



CITY OF BEACON, NEW YORK
ONE MUNICIPAL PLAZA
BEACON, NY 12508

Mayor Randy Casale
Councilmember Lee Kyriacou, At Large
Councilmember George Mansfield, At Large
Councilmember Terry Nelson, Ward 1
Councilmember John E. Rembert, Ward 2
Councilmember Jodi M. McCrede, Ward 3
Councilmember Amber J. Grant, Ward 4
City Administrator Anthony Ruggiero

City Council Workshop Agenda
October 9, 2018
7:00 PM

Workshop Agenda Items:

1. Budget
2. Base proportions
3. HIP Lofts SUP
4. Linkage District local law
5. Public Notice Signs
6. Sign Ordinance
7. 123 Rombout stormwater agreement
8. Central Hudson easement agreement
9. Sexual Harassment Law
10. Fairview tank replacement award
11. Removal and disposal of sludge from a digester wastewater treatment plant contract award

Executive Session:

1. Executive Session: Litigation

City of Beacon Workshop Agenda
10/9/2018

Title:

Budget

Subject:

Background:

ATTACHMENTS:

Description	Type
Budget Presentation	Backup Material
Budget_updated page 1	Backup Material

CITY OF BEACON

2019

BUDGET



CITY OF BEACON

2019 BUDGET

INDEX

Page #'s

MAYOR'S MESSAGE
ADMINISTRATOR'S MESSAGE
BUDGET SUMMARY

1

Fund Department Codes

General Expenses

CITY COUNCIL	1010	2
MAYOR	1210	2
ADMINISTRATOR	1230	3
FINANCE	1325	4
ASSESSMENT	1355	4
TAX ADVERTISING & EXPENSE	1362	5
PROPERTY ACQUIRED	1364	5
FISCAL AGENT FEES	1380	5
CITY CLERK	1410	6
LAW	1420	7
ENGINEERS	1440	7
PUBLIC BUILDINGS	1620	8
CENTRAL COMMUNICATION SYSTEM	1650	9
CENTRAL PRINTING	1670	9
TECHNOLOGY	1680	9
INSURANCE	1910	9
MUNICIPAL ASSOCIATION DUES	1920	9
GENERAL ADMINISTRATION	1980	10
CONTINGENCY	1990	10
POLICE	3120	11-12
DETECTIVES	3130	13
FIRE	3410	14
ANIMAL CONTROL	3510	15
BUILDING DEPARTMENT	3620	15
HIGHWAY	5110	16-17
SNOW	5142	18
STREET LIGHTS	5182	18
BUS OPERATIONS	5630	18
TOURISM	6475	18
PARK	7110	19
SETTLEMENT CAMP PROPERTY	7112	20
RECREATION	7140	20-21
SWIMMING POOL FACILITY	7141	22
GREENWAY & HERITAGE TRAIL	7197	22
ADULT RECREATION	7620	22

ZONING	8010	23
PLANNING	8020	23
SANITATION	8160	24
STREET CLEANING	8170	24
RECYCLING	8189	24
RETIREMENT	9010	25
WORKERS COMPENSATION	9040	25
UNEMPLOYMENT INSURANCE	9050	25
DISABILITY INSURANCE	9055	25
HEALTH INSURANCE	9060	25
SERIAL BONDS	9710	26
BOND ANTICIPATION NOTES	9730	26
INTERFUND TRANSFERS	9950	26

General Revenues

FINANCE	1325	27-28
CITY CLERK	1410	28
PUBLIC BUILDINGS	1620	28
POLICE	3120	29
DETECTIVES	3130	29
FIRE	3410	30
ANIMAL CONTROL	3510	30
BUILDING	3620	30
HIGHWAY	5110	31
PARK	7110	31
UNIVERSITY SETTLEMENT CAMP	7112	31
RECREATION	7140	32
SWIMMING POOL FACILITY	7141	32
GREENWAY HERITAGE TRAIL	7107	32
ADULT RECREATION	7620	33
FARMERS MARKET	7989	33
ZONING	8010	33
PLANNING	8020	33
SANITATION	8160	33
RECYCLING	8189	34
INTERFUND TRANSFERS	9950	34

