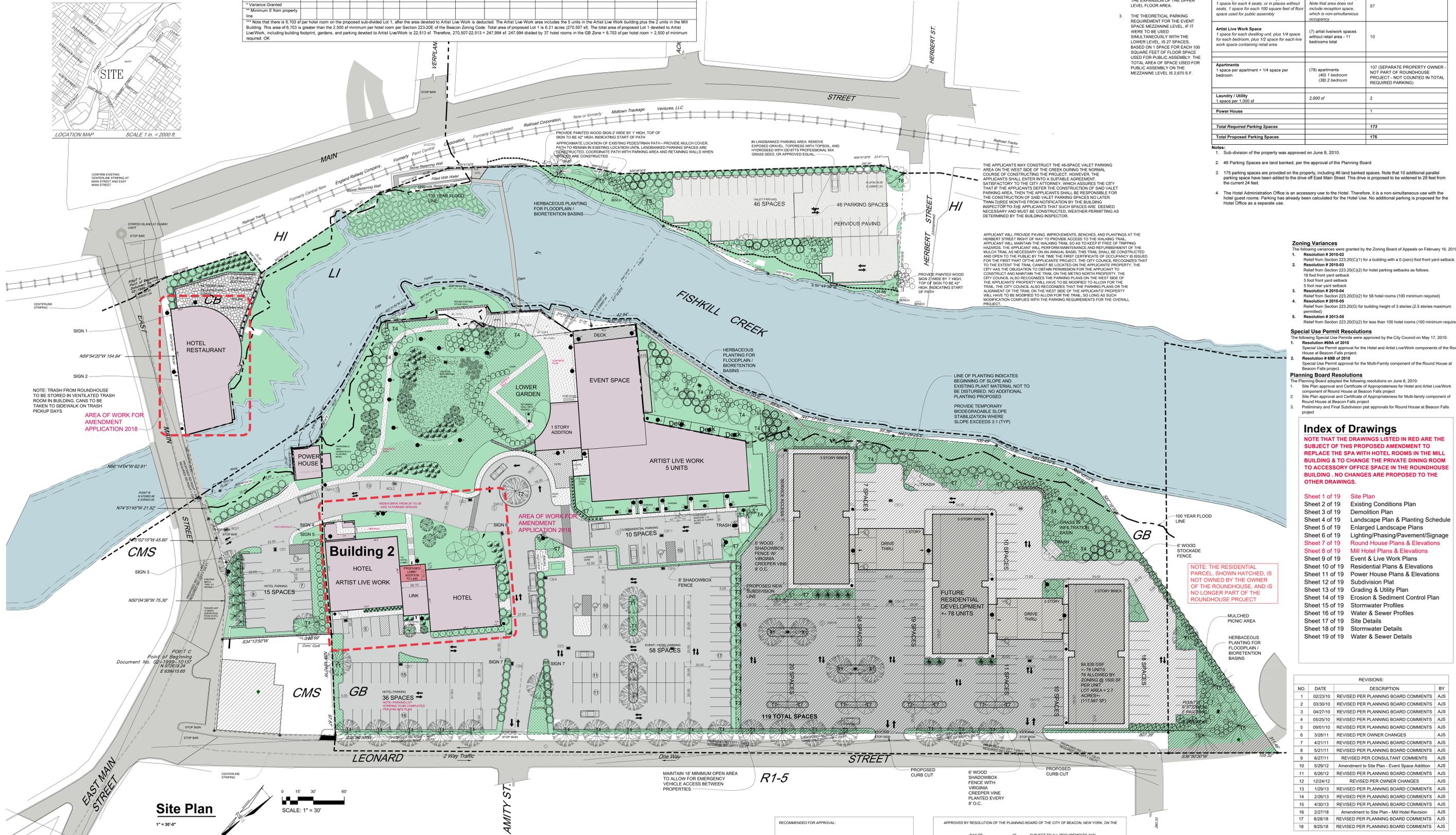
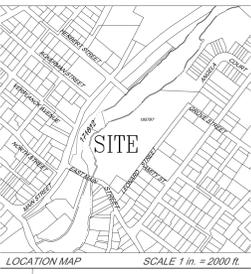
### **Certificate of Appropriateness**

Please note that after the City Council approves the Special Permit, the Planning Board must approve a certificate of appropriateness in order to grant site plan approval. The Planning Board will again consider the criteria set forth in City Code § 134-7 and issue its determination pursuant to City Code § 134-8.F.

- SIGHT DISTANCE NOTES:**
- PER CITY GUIDELINES, THE REQUIRED SIGHT DISTANCES SHALL MEET OR EXCEED THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION REQUIREMENTS. THE STATE UTILIZES THE AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (AASTHO) DESIGN TABLES CALL FOR A SIGHT DISTANCE OF 200 FEET TO THE LEFT AND 300 FEET TO THE RIGHT.
  - THE SHORTEST LINE OF SIGHT TO THE LEFT FOR ALL PROPOSED ENTRANCES OCCURS AT THE NORTHEAST CORNER OF THE FUTURE RESIDENTIAL PARCEL (113' FT). HOWEVER, THIS DISTANCE IS MEASURED TO THE INTERSECTION OF GROVE STREET AND LEONARD STREET WHERE VEHICLES ARE TRAVELING MUCH LESS THAN THE POSTED SPEED LIMIT. THE TWO ENTRANCES FOR THE FUTURE RESIDENTIAL PARCEL DO NOT REQUIRE SIGHT DISTANCE TO THE RIGHT BECAUSE LEONARD STREET IS A ONE WAY STREET TO THE NORTH OF THE INTERSECTION AT AMITY STREET.
  - THE PROPOSED ENTRANCE FOR THE COMMERCIAL PARCEL OFF LEONARD STREET HAS ADEQUATE SIGHT DISTANCE IN BOTH DIRECTIONS.
  - THE PROPOSED ENTRANCE FOR THE COMMERCIAL PARCEL OFF EAST MAIN STREET MEASURES 309 FEET TO THE RIGHT; HOWEVER, THIS DISTANCE IS MEASURED TO THE INTERSECTION OF MAIN STREET AND EAST MAIN STREET.

Zoning District	Required Setbacks			Proposed Setbacks			Maximum Building Coverage	Proposed Building Coverage	Allowable Building Height	Proposed Building Height	Zoning District Area	Allowable FAR	Allowable Floor Area	Proposed Floor Area	Allowable Density	Proposed Density
	Front	Side	Rear	Front	Side	Rear										
CB	200'	50'	50'	0'	31.2'	105.7'			35'	Existing	10,874	2	21,748	16,254		
GB											270,507	2	541,014	133,385		6,703 per room for hotel use in the GB zone. *** See note below for density on proposed Lot 1
Mill Hotel Building	200'	50'	50'	275'	100'	98'			35'	Existing			29,945		2,500 of per room for hotel use minimum	
Event Space / Live Work	0'	20'	25'	0'	20'	231'			35'	Existing			20,601			
LB (Parking)									35'	0'			2	0		
HI (Parking)									35'	0'			2	0		

\*\*\* Variance Granted  
 \*\* Minimum 5' from property line  
 \*\*\* Note that there is 6,703 sf per hotel room on the proposed sub-divided Lot 1, after the area devoted to Artist Live Work is deducted. The Artist Live Work area includes the 5 units in the Artist Live Work building plus the 2 units in the Mill Building. This area of 6,703 is greater than the 2,500 of minimum per hotel room per Section 22.2-206 of the Beacon Zoning Code. Total area of proposed Lot 1 is 6.21 acres (270,507 sq. ft.). The total area of proposed Lot 1 devoted to Artist Live Work, including building footprint, gardens, and parking devoted to Artist Live Work is 22,513 sf. Therefore, 270,507-22,513 = 247,994 sf. 247,994 divided by 37 hotel rooms in the GB Zone = 6,703 sf per hotel room > 2,500 of minimum required. OK



**Zoning Summary**

Zoning District: CB, LB, GB, HI, RD-5  
 Tax Map No.: 6054-30-195787 & 6054-30-171812  
 Lot Area: 8,943 acres total of combined lots  
 Building Footprint: 51,318 square feet total existing and proposed buildings (222 sf added for Lobby)  
 Historical Overlay District: Yes  
 Parking Overlay District: Yes - for the portion in the LB District  
 Existing Use: Industrial  
 Proposed Use: Hotel, Restaurant, Artist Live Work, Events, Residential, Power House

**FLOOR AREA NOTES:**

- THE GROSS FLOOR AREA OF THE EVENT SPACE ADDITION IS 1,560 GSF

**PARKING NOTES:**

- PARKING FOR THE EVENT SPACE BUILDING IS CALCULATED USING THE LOWER LEVEL SEATING CAPACITY BASED ON OCCUPANCY
- THE UPPER AND LOWER LEVELS OF THE EVENT SPACE BUILDING ARE NOT USED SIMULTANEOUSLY AND THEREFORE THE UPPER LEVEL IS NOT USED IN THE PARKING CALCULATION AND THERE IS NO CHANGE TO THE OCCUPANCY LOAD OF THE BUILDING AS A RESULT OF THE EXPANSION OF THE UPPER LEVEL FLOOR AREA.
- THE THEORETICAL PARKING REQUIREMENT FOR THE EVENT SPACE MEZZANINE LEVEL, IF IT WERE TO BE USED SIMULTANEOUSLY WITH THE LOWER LEVEL, IS 27 SPACES, BASED ON 1 SPACE FOR EACH 100 SQUARE FEET OF FLOOR SPACE USED FOR PUBLIC ASSEMBLY. THE TOTAL AREA OF SPACE USED FOR PUBLIC ASSEMBLY ON THE MEZZANINE LEVEL IS 2,670 S.F.

**Parking & Loading**

Use & Parking Requirements	Area / Count	Proposed Parking Requirement
Hotel 1 space for each hotel room, plus 1 space for each employee, plus 1 space for each 50 square feet of floor area of restaurants, bars, and other public rooms, other than lobbies, devoted to patron use	51 Rooms (14 in Roundhouse & 37 in Mill) + 8 employees	59
Restaurant in Hotel 1 space for every 50 square feet of floor area for patron use	2,182 sf	44
Hotel Administration Office Non-simultaneous accessory to hotel use	226 seats (57 spaces) 4,067 sf area (41 spaces) Note that area does not include reception space, which is non-simultaneous occupancy	0 (See Note 4)
Event Space (Place of Assembly) 1 space for each 4 seats, or in places without seats, 1 space for each 100 square feet of floor space used for public assembly	107 artist live work spaces without retail area - 11 bedrooms total	10
Artist Live Work Space 1 space for each dwelling unit, plus 1/4 space for each bedroom, plus 1/2 space for each live work space containing retail area	(78) apartments (40) 1 bedroom (38) 2 bedroom	107 (SEPARATE PROPERTY OWNER - NOT PART OF ROUNDHOUSE PROJECT - NOT COUNTED IN TOTAL REQUIRED PARKING)
Apartments 1 space per apartment + 1/4 space per bedroom	2,000 sf	2
Laundry / Utility 1 space per 1,000 sf		1
Power House		1
<b>Total Required Parking Spaces</b>		<b>173</b>
<b>Total Proposed Parking Spaces</b>		<b>175</b>

- Notes:**
- Sub-division of the property was approved on June 8, 2010.
  - 46 Parking Spaces are land banked, per the approval of the Planning Board
  - 175 parking spaces are provided on the property, including 46 land banked spaces. Note that 10 additional parallel parking spaces have been added to the drive off East Main Street. This drive is proposed to be widened to 28 feet from the current 24 feet.
  - The Hotel Administration Office is an accessory use to the Hotel. Therefore, it is a non-simultaneous use with the hotel guest rooms. Parking has already been calculated for the Hotel Use. No additional parking is proposed for the Hotel Office as a separate use.

- Zoning Variances**
- Resolution # 2010-02  
Relief from Section 22.2-201(X) for a building with a 0 (zero) foot front yard setback
  - Resolution # 2010-03  
Relief from Section 22.2-202(X) for hotel parking setbacks as follows:  
15 foot front yard setback  
5 foot front yard setback  
5 foot rear yard setback
  - Resolution # 2010-04  
Relief from Section 22.2-202(X) for 58 hotel rooms (100 minimum required)
  - Resolution # 2010-05  
Relief from Section 22.2-202(G) for building height of 3 stories (2.5 stories maximum permitted)
  - Resolution # 2013-05  
Relief from Section 22.2-202(X) for less than 100 hotel rooms (100 minimum required)

- Special Use Permit Resolutions**
- The following Special Use Permits were approved by the City Council on May 17, 2010:
- Resolution #26 of 2010  
Special Use Permit approval for the Hotel and Artist Live/Work components of the Round House at Beacon Falls project.
  - Resolution # 698 of 2010  
Special Use Permit approval for the Multi-Family component of the Round House at Beacon Falls project.

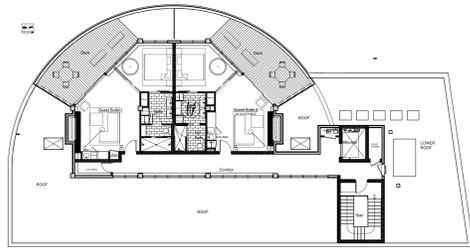
- Planning Board Resolutions**
- The Planning Board adopted the following resolutions on June 8, 2010:
- Site Plan approval and Certificate of Appropriateness for the Hotel and Artist Live/Work component of Round House at Beacon Falls project.
  - Site Plan approval and Certificate of Appropriateness for Multi-family component of Round House at Beacon Falls project.
  - Preliminary and Final Subdivision plat approvals for Round House at Beacon Falls project

**Index of Drawings**

NOTE THAT THE DRAWINGS LISTED IN RED ARE THE SUBJECT OF THIS PROPOSED AMENDMENT TO REPLACE THE SPA WITH HOTEL ROOMS IN THE MILL BUILDING & TO CHANGE THE PRIVATE DINING ROOM TO ACCESSORY OFFICE SPACE IN THE ROUNDHOUSE BUILDING. NO CHANGES ARE PROPOSED TO THE OTHER DRAWINGS.