Water Expenses

FISCAL AGENT FEES	1380	35
LEGAL EXPENSES	1420	35
TECHNOLOGY	1680	35
TAXES ON CITY PROPERTY	1950	35
MTA PAYROLL TAX	1980	35
CONTINGENCY	1990	35
WATER ADMINISTRATION	8310	36
WATER SUPPLY	8320	36
WATER PURIFICATION	8330	37
WATER DISTRIBUTION	8340	38-39

RETIREMENT	9010	39
WORKERS COMPENSATION	9040	39
DISABILITY	9050	39
HEALTH INSURANCE	9060	39
SERIAL BONDS	9710	40
BOND ANTICIPATION NOTES	9730	40
INERFUND TRANSFERS	9950	40
Water Revenues		
WATER ADMINISTRATION	8310	41
Sewer Expenses		
FISCAL AGENT FEES	1380	42
LEGAL EXPENSES	1420	42
TECHNOLOGY	1680	42
MTA PAYROLL TAX	1980	42
CONTINGENCY	1990	42
SEWER ADMINISTRATION	8110	42
SANITARY SEWER	8120	43
WATER POLLUTION CONTROL	8130	43-44
RETIREMENT	9010	45
WORKERS COMPENSATION	9040	45
DISABILITY	9055	45
HEALTH INSURANCE	9060	45
SERIAL BONDS	9710	45
BOND ANTICIPATION NOTES	9730	46
INTERFUND TRANSFERS	9950	46
Sewer Revenues		
SEWER ADMINISTRATION	8110	47
WATER POLLUTION CONTROL	8130	47
INERFUND TRANSFERS	9950	47
Analysis, Graphs & Supplemental Information		
TAX CAP CALCULATION		
HOMESTEAD ASSESSED VALUES		
NON HOMESTEAD ASSESSED VALUES		
TAX LEVY HISTORY		
BUDGETED REVENUE vs. EXPENSE HISTORY (GENERAL FUND)		
BUDGETED vs. ACTUAL EXPENSES (GENERAL FUND)		
BUDGETED vs. ACTUAL REVENUES (GENERAL FUND)		
HISTORY OF TAX RATES		
NUMBER OF EMPLOYEES BY DEPARTMENT		
EXPENSE EXPLANATIONS		
REVENUE EXPLANATIONS		

Randy Casale, Mayor
City of Beacon
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Beacon, New York 12508
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www.cityofbeacon.org

October 1, 2018

Before I introduce my 2019 Budget, I would like to thank the City Administrator, Anthony Ruggiero; our Finance Director, Susan Tucker and all our Department Heads for the work they have done on this budget.

This is the 5th year in a row that we have received a “no designation” classification from the NYS Comptroller’s Office with a score of 5. We have an Aa2 Moody’s bond rating. This shows our tax dollars are being managed thoughtfully and responsibly.

This is the 6th straight year we were able to stay under the 2% tax cap while continuing to provide the services that keep our city safe, invest in our infrastructure and improve the quality of life for our citizens.

In this year’s budget our homestead tax rate shows a decrease of 1.6518% and the non-homestead rate dropped 1.8073%.

Our water rates will show a 5% increase and sewer rates a 10% increase. These increases will allow us to continue to make up-grades to both facilities and our aging infrastructure.

I will look forward to working together with the City Council as we discuss the finer points and details of the 2019 Budget at our upcoming workshops. Workshops will be held on October 9th, October 29th and November 13th at 7:00 p.m. with department heads present. The public hearing is scheduled for December 3 at 7:00 p.m.



CITY OF BEACON New York

Office of the City Administrator

Anthony J. Ruggiero, M.P.A.
City Administrator

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www.cityofbeacon.org

October 1, 2018

The Honorable Randy Casale

One Municipal Plaza

Beacon, New York 12508

Re: 2019 Budget Message

Dear Mayor Casale

First and foremost, I want to thank you and the City Council for giving me an opportunity to continue to serve as the City's Chief Administrative officer and contribute to the City of Beacon. It is my pleasure to present to you for your consideration, the proposed City Operating Budget for Fiscal Year 2019.

As you are aware, the tax cap law established a limit on growth of the annual property taxes levied to two percent or the rate of inflation, whichever is less. As you may recall, last year the tax cap was actually 1.84%, however this year it is 2%. There are very limited adjustments that are factored in and only PILOT payments apply to the budget this year. As stated above, the cap is on the tax levy, not the tax rate.