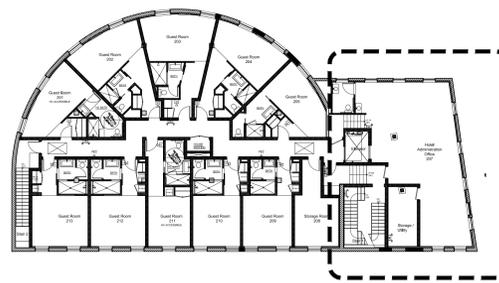
Sheet # of 19	Site Plan
Sheet 2 of 19	Existing Conditions Plan
Sheet 3 of 19	Demolition Plan
Sheet 4 of 19	Landscape Plan & Planting Schedule
Sheet 5 of 19	Enlarged Landscape Plans
Sheet 6 of 19	Lighting/Phasing/Pavement/Signage
Sheet 7 of 19	Round House Plans & Elevations
Sheet 8 of 19	Mill Hotel Plans & Elevations
Sheet 9 of 19	Event & Live Work Plans
Sheet 10 of 19	Residential Plans & Elevations
Sheet 11 of 19	Power House Plans & Elevations
Sheet 12 of 19	Subdivision Plat
Sheet 13 of 19	Grading & Utility Plan
Sheet 14 of 19	Erosion & Sediment Control Plan
Sheet 15 of 19	Stormwater Profiles
Sheet 16 of 19	Water & Sewer Profiles
Sheet 17 of 19	Site Details
Sheet 18 of 19	Stormwater Details
Sheet 19 of 19	Water & Sewer Details

**Site Plan**  
 1" = 30'-0"



**Upper Level Plan**

1/4" = 1'-0"



**2nd Floor Plan**

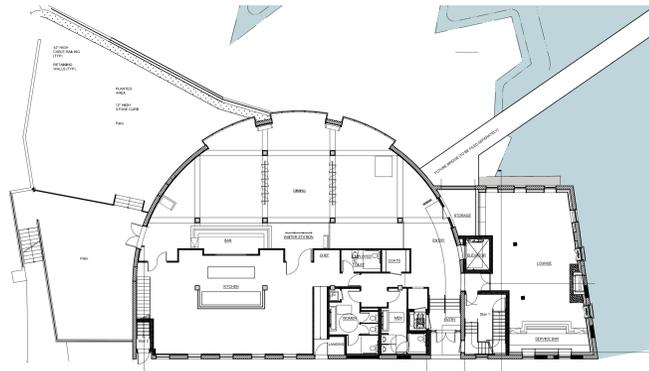
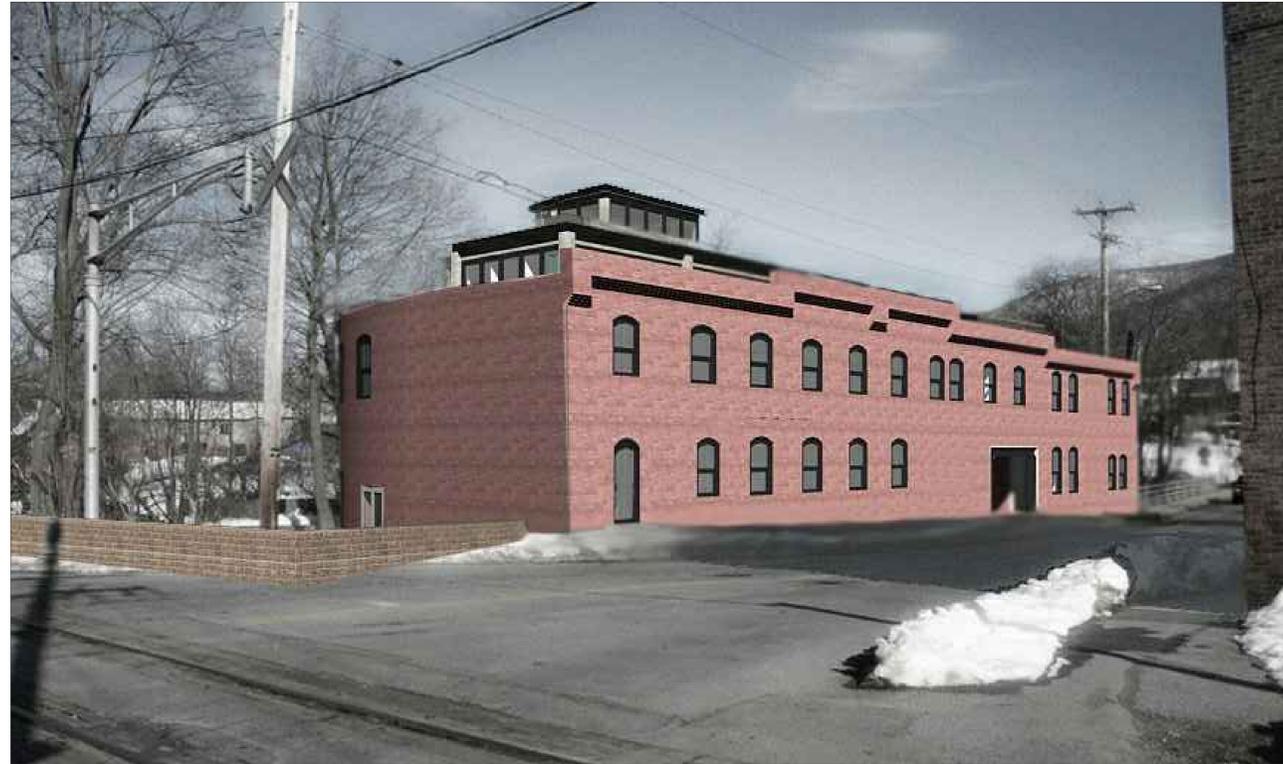
1/4" = 1'-0"

**AMENDMENT SCOPE OF WORK:**

REPLACE PRIVATE DINING ROOM WITH HOTEL ADMINISTRATION OFFICE SPACE.

PARKING COUNT IS REDUCED BY 12 SPACES AS A RESULT OF ELIMINATION OF PRIVATE DINING ROOM.

NO ADDITIONAL PARKING IS REQUIRED FOR THE HOTEL ADMINISTRATION OFFICE SPACE.



**1st Floor Plan**

1/4" = 1'-0"



**Elevation: South**

1/4" = 1'-0"

NEW DOUBLE INSULATED DOUBLE HUNG WINDOWS - PELLA OR APPROVED EQUAL - COLOR: FOREST GREEN



**Elevation: West**

1/4" = 1'-0"

NOTE: THESE ELEVATIONS HAVE BEEN REVIEWED AND APPROVED BY THE PLANNING BOARD IN A PREVIOUS SUBMITTAL. THEY ARE INCLUDED HERE FOR REFERENCE ONLY. NO CHANGES TO THE EXTERIOR OF THE BUILDING ARE PROPOSED.

NEW DOUBLE INSULATED CASEMENT WINDOWS AT CLERESTORY - PELLA OR APPROVED EQUAL - COLOR: FOREST GREEN

STAINLESS STEEL CABLE RAIL

STONE RETAINING WALL



**Elevation: East**

1/4" = 1'-0"

NEW DOUBLE INSULATED CASEMENT WINDOWS AT CLERESTORY - PELLA OR APPROVED EQUAL - COLOR: FOREST GREEN

STAINLESS STEEL CABLE RAIL

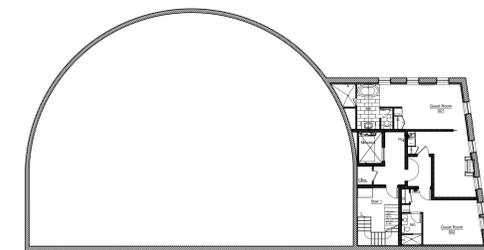


**Elevation: North**

1/4" = 1'-0"

REPAIR, REPOINT, AND POWER WASH EXISTING BRICK. INFILL ABANDONED OPENINGS TO MATCH EXISTING BRICK WALL WITH NO VISIBLE SEAMS (TYPICAL).

PAINTED STEEL SURROUND AT NEW MASONRY OPENING



**Lower Level Plan**

1/4" = 1'-0"

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAN, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY \_\_\_\_\_ CHAIRMAN \_\_\_\_\_ SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

RECOMMENDED FOR APPROVAL:

MAYOR OF THE CITY OF BEACON DATE \_\_\_\_\_

APPROVED BY RESOLUTION OF THE CITY COUNCIL OF THE CITY OF BEACON

ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

REVISIONS:			
NO.	DATE	DESCRIPTION	BY
1	02/23/10	REVISED PER PLANNING BOARD COMMENTS	AJS
2	03/30/10	REVISED PER PLANNING BOARD COMMENTS	AJS
3	05/25/10	REVISED PER PLANNING BOARD COMMENTS	AJS
4	11/30/10	REVISED PER OWNER CHANGES	AJS
5	12/24/12	REVISED PER OWNER CHANGES	AJS
6	1/29/13	REVISED PER PLANNING BOARD COMMENTS	AJS
7	2/27/18	AMENDMENT TO SITE PLAN	AJS
8	8/28/18	REVISED PER PLANNING BOARD COMMENTS	AJS
9	9/25/18	NO CHANGE	AJS

**Amendment to Special Use Permit  
Round House Hotel Building**

Sheet 7 of 19

**Round House at Beacon Falls**

Beacon, New York  
Scale: As Noted  
January 26, 2010

§223-24.3 Artist livework spaces

A. Development Standards.

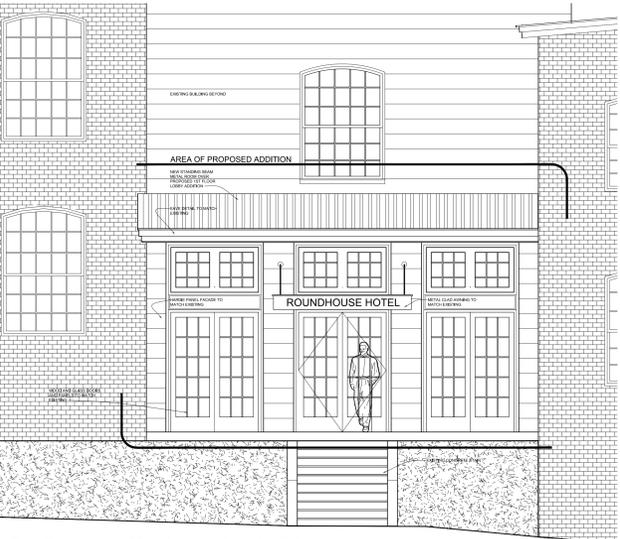
1. An artist livework space may exist on the first floor of a structure only if the appearance and use of the livework space on the street side is consistent with the nature of the permitted uses in the surrounding area. For example, if the surrounding area is retail in nature at the first floor level, the livework space shall be restricted to retail on the street side of the first floor, and said street side space shall be large enough, in the opinion of the Building Inspector, to support a typical retail enterprise.
2. Each artist livework space and its various components shall be physically separate and distinct from other livework spaces and other uses within a particular building. The sharing of artist livework spaces, by multiple tenancies components thereof or utilities shall not be permitted. However, access to livework spaces may be provided from common access areas, halls or corridors.
3. Each artist livework space must be individually equipped with an enclosed bathroom containing a sink, toilet, shower or tub, and appropriate venting.
4. Each artist livework space must be individually equipped with a kitchen consisting of a sink, non-portable stove, oven and refrigerator.
5. Each artist livework space must contain a floor area of no less than eight hundred (800) square feet, of which a minimum area shall be devoted to the following: thirty-five (35) square feet for an enclosed bathroom, sixty (60) square feet for a kitchen, and one hundred twenty (120) square feet for a sleeping area.
6. No more than thirty percent (30%) of the floor area of the artist livework space may be devoted to residential space.
7. Direct access between living and working areas must be provided.
8. In order to ensure that the use is consistent with the other commercial uses, artist livework spaces shall not be used for: classroom instructional uses with more than two (2) pupils at any (1) one time; the storage of flammable liquids or hazardous materials; welding; or any open-flame work. Further, the work in the livework space shall be so conducted as not to cause noise, vibration, smoke, odors, humidity, heat, cold, glare, dust, dirt or electrical disturbance which is perceptible by the average person located within any other residential or commercial unit within the structure or beyond any lot line.
9. Not more than one (1) person who is eighteen (18) years of age or older may reside within an artist livework space per three hundred (300) square feet of residential floor area. Further, not more than two (2) persons who are at least eighteen (18) years of age, of which at least one (1) of whom is an artist in residence, and not more than two (2) children of said persons who are under twenty-two (22) years of age may reside within a livework space on a year-round

basis.

10. Only one (1) nonresident employee may be employed within an artist livework space. This requirement may be waived for livework spaces that provide retail space on the first floor.
11. Other than in a first-floor retail-oriented area, articles offered for sale within a livework space must include those produced by the artist residing in said livework space and may be offered with other like items.
12. One (1) flush-mounted, non-illuminated sign, with a maximum area of two (2) square feet, attached adjacent to or near the street entrance door to the livework spaces may be used to identify the artist. This sign may list only the name of the artist with a one- or two-word description of the type of artwork or craft that is to be conducted within the livework spaces. Where two (2) or more livework spaces occur within the same building, the signs must be placed in an orderly fashion in relation to each other and must be part of a coherent directory in which signs are ordered in a horizontal fashion. Where five (5) or more livework spaces are developed within one (1) building, an interior directory sign shall be located in lieu of individual signs on the building exterior.
13. Residential space and work space shall not be rented separately or used by persons other than those people legally residing within the artist livework spaces and permitted nonresident employees.
14. No artist livework space shall serve as a place from which commercial vehicles are dispatched or operated.
15. All livework spaces shall conform with all applicable building codes.
16. For the purposes of this permitted use, artists shall only be those persons working exclusively with paint, paper, clay and/or other soft materials, and this use shall include photography, jewelry making, graphic arts and other similar relatively quiet endeavors as determined by the City Council in reviewing the proposed special use permit application. Tattoo applicators, body piercers and musicians shall not be considered artists for the purpose of this use.
17. Renewal inspections. Each artist livework space shall be inspected by the Building Department every two years in order to determine whether the artist livework space remains in compliance with this section. Upon a satisfactory inspection report, the artist livework space owner shall be reissued a certificate of occupancy. If the Building Inspector determines that the artist livework space is not in compliance, the building owner or manager shall have 60 days in which to rectify all noncomplying elements and shall apply for reinspection with the Building Department, subject to an additional fee. If all such noncomplying elements are not rectified within the above-specified time frame, the certificate of occupancy for the use shall expire and the use as authorized by the special permit shall be terminated.

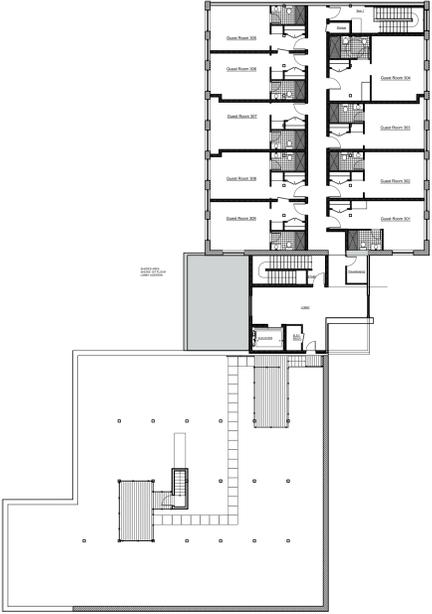
Live / Work Area Calculations

Live / Work Unit	Live Area	Work Area	Net Area	Work to Live Ratio	Remarks
Unit 1	640	1,788	2,428	74 : 26	
Unit 2	417	1,629	2,046	80 : 20	



Part Elevation - Mill Hotel Lobby Addition

1/4" = 1'-0"



3rd Floor Plan - Mill Hotel

1/16" = 1'-0"



1st Floor Plan - Mill Hotel

1/16" = 1'-0"

AMENDMENT SCOPE OF WORK:  
REPLACE PREVIOUSLY APPROVED SPA WITH 10 HOTEL ROOMS



Rendering at West Elevation

- PITCHED ROOF WITH BLACK TRIM TO MATCH EXISTING
- HARDIE SIDING TO MATCH EXISTING LINK ADDITION
- ALUMINUM AND GLASS STOREFRONT AND TRANSOM - MATCH BLACK COLOR OF EXISTING WINDOWS
- METAL CANOPY SIMILAR TO EXISTING CANOPY AT ENTRANCE ON OPPOSITE SIDE OF LOBBY
- RECONFIGURE CONCRETE PLATFORM TO EXISTING CONCRETE STEPS

NOTE: THESE IMAGES SHOW THE PROPOSED ONE STORY ADDITION AT THE 1ST FLOOR LOBBY. ALL OTHER ELEVATIONS FOR THE BUILDINGS AND LINK ADDITION HAVE BEEN APPROVED PREVIOUSLY



View at Lobby Entrance



View

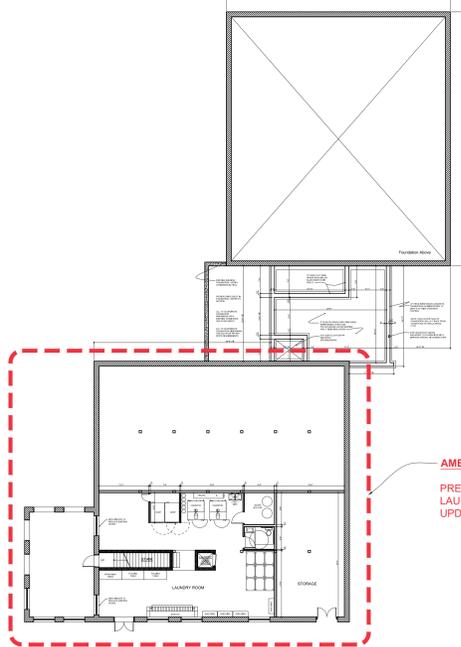


View



2nd Floor Plan - Mill Hotel

1/16" = 1'-0"



Lower Level Plan - Mill Hotel

1/16" = 1'-0"

AMENDMENT SCOPE OF WORK:  
PREVIOUSLY APPROVED LAUNDRY ROOM LAYOUT UPDATED.

RECOMMENDED FOR APPROVAL:

MAYOR OF THE CITY OF BEACON \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED BY RESOLUTION OF THE CITY COUNCIL OF THE CITY OF BEACON

ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION, ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAN, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY \_\_\_\_\_

CHAIRMAN

SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	02/23/10	REVISED PER PLANNING BOARD COMMENTS	AJS
2	03/30/10	REVISED PER PLANNING BOARD COMMENTS	AJS
3	05/25/10	REVISED PER PLANNING BOARD COMMENTS	AJS
4	11/30/10	REVISED PER OWNER CHANGES	AJS
5	12/24/12	REVISED PER OWNER CHANGES	AJS
6	1/26/13	REVISED PER PLANNING BOARD COMMENTS	AJS
7	2/26/13	REVISED PER PLANNING BOARD COMMENTS	AJS
8	2/27/18	REVISED PER PLANNING BOARD COMMENTS	AJS
9	8/28/18	REVISED PER PLANNING BOARD COMMENTS	AJS
10	9/25/18	NO CHANGE	AJS

Amendment to Special Use Permit  
Mill Building Residences & Mill Hotel Building

Sheet 8 of 19

**City of Beacon Workshop Agenda**  
**11/13/2018**

**Title:**

**Zoning Tables**

**Subject:**

**Background:**

**ATTACHMENTS:**

Description	Type
Zoning dimensional table draft	Backup Material
Zoning tables draft	Backup Material
Zoning Use table draft	Backup Material

Section 223-17, Schedule of Dimensional Regulations (suggested edits in red)

DRAFT 10/26/18

Zoning District	Minimum Lot Size (see also 223-12 I)				Minimum Yard Side <sup>a</sup>				Minimum % Building Separation Same Lot (ft)	Maximum Height Main Building (see 223-13) (stories   ft)	Minimum Height (stories   ft)	Maximum % Building Coverage		Maximum Number of Units per Building	Floor Area Ratio	Zoning District	Also Refer to Pertinent Sections
	Area <sup>h</sup>				Front (ft)	Total		Rear <sup>d,e</sup> (ft)				Multi-Fam	All Other				
	Area (sf)	Per Unit (sf)	Width (ft)	Depth (ft)		Min. (ft)	of 2 (ft)										
R1-120	120,000	120,000	250'	350'	75'	50'	100'	75'	–	2.5   35'	1   12'	N.A.	7%	1	–	R1-120	
R1-80	80,000	80,000	150'	200'	50'	30'	70'	50'	–	2.5   35'	1   12'	N.A.	10%	1	–	R1-80	
R1-40	40,000	40,000	150'	150'	<del>50'</del> 40'	25'	60'	50'	–	2.5   35'	1   12'	N.A.	15%	1	–	R1-40	
R1-20	20,000	20,000	125'	125'	<del>40'</del> 30'	20'	50'	40'	–	2.5   35'	1   12'	<del>20%</del> N.A.	20%	1	–	R1-20	
R1-10	10,000	10,000	85'	100'	<del>35'</del> 25'	15'	40'	35'	–	2.5   35'	1   12'	N.A.	25%	1	–	R1-10	
R1-7.5	7,500	7,500	75'	100'	<del>30'</del> 20'	10'	20'	30'	–	2.5   35'	1   12'	N.A.	30%	1	–	R1-7.5	
R1-5	5,000	5,000	50'	100'	<del>30'</del> 15'	10'	20'	30'	–	2.5   35'	1   12'	N.A.	–	1	–	R1-5	
RD-7.5 <sup>d,e</sup>	2 acres	7,500	200'	200'	20-35'	25'	50'	50'	<del>70'</del> 30'	3   35'	1   12'	15%	20%	12	–	RD-7.5 <sup>d,e</sup>	
RD-6 <sup>d,e</sup>	<del>5</del> 2 acres	6,000	<del>3</del> 200'	200'	50'	25'	50'	50'	<del>70'</del> 30'	2.5   35'	1   12'	15%	20%	16	–	RD-6 <sup>d,e</sup>	
RD-5 <sup>d,e</sup>	5,000	5,000	50'	100'	30'	<del>10'</del> 20'	<del>20'</del> 40'	25'	30'	3   35'	1   12'	20%	30%	16	–	RD-5 <sup>d,e</sup>	
RD-4 <sup>d,e</sup>	2 acres	4,000	200'	200'	40'	20'	40'	40'	<del>70'</del> 30'	2.5   35'	1   12'	20%	25%	20	–	RD-4 <sup>d,e</sup>	
RD-3 <sup>d,e</sup>	5,000	3,000	50'	100'	30'	<del>10'</del> 20'	<del>20'</del> 40'	25'	30'	<del>2.5   35'</del> 3.5   45'	1   12'	20%	40%	24	–	RD-3 <sup>d,e</sup>	
RD-1.8 <sup>d,e</sup>	5,000	1,800	50'	100'	30'	<del>10'</del> 20'	<del>20'</del> 40'	25'	30'	10 <sup>b</sup>   100'	1   12'	15%	40%	– <sup>c</sup>	–	RD-1.8 <sup>d,e</sup>	
RD-1.7 <sup>d,e</sup>	5,000	1,700	50'	100'	30'	<del>10'</del> 20'	<del>20'</del> 40'	25'	30'	4.5 <sup>f</sup>   55' <sup>f</sup>	1   12'	25%	40%	36 <sup>g</sup>	–	RD-1.7 <sup>d,e</sup>	
<del>PB</del>	As regulated in the least restrictive adjoining residential district															<del>PB</del>	
<del>QB TB</del>	5,000	5,000	40' 50'	100'	<del>30'</del> 10'	<del>20'</del> 10'	–	25'	–	–   35'	–	–	–	–	1	<del>QB TB</del>	
<del>LB</del>	–	–	–	<del>100'</del>	–	<del>20'</del>	–	<del>25'</del>	–	<del>–   35'</del>	–	–	–	Min Open Space	2	<del>LB</del>	
GB	–	1,500	–	100'	– 15'	20'	–	25'	–	–   35'	–	–	–		2	GB	
CMS	–	–	–	75'	0-10'	0'	–	25'	–	3   48'	2   –	–	–	10%	–	CMS	Art IVD
L	–	–	–	75'	0-20'	0-30'	–	25'	–	4   48'	2   –	–	–	15%	–	L	Art IVE
FCD	2 acres	3,960	–	–	–	–	–	–	–	3   40'	–	35%		30%	–	FCD	Art IVC
WP	1 acre	–	–	–	10'	–	–	–	–	2.5   35'	–	20%		–	<del>0.5</del>	WP	Art IVA
WD	5 acres	–	–	–	–	–	–	–	–	See Art IVA	–	–		15%	<del>3/2</del>	WD	Art IVA
LI	–	1,500	– 60'	100'	– 20'	20'	–	25'	–	–   – 35'	–	– 60%		– 20%	2	LI	
HI	–	–	– 60'	100'	– 30'	20'	–	25'	–	–   <del>35'</del> 40'	–	– 60%		– 20%	2	HI	

## NOTES:

- ~~a~~ If not occupied by a dwelling unit. Notwithstanding the one-story and 15-foot height limitation, a clubhouse in a multifamily project shall not exceed 2 1/2 stories and 35 feet in height. [Amended 2-16-2010 by L.L. No. 2-2010]
- ~~ab~~ Except in multifamily developments, A private garage may be built across a common lot line in multifamily developments by mutual agreement between adjoining property owners, a copy of such agreement to be filed with the building permit application for such garage.
- ~~c~~ A main building containing two or more dwelling units in an RD-3 District may be erected to a height of 3 1/2 stories or 45 feet, and a main building for a permitted nonresidential use may be erected to a height of five stories or 50 feet, provided that it is set back from any street or adjoining residential property a distance at least equal to its height.
- ~~d~~ But 2,500 square feet per dwelling unit for the first two dwelling units if the average height of main buildings is to be less than six stories, and except that for each one-bedroom or smaller dwelling unit, the required minimum lot area per dwelling unit shall be reduced by 20%, and for each three-bedroom or larger dwelling unit, increased by 20%.
- ~~e~~ But not less than 1/2 the height of the permitted building.
- ~~f~~ A one-family house may be located on a lot meeting all the requirements of, and subject to the standards of, the most restrictive adjoining single-family residence district.
- ~~g~~ Except that any side yard containing a driveway for an apartment development shall be at least as large as a required front yard.
- ~~h~~ But not more than 65% of the dwelling units in a multifamily development may be contained in buildings more than 3 1/2 stories in height.
- ~~i~~ But not more than 24 dwelling units in any building 3 1/2 stories or less in height.
- ~~j~~ This maximum may be increased to 20% for multifamily developments having 3,000 square feet or more of a lot area per dwelling unit.
- ~~k~~ For multifamily developments, a well-designed and landscaped recreation or usable open space area, approved by the Planning Board, of 2,000 square feet for the first 20 dwelling units or part thereof, plus 100 square feet for each additional dwelling unit will be required.
- ~~l~~ In any RD District, the Planning Board may approve a subdivision of land into individual building lots containing a minimum of 1,800 square feet of area each and designed for attached or semi-attached single-family dwellings (townhouses), provided that the design is such that the gross dwelling unit density for the entire tract does not exceed that which can normally be permitted for multiple dwellings in the district in which the property is located and further provided that the Planning Board attaches such conditions and safeguards to its approval as, in its opinion, are necessary to assure that the entire property, including any designated common areas for open space, recreational or other purposes, will be properly maintained for the intended purpose(s) and not further subdivided or developed in the future.
- ~~m~~ Except that any new one-family detached dwelling lot created subsequent to July 11, 1988, shall be required to comply with the minimum size and dimensional requirements of the R1-7.5 District. [Added 7-5-1988]
- ~~n~~ A maximum of one story of parking under a building shall not count toward the maximum building height limitation in feet and stories. [Added 2-16-2010 by L.L. No. 2-2010]
- ~~o~~ And each building shall not exceed 150 feet in length. [Added 2-16-2010 by L.L. No. 2-2010]
- ~~p~~ There shall be no parking in the front yard. [Added 10-17-2016 by L.L. No. 11-2016]
- ~~q~~ For all development proposals involving a total lot area of more than three acres within a R1, RD, or Fishkill Creek Development zoning district, the lot area per dwelling unit calculation shall first deduct any lot area covered by surface water, within a federal regulatory floodway, within a state or federally regulated wetland, or with existing, pre-development very steep slopes of 25 percent or more as defined in § 223-63.
- i For two-family dwelling units, 2,500 square feet lot area per dwelling unit.
- ~~b~~ Abutting residential districts or where driveway is proposed between building and lot line.
- ~~c~~ First-floor area shall be limited to the extent necessary to provide required off-street parking and loading spaces.

**LOCAL LAW NO. \_\_\_\_ OF 2018**

**CITY COUNCIL  
CITY OF BEACON**

**LOCAL LAW AMENDING CHAPTER 223  
OF THE CODE OF THE CITY OF BEACON**

A LOCAL LAW to amend Chapter 223 of  
the Code of the City of Beacon  
regarding the Schedule of Regulations.

**BE IT ENACTED** by the City Council of the City of Beacon as follows:

**Section 1.** Chapter 223 of the City Code, Article II, §223-2, entitled “Establishment of Districts” is hereby amended as follows:

**§ 223-2 Establishment of districts.**

The City of Beacon is hereby divided into the following classes of districts:

A. Residential:

[Amended 7-18-1994 by L.L. No. 10-1994; 11-18-1996 by L.L. No. 12-1996; 10-4-2004 by L.L. No. 35-2004]

- (1) R1-120 One-Family Residence District, 120,000 square feet per dwelling unit.
- (2) R1-80 One-Family Residence District, 80,000 square feet per dwelling unit.
- (3) R1-40 One-Family Residence District, 40,000 square feet per dwelling unit.
- (4) R1-20 One-Family Residence District, 20,000 square feet per dwelling unit.
- (5) R1-10 One-Family Residence District, 10,000 square feet per dwelling unit.
- (6) R1-7.5 One -Family Residence District, 7,500 square feet per dwelling unit.
- (7) R1-5 One-Family Residence District, 5,000 square feet per dwelling unit.
- (8) RD-7.5 Designed Residence District, 7,500 square feet per dwelling unit (minimum lot size of two acres).

[Added 10-17-2016 by L.L. No. 11-2016<sup>[1]</sup>

~~[1] Editor's Note: This local law also provided for the renumbering of former Subsections A(8) through (16) as Subsections A(9) through (17).~~

- (9) RD-6 Designed Residence District, 6,000 square feet per dwelling unit (minimum lot size of five acres).
- (10) RD-5 Designed Residence District, 5,000 square feet per dwelling unit (minimum lot size of 5,000 square feet).
- (11) RD-4 Designed Residence District, 4,000 square feet per dwelling unit (minimum lot size of two acres).
- (12) RD-3 Designed Residence District, 3,000 square feet per dwelling unit (minimum lot size of 5,000 square feet).
- (13) RD-1.8 Designed Residence District, 1,800 square feet per dwelling unit (minimum lot size of 5,000 square feet).
- (14) RD-1.7 Designed Residence District, 1,700 square feet per dwelling unit (minimum lot size of 5,000 square feet).

[Added 2-16-2010 by L.L. No. 2-2010<sup>[2]</sup>

~~[2] Editor's Note: This local law also provided for the redesignation of former subsection A(13) and (14) as A(14) and (15), respectively.~~

- ~~(15) RMF-1.5 Multifamily Residence District, 1,500 square feet per dwelling unit (minimum lot size of 5,000 square feet).~~
- ~~(16) RMF-8 Multifamily Residence District, 800 square feet per dwelling unit (minimum lot size of 5,000 square feet).~~

- (15) Senior Affordable Housing Overlay (SAHO) District.

[Added 11-19-2012 by L.L. No. 23-2012]

B. Commercial:

(1) ~~PB Business Off Street Parking~~ TB Transitional Business District.

(2)~~{3} OB Office Business District.~~

~~{3} Editor's Note: Former Subsection B(2), HB Hotel Business District, was repealed 6-17-2013 by L.L. No. 11-2013. This local law also provided for the renumbering of former Subsection B(3) through (8) as Subsection B(2) through (7), respectively.~~

(3)~~LB Local Business District.~~

(4)~~CB Central Business District.~~

(2) GB General Business District.

(3) CMS Central Main Street District.

[Added 2-19-2013 by L.L. No. 3-2013; Amended 6-4-2018 by L.L. No. -2018]

(4) L Linkage District.

[Added 2-19-2013 by L.L. No. 3-2013; Amended 4-3-2017 by L.L. No. -2017]

C. Industrial:

(1) LI Light Industrial District.

(2) HI Heavy Industrial District.

D. POD Parking Overlay District.

[Added 6-15-1992 by L.L. No. 9-1992]

E. WP Waterfront Park Zone.

[Added 10-21-1991 by L.L. No. 11-1991; Amended 4-3-2017 by L.L. No. -2017]

F. WD Waterfront Development Zone.

[Added 10-21-1991 by L.L. No. 11-1991; Amended 4-3-2017 by L.L. No. -2017]

G. FCD Fishkill Creek Development District.

[Added 11-1-2010 by L.L. No. 14-2010; Amended 2017 by L.L. No. -2017]

**Section \_\_.** Chapter 223 of the City Code, Article III, §223-13, entitled "Yards; building projections" is hereby amended as follows:

§223-13 Yards, building projections and accessory structures

N. Private tennis court or pool. Such a facility shall be placed behind the front building line and shall be set back from lot lines at least the side yard distance for a principal building in the district which it is located.

O. Medical service accessory structure. A single temporary structure is permitted not exceeding 250 square feet, in compliance with § 223-17E, conforming to the minimum accessory building setback requirements and located in the rear or side yard, behind the front building line, not displacing or blocking access to required off street parking, and connected to the principal dwelling unit in a manner that is satisfactory to the Building Inspector for a period not exceeding 1 year. A medical service accessory structure shall be solely used, without charge, by the owner or occupant of the dwelling unit or an individual related to the owner or occupant, for medical services to be provided until permanent accessible housing can be arranged, as demonstrated by a medical note and other proof to the satisfaction of the Building Inspector. The Building Inspector, upon good cause shown, may extend the 1-year limitation for a period not to exceed 1 year.