In our case, the allowable levy at cap is \$10,964,181 for the 2019 budget, which is an allowable increase over 2018 budget of \$370,990. This equates to a homestead tax rate decrease of -1.6518% and a non-homestead tax rate decrease of -1.8073%. The tax cap legislation provides for an override of the tax cap with a majority plus one vote in favor of it by the governing body. This is not being recommended.

This year the homestead assessed value increased by 3.47% or \$30,859,063 million. The non-homestead assessed value has also increased over last year by 9.65% or \$23,815,921. This year represents the fifth year since 2009 that the overall assessed values increased, and did so by \$54,674,984 million. Homestead values remain more than \$102 million less than it was in 2009. The non-homestead assessed value has fluctuated through the years, and while it increased approximately \$23,815,921 million this year, it is only the 2nd year in a row that it has been more than in 2009.

This budget utilizes a fund balance amount of \$325,766. This is an increase of \$153,182 from what we've utilized in the FY 2018 Budget. Each year with the improving economy and new developments on the tax rolls, the budget and assessments continue to strengthen. I continue to recommend that the City does not rely on a fund balance appropriation to fund operational expenses. The more fiscally prudent action is to utilize fund balance to offset capital costs and one-time unexpected costs and not use it to balance the budget. The future non-reliance on fund balance appropriations to balance the annual operating budget will help to provide for a more reliable and sustainable fiscal condition and to better allow the City to adjust during difficult fiscal times.

Significant factors affecting the proposed FY 2019 budget include the following:

- an 9% increase from 2018 of \$29,596 in the Dutchess County Self Insured Workers Compensation Plan;
- general fund health insurance increased significantly, \$354,155 and represents 15% of all expenses in the general fund;
- an increase in general fund long-term debt of \$958,159 and a decrease in short-term debt of \$729,796 which is a net increase of \$238,363. Debt service comprises almost 14% of the general fund budget;
- every week recycling is again included in the Recycling Hauling line (8160) \$238,00. This is significantly impacted by the collapse of the recycling industry. The City went from receiving a revenue of fifteen (15) dollars a ton to an expenditure of sixty-one (61) dollars a ton. This combined with the increases in garbage contracts amounted to \$99,698 increase in the general fund expense budget.

The proposed FY 2019 budget includes the following new or changed positions, changes in service delivery and reorganizations:

- the budget reflects the increase of one full time Building Inspector in the Building Department budget (3620), the number of Building Department Staff remains the same. This position was previously funded in the Fire Department budget (3410) as a combined position;
- the budget reflects keeping the Fire Department budget (3410) at thirteen (13) firefighters and one Fire Chief.
- The budget reflects the inclusion of one part time person in the Recycling budget (8189) and moving one full time person from Recycle (8189) to Highway (5110).

The proposed FY 2019 budget also includes the following:

- a \$2,222 or 0.46% decrease in pension costs for non-police and fire (ERS) and a \$34,327 or 3.59% decrease in pension costs for police and fire (PFRS);
- a 10% increase in the sewer rates and a 5% increase in the water rates. The rate increases are reflective of the continued improvements to the water and sewer infrastructure. The Sewer Consolidation Study and survey of surrounding communities shows that the City of Beacon continues to have the lowest sewer rates of the communities. In addition, the City of Beacon Comprehensive Water Supply Plan outlined a number of improvements to the City's infrastructure and system;
- a continued reduction of \$27,700 (33%) in the Street Lights Line (5182) from \$82,700 in the FY 2018 Budget to \$55,000 in the requested FY 2019 Budget. It was \$318,000 in the FY 2016 Budget;
- with the redevelopment of the City's Landfill with a solar farm constructed by BQ Energy, the City is estimating to save over \$100,000 a year in energy costs on our Central Hudson billing;
- overall, gas and diesel usage estimates are down but the City bases its estimates on the U.S. Energy Administration outlook which anticipates an increase, and for the FY 2019 budget we estimated \$2.81 for gas and \$3.18 for diesel.

As compared to the 2018 FY budget, total general fund expenditures are up \$552,155, water fund expenditures are up \$313,147 and sewer fund expenditures are down \$78,362. The resultant rate increase to support sewer operations is 10% and a 5% increase in water operations; which allows the City to continue to invest in its infrastructure. Revenues in the general fund have increased by \$27,963, with revenues for the water fund up \$298,567 and revenues for the sewer fund are up \$78,362. The water fund budget shows an appropriation of fund balance in the amount of \$14,580.