**Section \_\_.** Chapter 223 of the City Code, Article IVD, Central Main Street District, §223-41.18, entitled "Regulations" is hereby amended as follows:

A. (12) ~~Public garage~~ Parking structure, as defined in this chapter, without motor vehicle repair, vehicle sales, or fuel sales, provided that it is set back at least 40 feet and screened from the street by buildings and/or landscaping.

(14) ~~Indoor Commercial Recreation~~ Vintage Amusement Center, subject to §223-24.8.

B. (1) ~~(a) A public garage, as defined in this chapter, containing facilities used for repair of motor vehicles, but not for the sale of motor fuel. Such repair facilities shall not front on or be visible from Main Street or East Main Street.~~

(a) A bar in which the primary product is alcoholic beverages and food service is incidental. Any establishment that serves alcoholic beverages and is open later than 1:00 a.m. on any night shall be presumed to be a bar for purposes of this section.

G. (1) All off-street parking shall be located behind, under the ground floor, or to the side of a building. If on the side, the parking area shall be located at least 40 feet from the Main Street or East Main Street property line and be screened by a low brick or stone wall, hedge, ornamental fence, and/or other landscaping that maintains the continuity of the street wall in compliance with frontage occupancy requirements, and that screens parked cars from view from the street. A ~~public garage~~ parking structure shall have a storefront "liner building" at least 40 feet deep and one story high between the parking structure and the main street, but may have a zero-foot setback on the upper floors of the parking structure (over the storefront) and along any street that intersects the main street. Parking areas fronting on side streets shall have a minimum setback of five feet in which ornamental and/or buffer landscaping is planted.

**Section \_\_.** Chapter 223 of the City Code, Article VI, §223-63, entitled "Definitions" is hereby amended as follows:

**DWELLING UNIT, ONE-FAMILY**

A dwelling containing one dwelling unit only, not to include house trailer or mobile home.

**DWELLING UNIT, ATTACHED**

A dwelling unit having common walls with two or more other dwelling units. See also "Townhouse."

**FARM**

Land and on-farm buildings, equipment and practices which contribute to the production, preparation and marketing of crops, livestock and livestock products as a commercial enterprise. For the purposes of this chapter, a "farm" specifically excludes the display of farm products for sale, on-site advertising, and the raising of fur-bearing animals.

**HEIGHT OF BUILDING**

The vertical distance from the average established grade in front of the lot or from the average natural grade at the building line, whichever is higher, to the level of the highest point of the roof, if the roof is flat, or to the mean level between the eaves and the highest point of the roof, if the roof is of any other type. When a lot fronts on two or more streets of different levels, the lower street, or the average elevation of the lot with regard to the abutting streets, may be taken as the base for measuring the height of the building. The minimum height of a principal building shall be one story and 12 feet.

**HOME OFFICE, PROFESSIONAL**

Home office of a properly certified physician; psychologist; physical, occupational or speech therapist; licensed social worker; dentist; lawyer; engineer; architect; accountant; teacher or other similar professional person, when conducted entirely within a dwelling by the residents thereof, at least one of whom is said professional person, provided that no more than two nonresident persons are employed therein, and where there is no external evidence of such office, except for a sign and off-street parking facilities as respectively permitted and required in this chapter. A home professional office shall be clearly incidental and secondary to the use of the residence for dwelling purposes and shall be regulated in accordance with the requirements of §223-17.1 of this chapter.

**OFFICE**

A structure used primarily for the conduct of business relating to administration, clerical services, consulting, medical and other client services not related to retail sales.

**PARKING STRUCTURE**

A multi-level structure for the parking of vehicles, conducted as a business or to serve a business or district.

**STORAGE BUSINESS**

A fully enclosed structure for the containment of materials, including warehouses and residential storage facilities with individual bays that are leased for the storage of personal property.

**TOWNHOUSE**

A one-family dwelling attached in a row of at least three such units with each home having its own front and rear access to the outside. See also "Dwelling Unit, Attached."

#### WHOLESALE BUSINESS

An enclosed place of business primarily engaged in sales, storage, display, and distribution of merchandise to retailers, industrial users, institutional uses, or other commercial businesses, including a warehouse, but not to include auto wrecking yards, junkyards, or outdoor storage of materials, unless outdoor storage of materials is specifically permitted as an accessory use in the district.

#### WORKSHOP

Work places, including retail sales, for carpenters, plumbers, cabinetmakers, upholsters, electricians, printers, tailors, dressmakers, shoemakers, jewelers, sculptors, watch and clockmakers, opticians and musical or scientific instrument repairers, or shops which employ similarly skilled persons.

### **Section\_\_.** Ratification, Readoption and Confirmation

Except as specifically modified by the amendments contained herein, Chapter 223 of the City of Beacon is otherwise to remain in full force and effect and is otherwise ratified, readopted and confirmed.

### **Section\_\_.** Severability

The provisions of this Local Law are separable and if any provision, clause, sentence, subsection, word or part thereof is held illegal, invalid or unconstitutional, or inapplicable to any person or circumstance, such illegality, invalidity or unconstitutionality, or inapplicability shall not affect or impair any of the remaining provisions, clauses, sentences, subsections, words or parts of this Local Law or their petition to other persons or circumstances. It is hereby declared to be the legislative intent that this Local law would have been adopted if such illegal, invalid or unconstitutional provision, clause, sentence, subsection, word or part had not been included therein, and if such person or circumstance to which the Local Law or part hereof is held inapplicable had been specifically exempt there from.

### **Section\_\_.** Effective Date

This local law shall take effect immediately upon filing with the Office of the Secretary of State.

**Section 223-17, City of Beacon Schedule of Use Regulations (Suggested Edits)**

Permitted Uses by District	Reference Notes	All R1	All RD	PB	OTB	LB	GB	CMS	L	WD	WP	FCD	LI	HI	
<b>Residential</b>															
One-Family Detached Dwelling		P	P	P	P	P	x	P	x	x	x	x	x	x	
One-Family Attached/Semidetached	Including Townhouses	x	P	* P	* P	P	x	P	P	P	x	P	x	x	
Two-Family Dwelling		x	SP P	* P	* P	*	x	P	P	x	x	x	x	x	
Multifamily Dwelling		x	SP P	* P	x	*	SP	P	P	P	x	P	x	x	
Artist Live/Work Space	Subject to §223-24.3	x	x	* P	* P	SP	SP	P	SP P	P	x	P	SP	x	
<b>Retail/Office/Service</b>															
Retail Business or Personal Service		x	x	* P	x	P	P	P	SP	P	x	x	P	P x	
Office		x	x	* P	P	P	P	P	SP	P	x	P	P	P x	
Bank or Financial Institution		x	x	* P x	P x	P	P	P	x	x	x	x	P	P x	
Retail Truck or Trailer	Subject to §223-26.3	x	x	* P	x	*	P	P	P	x	SP	x	P	P x	
Artist Studio as Principal Use		SP	SP	SP	SP P	SP	SP P	P	P	x	x	P	SP	SP	
Funeral Home		x	x	* P	x	P	P	P	x	x	x	x	P	P x	
Art Gallery or Exhibit Space		SP	SP	SP	SP	P	P	P	x	P	x	P	P	P	
Amusement Center, Vintage	Subject to §223-24.8	x	x	* P	x	*	x	SP	x	x	x	x	x	x	
Auction Gallery		x	x	* P	x	*	P	P	x	x	x	x	P	P	
Tattoo Parlor	Subject to §223-26.2	x	x	* P	x	*	P	P	x	x	x	x	P	P x	
Adult Use	Subject to §223-20.1	x	x	* P	x	*	x	x	x	x	x	x	SP	SP	
<b>Food/Lodging</b>															
Restaurant or Coffee House		x	x	* P x	SP x	SP	P	P	SP	P	SP	P	P x	P x	
Bar or Brew Pub		x	x	* P	x	SP	SP	SP	x	P	x	P	SP	SP	
Microbrewery/Microdistillery		x	x	* P	x	SP	SP	P	SP	x	x	x	SP	SP	
Food Preparation Business		x	x	* P	x	*	* P	P	SP	x	x	x	* P	* P	
Bed and Breakfast	Subject to §223-24.4	SP	SP	SP	SP	SP	SP	P	P	x	SP	P	SP	P x	
Inn		x	x	* P	x	*	* SP	P	P	P	SP	P	x	x	
Hotel	Subject to §223-20	x	x	* P	x	*	SP	P	P	P	x	x	SP x	SP x	
<b>Social/Community</b>															
Spa/Fitness Center/Exercise Studio		x	x	* P	* P	*	* P	P	x	P	x	P	x	x	
Day Care Center		x	x	* P	* P	*	* P	x	x	P	x	P	* SP	x	
Park/Preserve, Not-for-Profit	With No Admission Fee	SP P	SP P	SP	SP P	SP	SP	P	P	P	P	x	SP x	SP x	
Commercial Recreation, Indoor		x	x	* P	x	*	SP P	P x	x	x	x	x	SP P	SP P	
Plaza/Green/Community Garden		x	x	* P	* P	*	* P	P	P	P	x	x	x	x	
Theater, Concert or Conference Space	Not a Drive-In Theater	x	x	* P	x	*	P	P	x	SP	x	P	P	P x	
Museum		SP	SP	SP	SP	P	P	P	x	SP	x	P	P	SP x	
Place of Worship/Religious Facility		P	P	P	P	P	P	x	x	x	x	x	P	P x	
Club	Subject to §223-24.2	SP	SP	SP	SP	SP	SP	SP	x	x	x	x	SP	SP x	
<b>Golf Course</b>		SP	SP		x		x	x	x	x	x	x	x	x	
<b>Healthcare</b>															
Hospital or Clinic	Subject to §223-21.1	SP	SP	SP	SP x	SP	x	x	x	x	x	x	x	x	
Nursing Home	Subject to §223-22	SP	SP	SP	SP x	SP	x	x	x	x	x	x	x	x	

x = Use Not Permitted  
P = Permitted Use  
SP = Special Permit Use

For Specific Standards See -->

Article IVD Article IVE Article IVA Article IVA Article IVC

**Section 223-17, City of Beacon Schedule of Use Regulations (Suggested Edits)**

Permitted Uses by District	Reference Notes	All R1	All RD	PB	OTB	LB	GB	CMS	L	WD	WP	FCD	LI	HI	
<b>Educational</b>															
College or University		x	x	*	x	*	SP	P	x	x	x	x	SP	SP x	
Trade School or Training Program		x	x	*	* SP	*	SP P	P	x	x	x	x	SP P	SP P	
Private or Nursery School		SP	SP	SP	SP	SP	x	P	x	x	x	x	SP	SP x	
<b>Parking/Auto-Oriented</b>															
Off-Street Parking as Principal Use	Subject to §223-26	SPx	SPx	SP	P	P	P	P	x	x	x	x	P x	P x	
Parking Structure	Subject to Article IVD	x	x	*	x	*	x	P	x	x	x	x	x	x	
Vehicle Sales or Rental Lot		x	x		x		SP	x	x	x	x	x	* SP	x	
Gas Filling Station and/or Car Wash	Subject to Ch.210/§223-21	x	x	*	x	*	SP	x	x	x	x	x	* SP	SP x	
Auto Body or Repair Shop	Subject to Chapter 210	x	x	*	x	*	SP	x	x	x	x	x	SP	SP	
Ambulance Service		SP	SP	SP	SP	SP	SP	x	x	x	x	x	SP	SP	
<b>Industrial or Assembly</b>															
Wholesale or Storage Business		x	x	*	x	*	P	x	x	x	x	x	SP P	P	
Workshop		x	x	*	* SP	*	P	P	x	x	x	P	P	P	
Industrial/Manufacturing Use		x	x	*	x	*	x	x	SP	x	x	P	P	P	
<b>Other</b>															
Wireless Communication	Subject to §223-24.5	SP	SP	SP	SP	SP	SP	P	P	x	x	x	SP	SP	
Small Cell Wireless Facility	Subject to §223-26.4	P/SP	P/SP	P/SP	P/SP	P/SP	P/SP	P/SP	P/SP	P/SP	P/SP	P/SP	P/SP	P/SP	
Farm		P	P x	P	P x	P	x	x	x	x	x	x	x	x	
Horticultural Nursery		SP	SP	SP	SP	SP	SP	x	x	x	x	x	SP	SP	
Historic District Overlay Use	Subject to §223-24.7	SP	SP	SP	SP	SP	SP	SP	SP	SP	SP	SP	SP	SP	
<del>Ski Facility (Mt. Beacon)</del>		SP	*	*	*	*	*	*	*	*	*	*	*	*	
<b>Permitted Accessory Uses</b> (includes uses/structures customarily incidental to a permitted principal use, but not an activity for commercial gain in a residential district)															
Accessory Apartment	Subject to §223-24.1	SP	SP	*	* SP	*	x	x	x	x	x	x	x	x	
Private Tennis Court or Pool	Subject to §223-13	P	P	*	* P	*	x	x	x	x	x	x	x	x	
Outdoor Storage of Materials		x	x	*	x	*	P	x	x	x	x	x	* P	P	
Home Office	Subject to §223-17.1	P	P	*	* P	*	x	x	x	x	x	x	x	x	
Home Occupation	Subject to §223-17.1	P	P	*	* P	*	x	P	P	x	x	x	x	x	
Medical Service Structure	Subject to §223-13	P	P		P	*	x	x	x	x	x	x	x	x	
Roof Garden or Greenhouse		P	P	*	* P	*	* P	P	P	P	* P	* P	* P	* P	
Solar Collectors	Subject to Article X	P	P	P	P	P	P	P	P	P	P	P	P	P	
Artist Studio as Accessory Use	Subject to §223-24.6	SP	SP	*	* SP	*	x	x	x	x	x	x	* SP	* SP	

x = Use Not Permitted  
P = Permitted Use  
SP = Special Permit Use

For Specific  
Standards See -->

Article IVD Article IVE Article IVA Article IVA Article IVC

**City of Beacon Workshop Agenda  
11/13/2018**

**Title:**

**Removal of Ch 223-24.8 Amusement centers containing only vintage amusement devices**

**Subject:**

**Background:**

**ATTACHMENTS:**

Description	Type
Ch 223-24.8 Amusement centers	Backup Material

**§ 223-24.8. Amusement centers containing only vintage amusement devices. [Added 8-30-2010 by L.L. No. 12-2010]**

A. Standards.

- (1) Such amusement center shall contain only vintage amusement devices that were built prior to the year 1980 or noncomputerized devices with the exception of first generation computerized games such as those manufactured prior to 1990.
- (2) Such amusement center shall only operate between 9:00 a.m. and midnight.
- (3) Such amusement center shall be located in a fully enclosed building with the windows always closed and the door(s) open only during ingress and egress.
- (4) Such amusement center shall be so located and/or so insulated such that, except when the doors are open during ingress and egress, the sound of the amusement devices off the premises of the amusement center:
  - (a) Is not audible to the human ear; or
  - (b) Cannot be measured above the ambient noise level with a sound level meter; or
  - (c) Shall not exceed a reading of 40 A-weighted decibels (dBA) on a sound level meter.
- (5) Such amusement center shall not cause vibration which is discernible off the premises of the amusement center.
- (6) The amusement center building's electrical system shall be such that it can accommodate the electrical load of the amusement devices in accordance with the New York State Building Code.
- (7) Such amusement center shall have an adult supervisor of at least 21 years of age on the premises at all times in which said center is open to the public.
- (8) No person under 18 years of age shall be allowed to operate any amusement device before 3:00 p.m. on any day in which school is in regular session. For the purpose of this section, the term "school" is defined as any public or private institution providing learning facilities for Grades K through

12. Further, no person under 18 years of age shall be allowed to operate any amusement device after 10:00 p.m.

(9) In reviewing and approving each application, the City Council must be able to find, and the Special Permit Resolution shall require:

(a) That the establishment, maintenance or operation of such amusement center will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.

(b) That such amusement center will not be injurious to the use and enjoyment of other properties in the vicinity of said center, nor diminish and impair property values within the neighborhood.

(c) That the establishment of such amusement center will not impede the normal orderly development and improvement of the surrounding properties.

(d) That adequate measures will be taken by the operator of such amusement center to maintain the absence of loitering and good order surrounding the location of such amusement center.

(10) The standards above shall be liberally construed and enforced in order to protect the public health, safety, morals, comfort and general welfare.

#### B. Procedures.

(1) Renewal of special permit. The special permit for such amusement center shall be subject to renewal every year by the City Council. Such renewal shall be based upon a written statement from the Building Inspector that said amusement center is in conformity with the terms of its special permit and with the terms of this chapter pertaining to said use, as well as upon any record of complaints from neighbors.

(2) Procedures for the renewal of special permit.

(a) A special permit issued in accordance with the terms of this chapter shall automatically renew each year, subject to:

[1] An inspection and report by the Building Department and report indicating that the amusement center is in conformity with the terms of the special permit and

site plan. Said report shall also include information regarding any record of complaints from neighbors; and

[2] Payment of the appropriate inspection fee as set by the City Council.

- (b) If the Building Inspector issues a report indicating compliance with the terms of this section, the special permit and the site plan, the special permit shall be renewed for a one-year period.
- (c) If the Building Inspector issues a report indicating noncompliance with the terms of this section, the special permit or the site plan, the building owner or manager shall have 60 days to rectify all noncomplying elements and shall reapply for an appointment for inspection with the Building Department subject to an additional inspection fee. If such application for an appointment for an inspection is not received within the specified time, the special permit shall expire and the amusement center shall be terminated. If the Building Department issues a report indicating compliance, the special permit shall be renewed for a one-year period. If upon reinspection the Building Inspector issues a report indicating noncompliance, the amusement center shall be terminated.

**City of Beacon Workshop Agenda**  
**11/13/2018**

**Title:**

**A local law to repeal Chapter 135 and to amend Chapter 1, Article I, Section 3 of the Code of the City of Beacon to remove reference to Housing Standards in the City Code.**

**Subject:**

**Background:**

**ATTACHMENTS:**

Description	Type
LL Ch 135 repeal	Local Law

**LOCAL LAW NO. \_\_\_\_ OF 2018**

**CITY COUNCIL  
CITY OF BEACON**

**PROPOSED LOCAL LAW TO REPEAL  
CHAPTER 135 AND AMEND CHAPTER 1 OF THE CODE OF THE CITY  
OF BEACON**

A LOCAL LAW to repeal Chapter 135 and to amend Chapter 1, Article I, Section 3 of the Code of the City of Beacon to remove reference to Housing Standards in the City Code.

BE IT ENACTED by the City Council of the City of Beacon as follows:

**Section 1.** Chapter 135 of the Code of the City of Beacon entitled “Housing Standards” is hereby repealed in its entirety.

**Section 2.** Chapter 1 Article I, Section 3 of the Code of the City of Beacon entitled “General Penalty” is hereby amended

§1-3. General penalty.

- A. Whenever, in this Code or in any ordinance or resolution of the City, any act is prohibited or is made or declared to be unlawful or an offense or whenever, in such Code, ordinance or resolution, the doing of any act is required or the failure to do any act is declared to be unlawful, where no specific penalty is provided therefor, the violation of any such provision of this Code or any ordinance or resolution shall constitute a violation and shall be punished by a fine not exceeding \$1,000 or by imprisonment not exceeding 15 days, or both. Each day any violation of any provision of this Code or of any such ordinance or resolution shall continue shall constitute a separate offense.

- B. In addition to the penalty hereinabove provided, any condition caused or permitted to exist in violation of any of the provisions of this Code or any such ordinance or resolution shall be deemed a public nuisance and may be, by the City, abated as provided by law, and each day that such condition continues shall be regarded as a new and separate offense.
- C. Where a violation of Chapter **119**, Fire Prevention and Building Code, Uniform **or** Chapter **223**, Zoning is found by a court of competent jurisdiction, the court must impose a fine of not less than \$25 per day from the compliance date set forth in the Building Department's order to remedy.
- D. In the event that an individual, partnership or corporation does not pay a fine duly imposed by a court pursuant to § **1-3A** of the Code or an administrative penalty as authorized by the City Charter or Code of the City of Beacon by December 31 of the year said fine or penalty was imposed, then this amount shall be a lien on any premises owned by said individual, partnership or corporation for the following year and may be assessed against the same on the City tax roll.

### **Section 3.** Ratification, Readoption and Confirmation

Except as specifically modified by the amendments contained herein, Chapter 1 of the City of Beacon is otherwise to remain in full force and effect and is otherwise ratified, readopted and confirmed.

### **Section 4.** Numbering for Codification

It is the intention of the City of Beacon and it is hereby enacted that the provisions of this Local Law shall be included in the Code of the City of Beacon; that the sections and subsections of this Local Law may be re-numbered or re-lettered by the Codifier to accomplish such intention; that the Codifier shall make no substantive changes to this Local Law; that the word "Local Law" shall be changed to "Chapter," "Section" or other appropriate word as required for codification; and that any such rearranging of the numbering and editing shall not affect the validity of this Local Law or the provisions of the Code affected thereby.

### **Section 5.** Severability

The provisions of this Local Law are separable and if any provision, clause, sentence, subsection, word or part thereof is held illegal, invalid or unconstitutional, or inapplicable to any person or circumstance, such illegality, invalidity or unconstitutionality, or inapplicability shall not affect or impair any of the remaining provisions, clauses, sentences, subsections, words or parts of this Local Law or their petition to other persons or circumstances. It is

hereby declared to be the legislative intent that this Local law would have been adopted if such illegal, invalid or unconstitutional provision, clause, sentence, subsection, word or part had not been included therein, and if such person or circumstance to which the Local Law or part hereof is held inapplicable had been specifically exempt there from.

**Section 6.** Effective Date

This local law shall take effect immediately upon filing with the Office of the Secretary of State.

**City of Beacon Workshop Agenda**  
**11/13/2018**

**Title:**

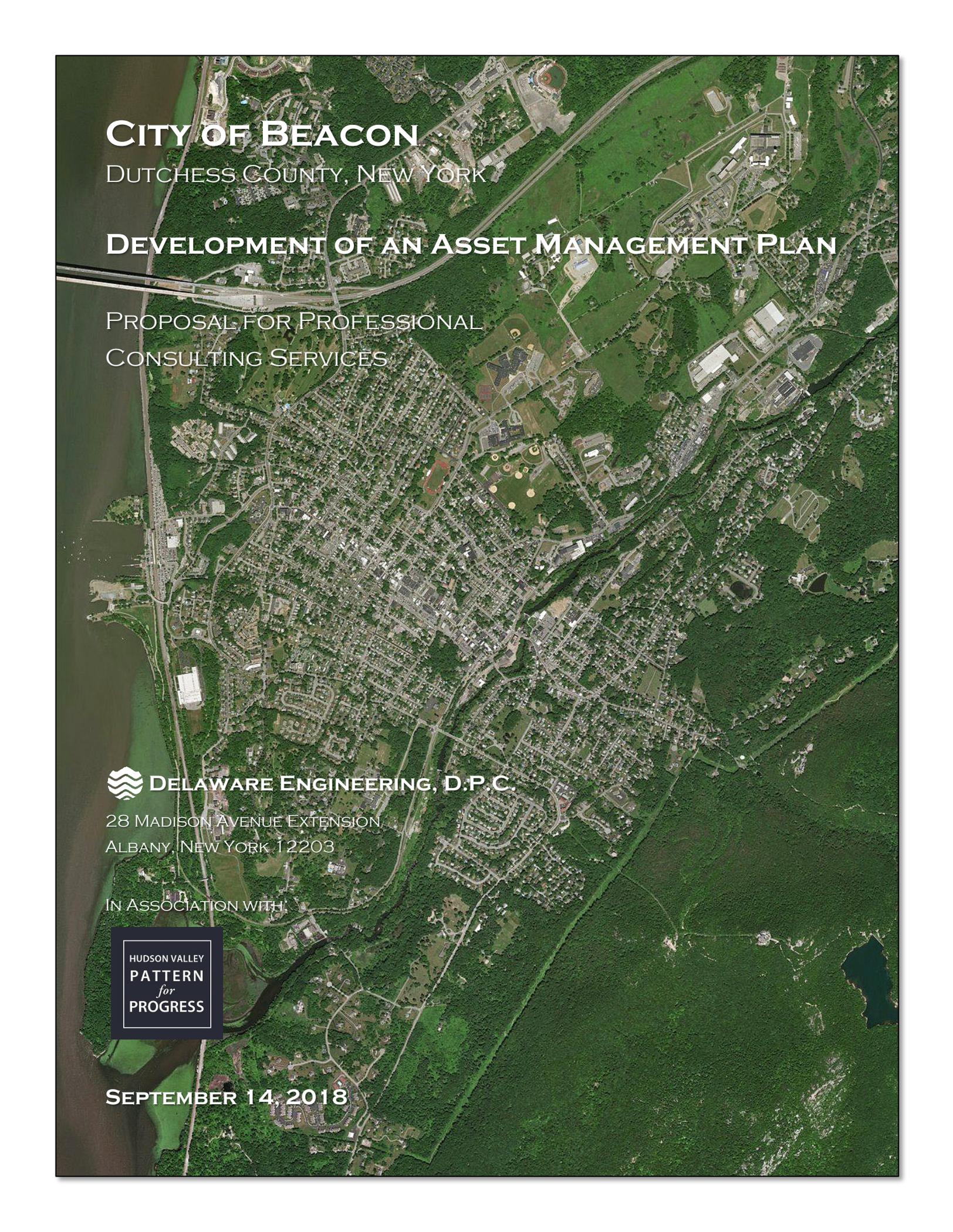
**Asset Management Award**

**Subject:**

**Background:**

**ATTACHMENTS:**

Description	Type
Asset Mgmt Prop_DE/Pattern	Backup Material



# CITY OF BEACON

DUTCHESS COUNTY, NEW YORK

## DEVELOPMENT OF AN ASSET MANAGEMENT PLAN

PROPOSAL FOR PROFESSIONAL  
CONSULTING SERVICES

 DELAWARE ENGINEERING, D.P.C.

28 MADISON AVENUE EXTENSION  
ALBANY, NEW YORK 12203

IN ASSOCIATION WITH:

HUDSON VALLEY  
PATTERN  
*for*  
PROGRESS

SEPTEMBER 14, 2018

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**CITY OF BEACON**  
DUTCHESS COUNTY, NEW YORK  
**DEVELOPMENT OF AN ASSET MANAGEMENT PLAN**

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**DELAWARE ENGINEERING, D.P.C.**

IN ASSOCIATION WITH

**HUDSON VALLEY PATTERN FOR PROGRESS**

PROPOSAL FOR GENERAL CONSULTING SERVICES

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## SECTION 1. OVERVIEW

### Project Understanding

Once a gritty manufacturing center, the historic City of Beacon is experiencing an artistic and economic renaissance, primarily due to forward thinking planning by City leaders. The City's identity has been redefined as a cultural and recreational destination and a Hudson River community that is a desirable place to live, work and play. In order to ensure that Beacon's public assets and infrastructure will continue to support future growth and development, the City is seeking proposals from qualified consultants for assistance in preparation of an Asset Management Plan (AMP).

An Asset Management Plan is a tool that will assist the City in maintaining their infrastructure and public assets at the desired level of service at the lowest life cycle cost. The Beacon AMP will inventory the City's assets, assess their condition, define expected standard levels of service, prioritize critical action items, develop an implementation strategy that informs and optimizes the Capital Plan, and include a long term financial strategy.

The City of Beacon Asset Management Plan Scope of Services includes five major tasks:

- *General Requirements:* Review existing City plans and documents, meet with departments to gather input, prepare draft and final reports, present the final report at a public meeting, and provide five hard copies of final report and digital copies in Word and PDF format.
- *Identifying the Condition of Local Infrastructure:* Review existing infrastructure assessments and documentation, gather basic asset information, provide financial valuation and replacement costs, determine age, assess condition, record assumptions, and provide best practices for updates.
- *Identifying the Expected Levels of Service:* Define performance measures and realistic targets and timeframes, assess current performance of all assets and compare to targets, discuss effect of external trends, provide best practices for updates.
- *Identifying the Asset Management Strategy:* Develop 10, 15 and 20 year implementation plan that optimizes expenditures as related to costs and benefits, summarizes actions in draft Capital Plan and provides recommendations for additional or alternate actions, compares costs/benefits of these alternatives, provides procurement options for planned and recommended actions, assesses their risks, and provides best practices for updates.
- *Identifying the Financing Strategy:* Provide a financial plan to support the 10, 15 and 20 year implementation plan, categorize expenditures, gather expenditures for the last 3 years, identify annual funding streams and revenues, identify funding shortfalls and recommend how to bridge the gap, record assumptions, and provide best practices for updates.

## Confirmation of Team Services

Delaware Engineering, D.P.C. (Delaware) will team with Hudson Valley Pattern for Progress (Pattern) to prepare the City of Beacon AMP. Delaware and Pattern, though separate entities, have a close working relationship. This approach draws on Delaware's strength as an engineering firm and Pattern's strength in municipal management, urban planning and proximity to Beacon. Our team has the technical skills to assist the City of Beacon in preparation of an Asset Management Plan that will inform the City's future decision making.

Delaware is an engineering and planning firm located in the Capital Region with proven expertise in municipal infrastructure, asset management planning, financial analysis and economic development. Building on a strong background in civil and environmental engineering, the firm has transitioned to offer a broad range of services including municipal land use planning and economic development, financial analysis and funding procurement, environmental review and permitting, ecological assessments and mitigation, water, wastewater and stormwater infrastructure, structural, mechanical and electrical engineering, and building design. Our clients are predominantly municipal entities. We understand that municipal leaders come to government from all walks of life and bring unique perspectives, knowledge and experience. The functions of government are complex and Delaware's role is to provide facts and guidance to municipal decision-makers to ensure that the best interests of the public are achieved.

Hudson Valley Pattern for Progress is a nonprofit policy, planning, advocacy and research organization located in Newburgh. Their mission is to promote regional, balanced and sustainable solutions that enhance the growth and vitality of the Hudson Valley. Pattern specifically works on regional issues that improve the ability for the other regional agencies, including local and county governments, to improve operational efficiency, reduce waste and duplication, and attract and retain residents and businesses to contribute to prosperity and quality of life. Pattern, as an economical and nimble nonprofit with extensive experience in Hudson Valley local government, will support all aspects of the Asset Management Plan, from document and data collection to analysis of external trends and factors impacting needed levels of service. Thus, Pattern will take the lead in gathering existing documents and inventories of capital assets and infrastructure from the relevant City departments, following up where needed with fieldwork and interviews to ascertain the existence, location and status of assets. Pattern will also provide planning services relevant to determining gaps between existing and projected levels of service depending on residential and commercial growth patterns and related external factors. Pattern will bring its experience in municipal management and community engagement to the creation of an asset management and financing strategy knowing that capital planning and investment is highly-visible and must engage with a community's perceived needs and vision for the future.

## SECTION 2. WORK PROGRAM

The Delaware/Pattern Team will provide comprehensive services to the City of Beacon in preparation of the Asset Management Plan follow the Scope of Services outlined in the City's Request for Proposals. Note that the Delaware/Pattern Work Plan includes meetings with City officials without limitation.

### Approach and Methodology

#### Task 1. General Responsibilities

1. Review existing asset management and Capital Plan practices and related documents.
2. Assign a Project Manager to be the main contact.
3. Seek input from various departments.
4. Provide a draft and final report structured as follows:
  - a. Executive Summary
  - b. Introduction
  - c. State of Local Infrastructure
  - d. Expected Levels of Service
  - e. Asset Management Strategy and Capital Plan
  - f. Financing Strategy
5. Complete an onsite public presentation of the final report recommendations at a City Council or a similar meeting.
6. Provide five (5) hard copies of the final report, as well as an electronic copy in MSWord and in a publishable PDF format. In addition, any GIS shapefiles created in the preparation of report maps will be provided to the City.

#### Task 2. Identifying the Condition of Local Infrastructure

1. Review existing infrastructure condition assessments and existing City documentation.
2. Gather basic asset information for all City assets, referring to any existing documentation. At a minimum provide *type, description, location, expected/useful life, and quantity/length*. Investigate and provide information where necessary for completeness.
3. For each asset, provide financial valuation using historical costs and depreciation assumptions, and provide replacement costs, referring firstly to the existing City documentation.
4. Gather asset age for all City assets, referring firstly to the City's existing documentation.
5. Investigate and provide information where necessary for completeness.