On September 21, 2018, the City of Beacon was notified by the New York State Comptroller's Office that the review of the Annual Update Document (AUD) FY 2017 for the City was completed and indicates that the City for a fourth year in a row is classified as "No Designation" with a score of 5%. The City has been classified as "No Designation" on the environmental scale with a score of 26.7%. Although environmental factors are outside a locality's control, they can provide some insight to the challenges facing a community. Moody's continues to classify the City with an outstanding bond rating of Aa2, one of the highest in New York State.

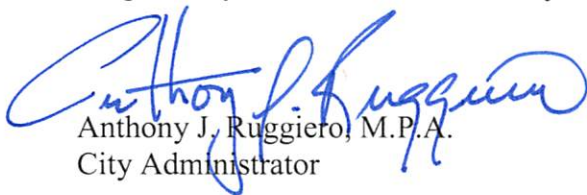
All Departments continue to do a fantastic job of holding down annual operating expenditures and have consistently maintained a close relationship between budgeted and actual expenditures and revenues. Despite changes made during each budget year, the City has been able to stay within the annual budget limits, while still providing for necessary operational improvements and sound fiscal planning and management. We have done this even against a 5.74% decline in total assessed values throughout the City since 2009 and a steady reduction on our reliance on one-time “fixes” to balance the budget, such as the use of fund balance.

I wish to extend my personal thanks to all of the Department Heads for their continued hard work in controlling spending during the year and specifically on bringing the FY 2019 Budget into balance. I also want to recognize the efforts of the Director of Finance, Susan Tucker, CPA for her talent and hard work in preparing the budget. The City is fortunate to have her knowledge and experience.

It is with great reluctance that I announce Timothy Dexter, Building Inspector, intention to retire. The City owes a great deal of gratitude to Tim for his dedication and hard work. Tim has served the City for over 36 years in many capacities, Firefighter, Building Inspector, Fire Lieutenant, Acting City Administrator, and mentor to many. I speak for all of us, in wishing him well and thanking him for his many years of service.

Most importantly, I would like to thank the entire City workforce, along with all City volunteers, for their efforts and dedication in carrying out their duties. I look forward to reviewing the proposed budget with you and the City Council during the next month. Thank you.

Respectfully submitted on this 1st day of October 2018.



Anthony J. Ruggiero, M.P.A.
City Administrator

**CITY OF BEACON
2019
TENTATIVE BUDGET SUMMARY**

ARTICLE NO. 362 BE IT ORDAINED BY THE COUNCIL OF THE CITY OF BEACON THAT THE FOLLOWING SUM COMPRISING THE ANNUAL APPROPRIATION ORDINANCE FOR THE YEAR 2019 BE AND THE SAME IS HEREBY APPROPRIATED TO MEET THE AMOUNT OF MONEY FOR THE YEAR 2019.

DATE:	October 1, 2018		5% increase	10% increase
		<u>GENERAL</u>	<u>WATER</u>	<u>SEWER</u>
APPROPRIATIONS		20,695,728	3,649,194	4,171,109
TOTAL REVENUE		9,405,781	3,634,614	4,171,109
BALANCE OF APPROPRIATIONS		11,289,947	14,580	-
ADDITIONAL FUNDING NEEDED (Part of tax levy)				
(Will be fund balance appropriation)				
Appropriated from Debt Reserve		(1,623)	(14,580)	
Appropriated from Fund Balance		(324,143)	-	-
Tax Levy:		10,964,181		
Allowable levy at tax cap	10,964,181			
EXCESS LEVY PER TAX CAP	-			
Adjusted Tax Levy Distribution		HOMESTEAD	NON-HOMESTEAD	TOTALS
		7,596,068	3,368,113	10,964,181
Base Proportion:		69.280760	30.719240	100.00
Rates:				
	2019 Tax Rates	8.247804	12.441765	
	2018 Tax Rates	8.386328	12.670766	
	Percentage Decrease	-1.6518%	-1.8073%	
Assessed Values:				
9/21/18 - TENTATIVE ROLL		920,980,615	270,710,226	1,191,690,841
12/12/17 - FINAL ROLL		890,121,552	246,894,305	1,137,015,857
	Percentage Increase/(Decrease)	3.47%	9.65%	4.81%
	Dollar change	30,859,063	23,815,921	54,674,984

2019 CITY OF BEACON BUDGET

GENERAL FUND EXPENSE (A)

			2016	2017	2017	2017	2018	2018	2018	2019	
			YTD	ADOPTED	REVISED	YTD	ADOPTED	REVISED	YTD	REQUESTED	
			ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	COMMENTS
			12/31/16		12/31/17	12/31/17		10/01/18	10/01/18		
1010 CITY COUNCIL											
A1010	101000	REGULAR SALARIES	54,298	54,000	54,000	54,000	54,000	54,000	39,462	54,000	
A1010	416000	MATERIALS & SUPPLIES	75	100	100	61	100	100	43	500	
A1010	444100	LICENSE & PERMITS	4,200	4,200	4,200	4,200	4,200	4,200	4,200	4,200	
A1010	452010	GRANT WRITING CONSULTANT	20,831	34,000	34,000	33,996	34,000	34,000	22,664	34,000	
A1010	455000	VIDEOGRAPHER	18,950	19,000	19,350	19,350	19,000	19,000	13,000	19,000	
A1010	820000	SOCIAL SECURITY	2,900	4,131	3,781	2,785	4,131	4,131	2,765	4,131	
TOTAL CITY COUNCIL			101,254	115,431	115,431	114,392	115,431	115,431	82,134	115,831	
1210 MAYOR											
A1210	101000	REGULAR SALARIES	25,137	25,000	27,421	27,421	25,000	25,000	18,269	25,000	
A1210	105000	OVERTIME	-	-	161	160	160	160	-	-	
A1210	105200	SICK LEAVE BONUS			600	600	600	300	-	-	
A1210	106000	CLERICAL SALARIES	35,991	38,000	34,979	33,774	41,969	41,103	28,041	43,018	
A1210	120000	HEALTH INSURANCE BUY-OUT						866	865	2,500	
A1210	190000	SEVERANCE/RETIREMENT	-	-	3,436	3,435			-	-	
A1210	220000	OFFICE EQUIPMENT	276	100	66	-	100	100	-	100	
A1210	416000	MATERIALS & SUPPLIES	722	500	569	569	500	500	452	500	
A1210	443200	TRAINING	102	250	162	129	250	250	45	250	
A1210	467000	ASSOCIATION DUES	-	425	425	410	425	425	300	425	
A1210	820000	SOCIAL SECURITY	4,555	4,820	4,873	4,873	5,181	5,181	3,570	5,203	
TOTAL MAYOR			66,783	69,095	72,692	71,371	74,185	73,885	51,542	76,996	

2019 CITY OF BEACON BUDGET

GENERAL FUND EXPENSE (A)

			2016	2017	2017	2017	2018	2018	2018	2019	
			YTD	ADOPTED	REVISED	YTD	ADOPTED	REVISED	YTD	REQUESTED	
			ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	COMMENTS
			12/31/16		12/31/17	12/31/17		10/01/18	10/01/18		
1230 ADMINISTRATOR											
A1230	101000	REGULAR SALARIES	128,541	130,688	130,690	130,689	133,956	133,956	97,891	137,305	
A1230	105200	SICK LEAVE BONUS	200	-	600	600	1,200	1,200	600	600	
A1230	106000	CLERICAL SALARIES	53,182	53,994	53,994	53,993	55,314	55,314	41,163	56,666	
A1230	250000	PURCHASE EQUIPMENT	36,707	1,000	1,000	333	500	500	-	500	
A1230	413000	GAS & DIESEL	-	800	770	25	400	400	60	200	
A1230	416000	MATERIALS & SUPPLIES	958	550	980	966	1,000	978	583	1,000	
A1230	443200	TRAINING	355	1,500	1,500	315	1,000	1,000	173	1,000	
A1230	447200	REPAIR OF EQUIPMENT	-	500	140	-	150	150	-	-	
A1230	452000	CONSULTANT				-	60,000	60,000	-	-	
A1230	462000	TRAVEL	98	1,500	1,093	-	1,000	749	3	500	
A1230	467000	ASSOCIATION DUES	1,400	1,400	1,440	1,440	1,850	2,123	2,122	2,000	
A1230	820000	SOCIAL SECURITY	13,251	14,128	13,732	13,732	14,571	14,571	10,333	14,885	
TOTAL ADMINISTRATOR			234,692	206,060	205,939	202,093	270,941	270,941	152,928	214,656	