6. Assess asset condition according to standard engineering practices for all City assets and rate conditions on a scale of *good*, *fair* and *poor*. Refer firstly to existing City documentation.
7. Record all assumptions.
8. Provide best-practices and provincial requirements for how and when information regarding characteristics, value, and condition of assets will be updated.

### **Task 3. Identifying the Expected Levels of Service**

1. Define the performance measures associated with City assets.
2. In consultation with the City, define realistic targets and timeframes to achieve those targets if they are not already being achieved.
3. Assess the current performance of all City assets and show this performance relative to the targets set out, referring firstly to the City existing documentation.
4. Discuss external trends that may affect expected levels of service or the City's ability to meet them.
5. Provide best-practices for how and when information regarding performance and targets will be updated.

### **Task 4. Identifying the Asset Management Strategy**

1. Develop a 10-year, 15-year and 20-year implementation plan, optimizing expenditures as they relate to lifecycle costs and benefits.
  - a. Summarize the planned actions shown in the draft Long-Term Capital Plan.
  - b. In consultation with the City, provide recommendations for additional or alternate actions that will enable the assets to provide the desired level of service in a sustainable way, at the lowest lifecycle cost.
2. Show comparative lifecycle, direct and indirect costs and benefits of alternate actions to achieving the desired level of service.
3. Investigate and provide procurement options for the planned and recommended actions.
4. Assess and comment on the risks with the planned and recommended actions.
5. Provide guidance toward 3-5 year capital budget planning for near-term priorities.
6. Provide best-practices for how and when information regarding planned actions, options analysis and risks will be updated.

**Task 5. Identifying the Financing Strategy**

1. Provide a financial plan in support of the 10-year, 15-year and 20-year implementation plan that shows revenues across multiple confirmed funding streams.

Categorize and identify all planned expenditures as either:

- a. Non-infrastructure solution.
  - b. Maintenance activity.
  - c. Renewal/rehabilitation activity.
  - d. Replacement activity.
  - e. Disposal activity.
  - f. Expansion activity.
2. Gather actual expenditures for the last 3 years, referring firstly to the City's existing documentation.
  3. Identify the confirmed annual funding streams and revenues.
  4. Identify any funding shortfalls and provide recommendations for how to bridge the gap.
  5. Record all assumptions.
  6. Provide best-practices for how and when information regarding expenditures, funding streams and shortfalls will be updated.

## SECTION 3. ORGANIZATION

### Proponent Organizations

The Delaware/Pattern Team offers a unique partnership of two firms combining their skills and experience in civil engineering and infrastructure, financial analysis, municipal management and urban planning:

**Delaware Engineering D.P.C.** is a Design Professional Corporation licensed to practice engineering in the State of New York. The firm was originally founded in 1987 as Delaware Engineering Services and was incorporated three years later as a Professional Corporation. We currently have 60 professional, technical and support staff with offices in Albany, Oneonta, Walton, Liberty and Red Hook. Our technical staff is comprised of professional and graduate engineers, senior environmental scientists, chemists, geologists, biologists, planners, computer aided design and geographic information system specialists. Building on a strong background in municipal engineering, principally water and wastewater infrastructure, the firm has expanded to offer a broad range of other services including asset management planning, financial analysis, economic development, grant writing and funding procurement, land use planning, GIS services, environmental review and permitting, and ecological assessments and mitigation. We believe that in many communities modest infrastructure improvements can be leveraged to build comprehensive economic development strategies. Delaware Engineering is a Partnership and our six owners are Dave Ohman P.E, John Brust, Mary Beth Bianconi, Alan Tavenner P.E and Brock Juusola, P.E.

**Hudson Valley Pattern for Progress**, established in 1965, is a nonprofit policy, planning, advocacy and research organization whose mission is to promote regional, balanced and sustainable solutions that enhance the growth and vitality of the Hudson Valley and its communities. Pattern specifically works on regional issues and consulting projects that help local and county governments to improve operational efficiency, reduce waste and duplication, improve infrastructure and take other strategic actions to attract and retain residents and businesses to contribute to prosperity and quality of life. Pattern's consulting, trainings, conferences and reports engage a wide range of experts, local leaders and stakeholders around issues of government efficiency, housing, gentrification, downtown revitalization, infrastructure, public health, and education.

Pattern is a nonprofit 501©3 corporation overseen by a Board of Directors of extraordinary depth and diversity representing major corporations, institutions and the civic sector in the Hudson Valley. Jonathan Drapkin is the CEO, supervising a staff of six experienced planners, researchers and analysts.

## Experience

**Delaware Engineering** prepares a Preliminary Engineering Report (PER) for each of our infrastructure projects. The PER includes an assessment of the current condition of existing systems, remaining life expectancy, level of service required, alternative upgrade options, a comparison of construction, operation and maintenance and life cycle costs, funding strategies, permitting requirements, and recommendations on preferred alternatives. We recently prepared water and wastewater PERs for the Albany County Sewer District, Village of Athens, Town of Catskill, Town of Duanesburg, Town of Germantown, City of Hudson, Village of Millbrook, Village of Monroe, City of Plattsburgh, and Village of South Glens Falls.

In addition, Delaware has worked with numerous municipalities and agencies to prepare dedicated Asset Management Plans, Master Plans and Rate Studies for their water, wastewater, stormwater and roadway infrastructure. Recent relevant projects include:

- Village of Coxsackie – Delaware prepared a Wastewater Treatment Collection System Asset Management Plan for the Village of Coxsackie as part of the Sanitary Sewer Overflow Abatement and Elimination Plan required by NYSDEC. This plan includes an inventory of collection system piping and manholes, assessment of criticality, condition and life span, prioritization for inspection, rehabilitation and maintenance, rehabilitation/replacement planning, maintenance analysis and planning, and a capital improvement plan.
- Village of Monroe – Delaware prepared a Water Master Plan and Rate Study for the Village of Monroe that evaluates the current water system including the surface water source, groundwater supply wells, treatment plant, storage tanks, pumps and distribution system. It outlines potential new water sources and transmission, treatment and storage options. It provides a priority list of recommended improvements and cost estimates and analyzes future debt service and revenue in order to assist the Village in long term capital planning.
- Sleepy Hollow Lake (SHL) – Delaware conducted an assessment of the 22 mile road system for the Association of Property Owners of SHL. This study included an investigation of the existing condition of all roadways including their surface material and drainage conditions and recommendations for a roadway maintenance plan. A separate culvert inventory and analysis was also prepared with recommendations for replacement and upgrades.
- Catskill Watershed Corporation (CWC) – Community Stormwater Assessments in the NYC West of Hudson Watershed. Delaware prepared Comprehensive Stormwater Retrofit Infrastructure Inventory Assessment and Planning projects for the Villages of Hunter, Margaretville and Fleischmanns, and the Towns of Ashland and Windham. These projects included field investigations of all stormwater infrastructure, creation of a GIS database, identification and prioritization of areas of concern, and recommendations for best management practices to reduce flooding potential and improve runoff water quality.

**Pattern for Progress** has completed multiple strategic planning contracts through Enhanced Service Agreements. Pattern contracts with local municipalities to research, analyze and develop local strategic plans with recommendations and action plans. The work often includes data collection through surveys, document review, fieldwork and interviews, and analysis with statistics, GIS and other tools. Our work often results in successful applications for local, state and federal grants used to match and leverage private and public resources. This planning work is relevant to identifying external trends that may affect expected levels of service of capital assets and infrastructure. Recent relevant projects include:

- Rockland County Countywide Shared Services Initiative – includes inventory of all highway equipment and possible consolidations among the County’s six sewer districts.
- Efficiency Studies of Clarkstown Highway, Parks, Environmental and Justice Departments – includes review and analysis of capital assets, operating costs, staffing, budget planning and related factors. Special focus on efficiency study of labor and equipment used for loose leaf and yard waste pickup programs.
- Pattern is a respected source of data and analysis of infrastructure issues in the Hudson Valley. Pattern published a comprehensive report in 2016 titled *“Rebuilding our Infrastructure: Got a Spare Billion?”* analyzing transportation, water, sewer and urban infrastructure throughout the Hudson Valley.
- Pattern completed a “White Paper” for the Sullivan County Planning Department that provided an overview of existing economic and community development priority projects throughout Sullivan County, strategies for other potential projects and demographics, trends and statistics.

### **Project Team**

Andy Stewart will serve as Project Manager and Client Liaison for the Asset Management Plan and will be supported by Pattern staff in gathering relevant City documents, inventories and existing plans, interviewing City staff as appropriate, and conducting field investigations to inventory assets. Pattern staff will integrate all existing asset information and work with Mary Beth Bianconi, serving as Project Principal at Delaware. She will lead Delaware’s engineering staff in evaluating capital assets and infrastructure for condition, level of service, life cycle replacement cost and related technical questions. Jonathan Drapkin will provide Quality Assurance/Quality Control for the project. Together, Delaware and Pattern will generate an asset management plan and financing strategy for the City of Beacon. Pattern will communicate regularly with City management, department heads, elected officials or other relevant stakeholders as to the progress of the project, seeking input and feedback whenever needed.

Short summaries of Team members' roles, experience and capabilities are included below and resumes of key members are attached in Appendix A. All proposed Team members are full-time permanent employees of their respective organizations.

### **Pattern Staff**

**Jonathan Drapkin, Esq.** will provide Quality Assurance/Quality Control for the City of Beacon Asset Management Plan. Jonathan is President and CEO of Pattern where he has developed a large portfolio of programs and projects. Jonathan spent his earlier years in New York City where he worked in the administration of Mayor Ed Koch and as Director of the NYC Council's Office of Oversight and Investigation. As Sullivan County Manager he coordinated the County's first long term plan for roads and bridges. He served as a member of two Governors' Commissions focusing on restructuring local government. Jonathan has also taught government efficiency and effectiveness in Baruch College's Masters Degree in Public Administration for 7 years and most recently served as an adjunct lecturer at Marist teaching a course on the impact of anchor projects on their community. He graduated from Washington University after completing a year abroad at Durham University in Northern England; he then earned a Masters degree in economics from Long Island University, and a law degree from Benjamin Cardozo School of Law. Jonathan has served on the Mid Hudson's Regional Economic Development Council as part of their executive committee since its inception. He co-chaired the \$10 million efforts to revitalize the cities of Middletown and Kingston. During his participation on the REDC he has insured housing remains as part of the regional conversation. In high demand for his deep knowledge of urban dynamics, Jonathan co-chaired a regional effort to amend the environmental review process known as SEQRA; was appointed by Governor Cuomo to serve on the Tappan Zee Bridge's mass transit task force and served on the oversight committee of the Regional Plan Association's effort to create a Fourth Regional Plan for the Tri-State area. During his tenure at Pattern, Jonathan and his staff have been recognized with numerous awards in honor of their efforts to improve the Hudson Valley.

**Andy Stewart, PhD**, will serve as Project Manager for the Beacon Asset Management Plan and will be the main point of contact with the City. He is Senior Vice President for Research and Analysis at Pattern and will bring his experience in local government, the nonprofit sector and academic research to the project. At Pattern, he works with cities and towns on such issues as local government efficiency, capital planning, and community and economic development, while conducting regional scale research on these and related matters. Before coming to Pattern, Andy served three terms as Town Supervisor in Orangetown, NY, working intensively to cut costs, build green infrastructure, improve public access and promote economic development. He oversaw the sale and commercial redevelopment of 60 acres of former NYS hospital land owned by the Town. Prior to his election, Andy spent eleven years organizing

community improvement, environmental education and litter prevention campaigns as Executive Director of Keep Rockland Beautiful, Inc. His doctoral work in geography at Rutgers University focused broadly on the political and economic aspects of environmental management, with fieldwork in Central America.

**Elijah Reichlin-Melnick** will assist Andy and be responsible for Data Collection and GIS. Elijah is a Senior Research Planner at Pattern and holds a Masters in City & Regional Planning (with a concentration in Housing & Real Estate) from the Bloustein School of Planning & Public Policy at Rutgers University and a Bachelors degree in History and Government from Cornell University. Prior to joining Pattern he taught elementary school for two years in New Haven, CT, as part of the Teach for America program, then spent seven years working in government and politics in the Hudson Valley, where he served in the Rockland County district offices of Congressman Eliot Engel and Congresswoman Nita Lowey from 2009-2013, handling constituent services, community relations, and coordinating grants. From 2014-2016 he worked as a Special Assistant to Orangetown Town Supervisor Andy Stewart, assisting with all aspects of running the day to day operations of the Town. At Pattern he has led government efficiency/shared service studies for municipalities in Rockland and Dutchess County, and works on a variety of planning and policy related-projects. Elijah is instrumental in demographic research and analysis, playing a vital coordinating role with Pattern's Urban Action Agenda and the development of the Community and Housing Profiles as well as the Westchester County Profile with WBC. He is also highly skilled with GIS mapping.

**Robin DeGroat** will be responsible for report editing and production. Robin is Vice President of Operations at Pattern. She manages business relations and special projects and oversees all aspects of the organization including membership, sponsorship, event planning, support management, presentation of research and financial administration. Robin plays a critical role with report review, layout, editing and design, scheduling meetings and organizing community forums, as well as preparing presentation slides and materials. Prior to joining Pattern, Robin served as an executive assistant at Bethel Woods Center for the Performing Arts and IBEW Local 1968. Her undergraduate work was done at State University of New York at Buffalo.

### **Delaware Staff**

**Mary Beth Bianconi** will serve as Project Principal responsible for the Delaware Engineering effort. Mary Beth is a Partner and Senior Project Manager at Delaware and is a member of the Hudson Valley Pattern for Progress Board of Directors. She has a Masters in Regional Planning from SUNY Albany and has over 20 years of experience as a consultant to public and private entities with a focus on infrastructure and economic development. She has expertise in asset management plans, rate studies, tax impact analysis and funding procurement. Mary Beth has conducted several speaking engagements and training workshops for the New York State

Conference of Mayors and Municipal Officials (NYCOM), Dutchess County Planning Federation, NYS Economic Development Council, AIA Westchester Hudson Valley, and RPI Earth Week. Of note is her presentation at the NYCOM 2015 Fall Public Works Training School entitled “*Never Argue About Your Budget Again: Public Infrastructure Master Plans and Asset Management.*”

**Brock Juusola, P.E.** will be responsible for wastewater infrastructure analysis in the AMP. Mr. Juusola is a Partner and Senior Engineer with 15 years of experience in civil and environmental engineering including project management. With expertise in process and mechanical engineering, he has designed and managed a wide variety of wastewater treatment projects with particular focus on rehabilitation and expansion projects. He specializes in repurposing existing infrastructure to reduce construction costs. He also carefully evaluates the operation and maintenance costs associated with upgrade options to arrive at a design that is a sound investment in terms of sustainability.

**Alan Tavenner, P.E.** will be responsible for water infrastructure analysis in the Beacon Asset Management Plan. Mr. Tavenner is a Partner and Senior Engineer with 30 years of experience in civil engineering including the planning, permitting, design and construction of municipal water, wastewater, drainage and building projects. Mr. Tavenner has recently served as Project Manager for the design and construction of upgrades to water treatment, storage and distribution systems in many municipalities including the Village of Coxsackie, Town of Greenville, Village of Canajoharie and Village of Monroe.

**Alex Herrmann, P.E./S.E.** will be responsible for the structural analysis of City owned facilities and buildings for the Beacon Asset Management Plan. Mr. Herrmann is a structural engineer and project manager with broad experience in all phases of design and construction management of large scale commercial, industrial, institutional and residential projects. He has a Masters of Structural Engineering from Norwich University, a BS in Civil Engineering from Rensselaer Polytechnic Institute and a BS in Physics from SUNY Albany. Mr. Herrmann is a Registered Professional Engineer in New York and Oregon and a Registered Professional Structural Engineer in Massachusetts and Nebraska.

**Lindsay Ostrander** will assist in Data Analysis, Report Writing and GIS mapping for the Asset Management Plan. Lindsay has almost 10 years of experience in preparation of water and wastewater engineering reports, grant writing, and permitting and funding applications. She was responsible for the GPS field inventory of the City of Hudson wastewater system and the resulting GIS mapbook. She is a Director and former Chairperson of the New York Water Environment Association (NYWEA) Capital District Chapter. Lindsay has a Bachelors in Environmental Engineering from Rensselaer Polytechnic Institute and is currently working on a Masters in Geographic Information Systems from Johns Hopkins University.

## SECTION 4. FEE

The following Cost Proposal is based on the Scope of Services outlined in the City of Beacon's Request for Proposals. The City of Beacon will be billed monthly on a time and materials basis in conformance with the attached Rate Schedules up to a maximum amount payable of **\$60,000**.

### DE/Pattern Team Fixed Price Proposal

Task	Scope of Services	Cost
<b>1</b>	General Responsibilities	\$15,000
<b>2</b>	Identifying the Condition of Local Infrastructure	\$20,000
<b>3</b>	Identifying the Expected Levels of Services	\$5,000
<b>4</b>	Identifying the Asset Management Strategy	\$10,000
<b>5</b>	Identifying the Financing Strategy	\$10,000
<b>TOTAL NOT-TO-EXCEED COST</b>		<b>\$60,000</b>

### Delaware Engineering, D.P.C. Hourly Rate Schedule

Billing Category	Rate/Hour
Technical Typist / Administration	\$75 - \$85
Designer, Technician, Construction Inspector	\$95 - \$120
Senior Designer, Technician, Construction Inspector	\$115 - \$135
Senior Construction Manager	\$140 - \$170
Senior Project Manager	\$135 - \$160
GIS Specialist	\$115 - \$135
Engineer / Scientist / Planner I	\$95 - \$135
Engineer / Scientist / Planner II	\$135 - \$150
Engineer / Scientist / Planner III	\$140 - \$155
Senior Engineer / Scientist / Planner I	\$145 - \$160
Senior Engineer / Scientist / Planner II	\$155 - \$170
Senior Engineer / Scientist / Planner III	\$170 - \$190
Principal Engineer / Scientist / Planner	\$185 - \$205

**Pattern for Progress  
Hourly Rate Schedule**

Name	Rate/Hour
Jonathan Drapkin	\$200
Andy Stewart	\$150
Elijah Reichlin-Melnick	\$100
Robin DeGroat	\$75

**Delaware Engineering, D.P.C.  
Reimbursable Expenses**

1. Mileage @ Federal Rate
2. Travel Expenses (Lodging, Meals) @ Federal Per Diem Rate
3. Telecommunications @ Cost
4. FedEx, UPS, US Postal, Courier @ Cost
5. Other allowable costs @ Cost (Plan Reproductions, Photographs, etc.)
6. In-House Printing:

	<i>B&amp;W</i>	<i>Color</i>
A size - 8½" x 11"	\$ 0.0375	\$ .375
B size - 11" x 17"	\$ 0.10	\$ 1.00
D size - 24" x 36"	\$ 0.50	\$ 5.00
E size - 36" x 48"	\$ 1.00	\$ 10.00
other sizes	\$ 0.10/s.f.	\$ 2.50/s.f.

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**APPENDIX A. KEY STAFF RESUMES**

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**Andy Stewart, Ph.D.**

68 Sickles Ave, Nyack, NY 10960

845-729-5590 • [andy10960@gmail.com](mailto:andy10960@gmail.com) • [LinkedIn](#)

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Andy has worked in government, the nonprofit sector and academia. He is an enthusiastic and practical problem-solver and leader who believes strongly in the value of aligning interests and finding sustainable solutions through collaboration.

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**SELECTED SKILLS**

- Government Relations
  - Team leadership
  - Project management
  - Public speaking and teaching
  - Stakeholder alignment
  - Writing and data analysis
  - Fundraising and grant writing
  - Spanish language
  - Campaign management
  - Land use planning
- 

**PROFESSIONAL EXPERIENCE**

SENIOR VP FOR RESEARCH AND ANALYSIS, HUDSON VALLEY PATTERN FOR PROGRESS, NEWBURGH, NY 2018-present

Consultant in government efficiency and stakeholder engagement.

TOWN SUPERVISOR, TOWN OF ORANGETOWN, NY 2012-2017

Three term elected supervisor of historic Hudson River town. Duties include: Supervise ten people overseeing staff of 300; lead town board meetings; develop annual budget of \$65-70M; manage crisis communications; coordinate community participation; advocate organizational interests to all external agencies; write grants; facilitate senior staff team meetings; recruit and manage volunteers; research and launch policy initiatives; promote economic development; negotiate labor, vendor and partnership agreements.

- Cut annual losses at two town golf courses by \$1M through private partnership.
- Converted 2260 street lights to LED bulbs, saving \$400,000 on annual energy costs.
- Planned redevelopment of vast former NYS hospital land with focus on data centers, movie studios, municipal facilities and waterfront parkland.
- Won \$6M in NYS grants for sidewalks, green infrastructure, bike paths and bridges.
- Implemented capital planning process including design of a new town hall.

Advocated for Town as Member of:

- Rockland Business Association, 2001-present
- Rockland County Solid Waste Management Authority, Board Member 2012-present
- Rockland County Sewer District #1, Commissioner, 2012-present

- Town Supervisors Association, Member, 2012-present
- Rockland County Task Force on Water Resources Management, 2014-present
- Planning Board, Member, Town of Orangetown, NY, 2009-2011
- Rockland Municipal Planning Federation, 2009-present

EXECUTIVE DIRECTOR, KEEP ROCKLAND BEAUTIFUL 2001 – 2011

Increased annual budget by 95% through grants, corporate sponsors and membership drives. Branded organization as go-to hub of environmental education and neighborhood improvement activities for metropolitan county of 300,000 residents. Forged partnerships with business, school, government and civic groups to fund and implement programs. Coordinated Great American Cleanup campaign in Rockland County and on Hudson River shorelines, involving 2000 volunteers and program of corporate sponsorships, volunteer recognition events, publicity materials and media relations.

ADJUNCT, BARD COLLEGE CENTER FOR ENVIRONMENTAL POLICY

ADJUNCT, VASSAR COLLEGE GEOGRAPHY DEPT - Political and economic geography

ADJUNCT, PACE UNIVERSITY, RAMAPO COLLEGE, RUTGERS UNIVERSITY

**EDUCATION**

Ph.D., Geography, RUTGERS UNIVERSITY, New Brunswick, NJ

B.A., Science in Society, WESLEYAN UNIVERSITY, Middletown, CT

**CERTIFICATIONS AND PROFESSIONAL TRAININGS**

Rockland Municipal Planning Federation, Land Use Board Trainings, 2009 - present

Watershed Institute, Columbia, SC, Center for Watershed Protection, 2009

Leadership Rockland, 2006

Pace University Land Use Leadership Alliance, 2006

**SELECTED COMMUNITY INVOLVEMENTS**

Blauvelt Lions Club; Nyack NAACP; Grace Church Community Breakfast.

## **JONATHAN DRAPKIN**

173 Bowers Road

Rock Hill, New York 12775

Home: 845-796-2659

Email: [jdrapkin@hvc.rr.com](mailto:jdrapkin@hvc.rr.com)

### **PROFESSIONAL EXPERIENCE:**

#### **Pattern for Progress**

Newburgh, New York

##### President/CEO

2006 – Present

- Chief Executive Officer for nine-county not-for-profit policy organization, whose mission is improving the quality of life by promoting regional solutions for the greater Hudson Valley.
- Manage, devise, and implement all elements of the organization's research and programmatic plan of work.
- Prepare, manage, and implement budget, fiscal, and development plan on behalf of the organization's finances.
- Serve as Pattern's spokesperson to the media, government, and community organizations.
- Provide staff work on behalf of the organization's 37 member Board of Directors and its standing committees.
- Developed and directs annual training program for 20 mid career professionals in regionalism.
- Developed consulting component in support of organization's mission.
- Increased organization's budget by 110%; more than doubled the reserve fund of organization
- Pattern has been recognized six times during this period by other Hudson Valley organizations
- Serve on the Executive Committee and as a member of the Mid-Hudson Regional Economic Development Council since its inception in 2011.

#### **Gerry Foundation**

Liberty, New York

##### Executive Director

2000 – 2006

The Gerry Foundation is a \$135 million family foundation whose primary mission is the betterment of Sullivan County, New York. The Foundation's major initiative has been the successful development, creation, and organization of a performing arts center – Bethel Woods - at the site of the original Woodstock Festival in Bethel, New York.

- During six and a half years responsibilities changed to fit the organic structure of the project. Initially starting by leading the permitting, development, and conceptualization of the Arts Center, as the operational staff was integrated, responsibility shifted to primarily external affairs on behalf of the Foundation and Performing Arts Center. Those functions included government relations on a Town, County, State and Federal level, community affairs, press relations, grant research, administration, and procurement.
- Developed and maintained relations with Foundations in the Hudson Valley and throughout New York State; served as a member of the Funder's Network for the Mid-Hudson Valley.

- Part of the two person team leading all aspects of the development of the Art Center's second facility, a 40,000 square foot Interpretive Center/Museum to recount the story of the 1969 Woodstock Festival and the decade of the 60's.
- Conceived of and implemented a community revitalization project that partnered with Cornell University leading to the creation of a Local Development Corporation for the Village of Liberty.
- Successfully created and managed several programs designed to enhance the quality of life in Sullivan County.
- Served as the Foundation's representative to numerous boards and commissions throughout Sullivan County, the Hudson Valley, and New York State.

## **County of Sullivan, New York State**

### County Manager

1996 – 2000

- Chief Executive Officer for county government of \$136 million dollar budget and 1100 full-time and 300 part-time employees.
- Restructured numerous divisions, departments and agencies to increase their efficiency and effectiveness; reduced the size of the county workforce.
- Significantly improved county's fiscal position as manifested by two improvements in the county's bond rating; increased sales and mortgage tax collections; elimination of the use of TANs and a significant increase to the fund balance.
- Adopted budgets that reduced the tax levy over a four-year period.
- Creation of numerous initiatives such as management training programs; the county's first Visitor Association; several aesthetic improvement programs; restructuring and consolidation of human services.
- Successfully coordinated creation of the county's first economic development strategy; result was the first significant state grant to the county government; many of its elements have been successfully implemented.
- Most significantly, led a transition in how the county thinks of itself and how others think of it externally in order to foster positive change.

## **New York City Council**

### Director – Office of Oversight and Investigation

1989 – 1996

- Managed a professionally diverse staff that designed and conducted performance evaluations of city agencies and programs for the Speaker of the City Council and Council committees.
- Created the first oversight hearings on the Mayor's semiannual management reports.
- Reviewed local legislation to ensure that it was implemented in accordance with the Council's mandate.
- Researched and investigated management issues on behalf of the 51 Council Members and produced oversight hearings and reports for Council committees.
- Advised and provided written and oral briefings to the Speaker and other Council Members on citywide and agency-specific management issues.
- Interacted daily with agency officials, members of the media, advocacy groups, not-for-profit organizations and lobbyists.
- Testified before Council committees on research findings of management and performance reviews.

**Baruch College**  
Executive MPA Program

Adjunct Lecturer – Urban Service Delivery

Spring 1995 – 2001

- Taught students to think creatively and critically about the delivery of public services and what are the most effective and efficient ways to provide them.
- Topics include the use of performance measurements – their value and limitations; the role of competition; privatization as an option; implementing management reforms; and organizational alternatives in the delivery of services.
- Course was consistently ranked among the highest in the program by students.

**Baruch College**  
Department of Public Administration

Adjunct Lecturer – Introduction to Public Administration

Summer 1992

**Office of the Mayor, City of New York**  
**Office of the Criminal Justice Coordinator**

Legislative Counsel

1987 – 1989

- Formulated the Mayor's criminal justice legislative program and lobbied for its passage.
- Analyzed and commented on city, state and federal criminal justice legislation.
- Coordinated city agencies' positions on legislation.
- Chaired monthly meetings of criminal justice agency counsels and the Mayor's Substance Abuse Task Force's subcommittee on legislation.
- Represented the Mayor before federal, state and local agencies.
- Created and oversaw a comprehensive inter-agency program to expedite New York City's parole revocation hearing process to reduce jail overcrowding.

Assistant Counsel

1984 – 1987

- Researched, evaluated and analyzed criminal justice issues and program initiatives to enhance the delivery of these services citywide.
- Coordinated staff efforts to research the implications, and implementation, of the Mayor's recommended merger of the three New York City police forces.

**Klein and Heisler**  
New York, New York

Associate

1983

- Prepared memoranda of law, engaged in motion practice and made court appearances in the areas of landlord/tenant, probate and domestic relations law.

## **PROFESSIONAL DEVELOPMENT**

### **PROGRAMS:**

- Cornell University Training in Rural Economic Development – week long certificate program 2001
- Leadership New York IV –Participant in full year leadership training program sponsored by the New York City Partnership and the CORO Foundation; 1992 – 1993
- Publicworks Forum – Board member of nonprofit organization designed to foster leadership among New York City's government, business and nonprofit sectors; 1987 – 1989; member 1985 – 1987
- Conflict Management Resources, Inc. –Completed training in Community Mediation as Certified Trained Mediator-October 1985
- New York City Urban Fellow – Placement with the New York City Council President Carol Bellamy; specialized in the capital budget and construction process; 1978 – 1979
- National Science Foundation Traineeship in Economics – Recipient of full scholarship for Master's degree in economics; teaching, assistant; 1977 – 1978

### **AWARDS:**

#### **Pattern Recognition:**

- Council of Industry Manufacturing Champion Award (2016)
- Hudson River Housing's Community Builders Award (2014)
- Rockland Business Association President's Award (2013)
- Orange County Association of Realtors-Recipient of Excellence in Innovation award, which recognizes "exceptional initiative in processes, products, technology and service delivery related to the real estate industry" (2009)
- Orange County Chamber of Commerce- President's Award (2009)

#### **Previous Recognitions:**

- Sullivan County Partnership for Economic Development – Recipient of 2006 Distinguished Service Award for fostering the creation of multiple new programs and initiatives as well as significantly increasing both its funding and membership.
- Liberty Chamber of Commerce Recipient of the 2004 Community Spirit Award for the creation and support of the Liberty Community Development Corporation.
- Sullivan County Partnership for Economic Development – Recipient of the 2001 Walter Rhulen Award for "Business Community and Humanity." This is the organization's highest award for leadership in the business community.
- Sullivan County Chamber of Commerce – Recipient of the 2000 "Distinguished Service Award" for extraordinary dedication and service to Sullivan County.
- American Society for Public Administration – Recipient of 1996 "Luther Gulick Public Service Award" for Outstanding Administrator by the New York Metropolitan Chapter.

## **PRIOR BOARD SERVICE:**

- Facilitator-Ulster County Executive's Economic Development Task Force
- Member-Westchester Medical Center Task Force; Chair- subcommittee on Economic Development
- Chairman - Sullivan County Partnership for Economic Development – Board of Directors
- Member - Sullivan County Visitors Association – Board of Directors
- Member - Sullivan County Workforce Investment Board of Directors
- Member - Mid-Hudson Pattern for Progress, Board of Directors
- Member - Governor's Task Force on Local Government Reform 2002
- Chairman - Strategic Planning Committee - Rock Hill Business and Community Association
- Director - Sullivan County's Joint Economic Team
- Member – Governor Spitzer's Commission on Local Government Efficiency and Competitiveness
- Member – Hudson Valley Economic Development Corporation Board of Directors

## **EDUCATION:**

Juris Doctor – Benjamin N. Cardozo School of Law, New York, NY; 1982

M.A. Economics – Long Island University, Brooklyn, NY; 1979; GPA 4.0; Thesis: "An Analysis of New York City's Capital Needs and Construction Process"; Recipient of National Science Foundation's Traineeship (full scholarship)

A.B. Government – Washington University, St. Louis, Missouri; 1977; graduated with honors; Junior Year Abroad, Durham University, England



**INFRASTRUCTURE:**

- Orange County Sewer District No. 1, Regional Approach to Wastewater Treatment Capacity, Orange County
- Saratoga County Sewer District No. 1, District Expansion and North Plant Planning, Saratoga County
- Guilderland – Rotterdam Water Interconnect, Albany County
- Town of East Greenbush Wastewater Treatment Plant Upgrade and Hampton Manor Water System Evaluation, Rensselaer County
- Village of Cooperstown Wastewater Treatment Plant Upgrade and Doubleday Field Improvements, Otsego County
- Town of Catskill Wastewater Collection System, Greene County
- Town of Duanesburg Wastewater Collection System, Schenectady County
- Town of New Baltimore Wastewater System Upgrades, Greene County
- Town of Germantown Wastewater Treatment Plant Upgrade, Columbia County
- The Association of Property Owners of Sleepy Hollow Lake Wastewater System Upgrades, Greene County
- Village of South Glens Falls Water and Wastewater System Improvements, Saratoga County
- Town of Hartwick Water System Improvements, Otsego County
- City of Hudson, ARRA Wastewater Treatment Plant Upgrade
- Village of Monroe Water Master Plan and Rate Restructuring, Orange County
- Water and Sewer Rate Analyses: Town of East Greenbush and Villages of Monroe, Canajoharie, Chatham, Fishkill and Stillwater, and Rensselaer, Orange, Montgomery, Columbia, Dutchess and Saratoga Counties
- Village of Coxsackie Water and Wastewater System Upgrades, Greene County
- Village of Liberty Water and Wastewater System Upgrade, Sullivan County
- Village of Canajoharie Wastewater Treatment Plant Efficiency Project, Montgomery County
- Town of Windham, NYCDEP New Infrastructure Program, Wastewater Facilities, Windham and Hensonville, Greene County
- Village of Hunter, NYCDEP New Infrastructure Program, Wastewater Facilities, Hunter, Greene County

**PROFILE:**

Mary Beth Bianconi is a Partner and Senior Project Manager with over 20 years of experience as a consultant to public and private entities with a focus on infrastructure and economic development. She applies her expertise to conceptualizing, permitting and financing small and large scale municipal infrastructure projects as well as providing assistance to community planning and zoning boards in conducting site plan, subdivision and variance reviews in conformance with local and state codes, the State Environmental Quality Review Act (SEQRA) and, if necessary, the National Environmental Policy Act (NEPA).