2019 CITY OF BEACON BUDGET

GENERAL FUND EXPENSE (A)

			2016	2017	2017	2017	2018	2018	2018	2019	
			YTD	ADOPTED	REVISED	YTD	ADOPTED	REVISED	YTD	REQUESTED	
			ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	COMMENTS
			12/31/16		12/31/17	12/31/17		10/01/18	10/01/18		
1325 FINANCE											
A1325	101000	REGULAR SALARIES	274,647	281,692	281,743	281,743	289,050	289,050	204,257	289,507	
A1325	105000	OVERTIME	833	2,000	2,549	2,529	3,500	4,500	3,602	3,500	
A1325	105200	SICK LEAVE BONUS	400	1,200	600	600	1,200	1,200	1,200	1,800	
A1325	120000	HEALTH INSURANCE BUY-OUT	5,000	5,000	6,250	6,250	7,500	6,500	2,500	5,000	
A1325	250000	EQUIPMENT	530	500	950	950	750	750	1,980	750	
A1325	416000	MATERIALS & SUPPLIES	3,323	3,000	3,913	3,913	3,000	3,000	1,880	3,200	
A1325	440700	ANNUAL AUDIT	35,192	38,000	29,837	29,837	30,500	30,500	25,000	31,500	
A1325	440702	GASB 45 VALUATION	10,450	8,000	13,125	13,125	17,000	17,000	4,375	4,000	
A1325	441500	COMPUTER SUPPORT	38,498	40,393	41,193	41,192	43,283	43,283	-	44,472	
A1325	443200	TRAINING	165	2,000	2,118	1,270	2,000	2,000	(40)	2,000	
A1325	452002	FINANCIAL CONSULTANT	16,874	-	-	-	-	-		-	
A1325	462000	TRAVEL	-	300	287	22	300	300	215	300	
A1325	467000	ASSOCIATION DUES	292	600	600	-	600	600	170	500	
A1325	820000	SOCIAL SECURITY	20,650	22,177	21,697	21,696	23,046	23,046	15,783	22,935	
TOTAL FINANCE			406,854	404,862	404,862	403,127	421,729	421,729	260,922	409,464	
1355 ASSESSMENT											
A1355	105200	SICK LEAVE BONUS						300	300	300	
A1355	109100	PART TIME CLERICAL	14,902	14,763	15,981	15,981	16,231	16,231	12,759	18,007	
A1355	416000	MATERIALS & SUPPLIES	1,066	1,000	1,000	995	1,100	1,100	1,071	1,100	
A1355	450200	APPRAISERS	8,900	8,000	6,688	-	8,000	8,000	-	8,000	
A1355	452009	JOINT ASSESSOR AGREEMENT	45,628	46,997	46,997	46,782	48,185	48,185	23,978	49,404	
A1355	820000	SOCIAL SECURITY	1,109	1,129	1,223	1,222	1,242	1,242	999	1,378	
TOTAL ASSESSMENT			71,605	71,889	71,889	64,980	74,758	75,058	39,107	78,189	

2019 CITY OF BEACON BUDGET

GENERAL FUND EXPENSE (A)			2016	2017	2017	2017	2018	2018	2018	2019	
			YTD	ADOPTED	REVISED	YTD	ADOPTED	REVISED	YTD	REQUESTED	
			ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	COMMENTS
			12/31/16		12/31/17	12/31/17		10/01/18	10/01/18		
1362 TAX ADVERTISING & EXPENSE											
A1362	441500	COMPUTER SUPPORT/DATA PR	9,953	10,500	10,500	10,198	10,500	10,500	-	10,500	
TOTAL TAX ADVERTISING & EXPENSE			9,953	10,500	10,500	10,198	10,500	10,500	-	10,500	
1364 PROPERTY ACQUIRED											
A1364	468001	EXPENSE ON PROPERTY ACQU	316	2,000	2,000	-	1,500	7,000	6,576	4,000	
TOTAL PROPERTY ACQUIRED			316	2,000	2,000	-	1,500	7,000	6,576	4,000	
1380 FISCAL AGENT FEES											
A1380	461200	FISCAL AGENT FEE	28,807	22,000	25,447	25,447	25,000	66,113	66,113	25,000	
A1380	461202	ANNUAL FILING STATEMENT	2,500	2,500	2,500	2,500	2,500	2,500	2,500	2,500	
TOTAL FISCAL AGENT FEES			31,307	24,500	27,947	27,947	27,500	68,613	68,613	27,500	