**EDUCATION:**

MRP, Master of Regional Planning, State University of New York at Albany, 2011

BA, State University of New York at Geneseo, 1989

Hudson Valley Pattern for Progress Fellows Program 2016-2017

**PROFESSIONAL AFFILIATIONS:**

Hudson Valley Pattern for Progress Board of Directors, 2017

**EMPLOYMENT HISTORY:**

Delaware Engineering, D.P.C., Albany, NY: 2005- Present

Veolia Water, NA, Houston, TX: 2004-2005

Delaware Engineering, P.C., Albany, NY: 1998-2004

Rust Environment & Infrastructure, Albany, NY: 1996-1998

Chas. H. Sells, Inc., Bedford Hills, NY: 1991-1996

C.T. Male Associates, P.C., Latham, NY: 1990

Gates Hudson, Sterling, VA: 1989

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**SEQR & ECONOMIC DEVELOPMENT:**

- Hyde Park Town Center Plan, Town of Hyde Park, Dutchess County, Funded by NYSERDA Cleaner Greener Communities
- Oneonta Railyards, Economic Development Master Planning and Generic Environmental Impact Statement, County of Otsego Industrial Development Agency
- Soldier On Ann Lee Home Facility, Albany County
- Fountain Flats Commerce Park, Town of Coxsackie, Greene County, Economic Development Master Planning and Generic Environmental Impact Statement, Greene County Industrial Development Agency
- Exit 21B Destination Retail Project, Towns of Coxsackie and New Baltimore, Greene County, Generic Environmental Impact Statement, Greene County Industrial Development Agency
- Pony Farms Industrial Park Economic Development Master Planning and SEQR, Town of Oneonta, Otsego County, County of Otsego Industrial Development Agency
- Greene County Regional Infrastructure Inventory, County-wide, Funded by NYS Empire State Development
- Beekman Town Center Infrastructure Study, Town of Beekman, Dutchess County
- SEQR Review and Local Regulatory Review Assistance: Town of Thompson, Sullivan County; Town of Harpersfield, Delaware County; Towns of Catskill, Cairo, Coxsackie, Greenville, Hunter, and Windham and Villages of Coxsackie and Tannersville in Greene County; Town of Amsterdam, Montgomery County
- Hunter Mountain West Expansion, Peak Resorts, Hunter, Greene County
- Greene County New Jail, Greene County
- Planning Reviews and SEQR Support for Resorts World (Casino) and Thompson Education Center, Town of Thompson, Sullivan County
- Planning Reviews and SEQR Support for Commercial Solar Installations in Greene and Delaware Counties

**SPECIAL PROJECTS:**

- Greene County Emergency Communications Infrastructure
- Highway Garages, Town of Windham, Greene County and Town of Wawarsing, Ulster County
- Excess/Shared Parking, Catskill, Greene County
- Intermunicipal Agreements: Village of Castleton-on-Hudson/Town of Schodack; Town of Guilderland/Town of Rotterdam; Village of Catskill/Town of Catskill; Village of Coxsackie/Town of Coxsackie; Village of Coxsackie/Town of New Baltimore; Town of Amsterdam/ City of Amsterdam

**SELECTED SPEAKING ENGAGEMENTS:**

- New York State Conference of Mayors and Municipal Officials (NYCOM) Public Works Training School Speaker:
    - 2018 – Drainage Districts
    - 2017 – Grants
    - 2016 – Infrastructure Plans of Finance
    - 2015 – Infrastructure Master Plans & Asset Management
  - Dutchess County Planning Federation Speaker: How to Read a Site Plan, 2009 & 2016; Site Plan Review for Accessibility, 2017
  - AIA Westchester Hudson Valley Speaker: Site Plan Review for Accessibility, 2017
  - RPI Earth Week Speaker: Gray Vs. Green Infrastructure, 2016
  - NYS Economic Development Council Speaker: Developing Shovel Ready Sites, 2016
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**WATER:**

- Tuxedo Reserve Water System, Project Engineer/Manager, Town of Tuxedo, Orange County
- Saratoga County Water Authority WTP Upgrades, Project Engineer/Manager, Town of Moreau, Saratoga County
- Water Storage, Pumping and Distribution Improvements, Project Engineer/Manager, Town of Amsterdam, Montgomery County
- Town of East Greenbush Joint Water System Improvements, Project Engineer, Rensselaer County Water and Sewer Authority, Rensselaer County
- West End Water District Extension, Project Engineer, Town of Guelderland, Albany County
- APO of Sleepy Hollow Lake Water Treatment and Distribution System, Systems Engineer, Greene County
- Water Distribution Upgrades, Project Manager, Town of Waterford, Saratoga County

**WASTEWATER:**

- Kent Manor Wastewater Treatment Plant Construction, Project Engineer/Manager, Town of Kent, Putnam County
- Meadows at Deans Corners Wastewater Treatment Plant Construction, Project Engineer/Manager, Town of Southeast, Putnam County
- Village of Canajoharie Wastewater Treatment Plant Upgrades, Project Engineer, Village of Canajoharie, Montgomery County
- Tuxedo Reserve Wastewater Treatment Plant, Project Engineer/Manager, Town of Tuxedo, Orange County
- City of Hudson Wastewater Treatment Plant Upgrades, Project Engineer/Manager, City of Hudson, Columbia County
- Village of Athens Wastewater Treatment Plant Upgrades, Project Engineer/Manager, Village of Athens, Greene County

**STORMWATER:**

- Lake Street Rehabilitation, Project Engineer, Village of Fleischmanns, Delaware County

**PROFILE:**

Mr. Juusola is a Senior Project Manager with almost 15 years of experience in a wide variety of water, wastewater and municipal engineering projects. His experience ranges from serving as the project engineer on a 43 million gallon per day wastewater treatment plant upgrade to dealing with day-to-day construction challenges as a construction inspector. Mr. Juusola's experience in all phases of a project, from planning to design to construction, results in a broad outlook with a balanced and realistic approach. His areas of expertise include water and wastewater process engineering and optimizing and retrofitting existing infrastructure.

**EDUCATION:**

BS, Civil Engineering, University of Minnesota, 2003

**CERTIFICATIONS AND TRAINING:**

Licensed Professional Engineer in New York (License #086662-1)

40-hour HAZWOPER Trained (40 CFR 1910.120) and Confined Space certification

**PROFESSIONAL AFFILIATIONS:**

American Society of Civil Engineers

New York Water Environmental Association

Water Environment Federation

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**WATER:**

- Water Filtration Plant, Coxsackie, NY, Engineer
- Water System Improvements, Middleburgh, NY, Project Manager/ Lead Engineer
- Water System Improvements, Village of Hunter, NY, Engineer/ Project Manager
- New Water System, Town of Ashland, NY, Engineer
- Water System Improvements, Windham, NY, Engineer
- Water System Improvements, Greenville, NY, Project Manager/ Engineer

**WASTEWATER:**

- Wastewater Extension and Plant Rehabilitation, Town of Greenville, NY, Engineer
- Wastewater District Formation and Construction, Catskill, NY, Lead Engineer/ Project Manager
- Wastewater System Improvements, Catskill, NY, Project Manager
- Wastewater Plant Evaluation and Modification, Village of Canajoharie, NY, Lead Engineer

**MUNICIPAL BUILDINGS:**

- Firehouse Addition, McKownville Fire Department, Guilderland, NY, Engineer
- New Municipal Complex, Town of Blenheim, NY, Engineer
- New Highway Garage/ Town Hall, Town of Fulton, NY, Engineer/ Designer

**SPECIAL PROJECTS:**

- Main Street Revitalization and Gateway Improvements, TEA-21 Grant Implementations, Village of Schoharie, NY

**PROFILE:**

Mr. Tavenner has over 30 years of experience in the planning, permitting and design of environmental projects including municipal water, sewer, drainage, and building projects. He is also highly experienced in investigation, feasibility studies, and design of remedial measures for polluted industrial sites.

**EDUCATION:**

MS-Civil Engineering, University of Missouri, Columbia (May 1985)

BS-Geological Engineering, University of Missouri, Rolla (May 1983)

**CERTIFICATIONS:**

Professional Engineer, New York State (License # 068083), March 1991

**EMPLOYMENT HISTORY:**

1998-present: Delaware Engineering,

1995 - 1998: RUST Environment & Infrastructure, Albany, New York

1989 - 1995: Dunn Geoscience Corporation, Albany, New York

1985 - 1989: U.S. Environmental Protection Agency, Superfund Branch, Dallas, Texas

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**MUNICIPAL BUILDINGS:**

- Town Hall Renovations and Highway Garage Construction, Fulton Municipal Complex, Schoharie County, New York, Structural Engineer
- West Fulton Fire House Upgrade and Redesign, Schoharie County, New York, Designer and Structural Engineer
- Wawarsing Highway Garage Upgrade, Ulster County, New York, Structural Engineer

**EDUCATIONAL INSTITUTIONS:**

- University Buildings and Dormitories, Froelich Engineers, Inc., Portland, Oregon, Project Manager/ Engineer
- University of Oregon Bean Hall Residence Hall Upgrades, Eugene, Oregon, Structural Engineer
- Reynolds High School Renovations and Upgrades, Troutdale, Oregon, Project Manager
- Design and Detail of building demolition and reconstruction, Carleton College, Northfield, Minnesota, Structural Analyst

**SPECIAL PROJECTS:**

- Lake Street Rehabilitation, Project Engineer, Village of Fleischmanns, Delaware County

**PROFILE:**

Mr. Herrmann is a project manager and professional structural engineer with expertise in the analysis, design and detailing of various types of gravity and lateral building systems utilizing wood, masonry, concrete and steel. He has broad experience in all phases of design and construction management of large scale commercial, industrial, institutional and residential projects. His work experience includes structural analysis and design, project management and collaboration across engineering disciplines, preparation of drawings and specifications, review of construction submittals, field inspections and communications with clients and contractors. He is experienced in advanced analysis including flexible, semi-rigid and rigid diaphragm analysis, drift and stiffness calculations, and dynamic and non-linear analysis. Mr. Herrmann is also proficient in the use of structural analysis software packages and is very familiar with applicable building codes and standards (ACI, AISC, NYSBC, IBC).

**EDUCATION:**

Master of Structural Engineering, Norwich University, 2015

BS, Civil Engineering, Rensselaer Polytechnic Institute, 2013

BS, Physics, State University of New York at Albany, 2011

American Concrete Institute

Rensselaer Polytechnic Institute, Senior Capstone Mentor

**CERTIFICATIONS AND TRAINING:**

Registered Professional Engineer in New York and Oregon

Registered Structural Engineer in Massachusetts and Nebraska

**PROFESSIONAL AFFILIATIONS:**

American Society of Civil Engineers

American Institute of Steel Construction

American Concrete Institute

Rensselaer Polytechnic Institute, Senior Capstone Mentor

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**PROJECT FINANCING EXPERIENCE:**

- Town of Guilderland/Town of Rotterdam Water Interconnection
- Town of East Greenbush WWTP Upgrade
- Village of Coxsackie Water and WWTP Upgrades
- Village of Millbrook Water and WWTP Upgrades
- Village of South Glens Falls Water and Wastewater Collection Upgrades
- Village of Mt. Kisco Water System Upgrades
- Village of Middleburg WWTP Upgrade
- Village of Sharon Spring Water and WWTP Upgrades
- Town of Germantown WWTP Upgrade
- Town of Greenville Wastewater System Upgrade
- Town of Cairo Water and WWTP Upgrades
- Town of Catskill Wastewater Collection System
- Town of Duanesburg SD #3
- Town of New Baltimore WWTP Upgrade

**GRANT AND TECHNICAL WRITING EXPERIENCE:**

- Town Comprehensive Plan Update, Town of Germantown, Germantown, NY, Grant/Technical Writer,
- NYSDOS Local Waterfront Revitalization Planning Grant, CFA 2015, Germantown, NY, Grant/Technical Writer
- OPRHP Environmental Protection Fund Municipal Grant, Catskill, NY, Grant/Technical Writer
- NYSEFC and NYSDOH CWSRF and DWSRF Funding Applications, Multiple Municipalities, Grant/Technical Writer
- USDA Grant Applications, Village of Liberty, NY, Grant/Technical Writer

**PROJECT EXPERIENCE:**

- NYS Office of the State Comptroller Approval, Multiple Municipalities, Engineer
- Mapping of Combined Sewer System, City of Hudson, NY, Engineer
- Hunter Corridor Regional Planning Study, Hunter, NY, Engineer
- Ashland CWC Stormwater Assessment, Ashland, NY, Engineer

**PREVIOUS EXPERIENCE:**

- Public Service of New Hampshire (PSNH), Manchester, NH, GIS Technician
  - QCQA Labs, Inc., Schenectady, NY, Technician
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**PROFILE:**

As part of the engineering group, Ms. Ostrander is responsible for assisting senior engineers and management in various companywide projects. She has contributed to water and wastewater projects through preparation of engineering reports permit applications and associated mapping services. She performs tasks related to NYSHPO approval, NYSEQR and USDA, NYSEFC, and NYSDOH Grant and Loan applications and administration.

**EDUCATION:**

BS, Environmental Engineering, Rensselaer Polytechnic Institute, 2009

MS, Geographic Information Systems, Johns Hopkins University, expected 2019

**CERTIFICATIONS AND TRAINING:**

4-hour NYS Erosion and Sediment Control Training

Nuclear Gauge Safety Training Program (Troxler)

Certified NYS HMA Density Testing Inspector

**PROFESSIONAL AFFILIATIONS:**

New York Water Environment Association – Capital Chapter Young Professional Chairperson

**City of Beacon Workshop Agenda**  
**11/13/2018**

**Title:**

**Conservation Easement Appraisal Proposal**

**Subject:**

**Background:**

**ATTACHMENTS:**

Description

Cons.Esmt App Prop

Type

Backup Material

**City of Beacon Workshop Agenda**  
**11/13/2018**

**Title:**

**Executive Session: Personnel**

**Subject:**

**Background:**

**ATTACHMENTS:**

Description	Type
Exec_pers_1113	Backup Material

**City of Beacon Workshop Agenda**  
**11/13/2018**

**Title:**

**Executive Session: Litigation**

**Subject:**

**Background:**

**ATTACHMENTS:**

Description  
Ltr

Type  
Cover Memo/Letter

**City of Beacon Workshop Agenda**  
**11/13/2018**

**Title:**

**Executive Session: Real Estate**

**Subject:**

**Background:**

**ATTACHMENTS:**

Description	Type
exec_real estate_1113	Backup Material