2019 CITY OF BEACON BUDGET

GENERAL FUND EXPENSE (A)

			2016	2017	2017	2017	2018	2018	2018	2019	
			YTD	ADOPTED	REVISED	YTD	ADOPTED	REVISED	YTD	REQUESTED	
			ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	COMMENTS
			12/31/16		12/31/17	12/31/17		10/01/18	10/01/18		
1410 CITY CLERK											
A1410	101000	REGULAR SALARIES	60,270	61,214	61,464	61,463	62,725	74,078	46,302	83,579	
A1410	105000	OVERTIME	127	400	1,803	1,803	400	1,878	1,877	500	
A1410	120000	HEALTH INSURANCE BUY-OUT	2,500	2,500	2,500	2,500	2,500	2,500	1,250	2,500	
A1410	416000	MATERIALS & SUPPLIES	1,486	2,000	2,000	1,930	1,500	1,500	685	1,500	
A1410	440801	FILING FEE COUNTY CLERK	70	100	100	51	100	100	-	100	
A1410	441000	BOOK BINDING	-	1,000	2,585	2,577	1,000	1,000	597	3,000	
A1410	441400	CODIFICATION	5,966	8,000	11,970	10,629	8,500	8,500	3,786	10,000	
A1410	441500	SOFTWARE SUPPORT	5,202	5,202	5,202	5,112	14,231	14,231	4,862	12,322	
A1410	443200	TRAINING	-	1,000	1,000	-	-	-		-	
A1410	445100	MAINTENANCE OF EQUIPMENT	3,520	8,710	4,982	-	-	-		-	
A1410	447000	RENTAL OF EQUIPMENT	2,064	2,080	2,080	2,064	2,080	2,080	1,548	2,080	
A1410	451600	CHARTER REVISION	9,785	-	11,163	11,162				-	
A1410	462000	TRAVEL	-	100	-	-	-	-		-	
A1410	465000	POSTAGE	10,013	10,000	10,161	10,160	10,000	10,000	6,112	10,000	
A1410	467000	ASSOCIATION DUES	100	100	39	-	100	100	60	100	
A1410	470100	ADVERTISING	9,361	8,500	8,500	7,339	8,500	8,500	4,760	7,500	
A1410	820000	SOCIAL SECURITY	4,812	4,905	5,032	5,031	5,020	6,002	3,781	6,623	
TOTAL CITY CLERK			115,276	115,811	130,581	121,821	116,656	130,469	75,620	139,804	

2019 CITY OF BEACON BUDGET

GENERAL FUND EXPENSE (A)

			2016	2017	2017	2017	2018	2018	2018	2019	
			YTD	ADOPTED	REVISED	YTD	ADOPTED	REVISED	YTD	REQUESTED	
			ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	COMMENTS
			12/31/16		12/31/17	12/31/17		10/01/18	10/01/18		
1420 LAW											
A1420	450400	ATTORNEYS	100,404	100,000	112,290	112,289	100,000	100,000	64,780	100,000	
A1420	450433	TAX CERTIORARI MATTERS	26,987	27,500	14,674	14,540	12,000	12,000	12,119	12,000	
A1420	450436	IN REM	97,183	65,500	62,500	59,835	75,500	75,500	45,137	75,000	
A1420	450437	PROPERTY ASSESSMENT SETT	27,376	20,000	20,000	13,438	30,000	30,000	-	22,000	
A1420	450439	CSEA MATTERS	6,244	16,875	8,871	7,404	20,000	20,000	281	36,500	
A1420	450440	IAFF/FIRE MATTERS	45,834	5,000	8,269	8,269	20,000	20,000	6,300	12,000	
A1420	450442	PBA MATTERS	68,001	30,000	62,593	62,593	60,000	60,000	23,288	60,000	
A1420	450454	EMPLOYEE DISCIPLINE	9,859	-	103,046	103,046	30,000	30,000	6,019	20,000	
A1420	450461	TRAFFIC COURT	20,416	30,000	24,179	24,178	24,000	24,000	14,015	24,000	
A1420	450600	ARBITRATORS	550	3,000	-	-	3,000	6,363	6,363	3,000	
A1420	452000	CONSULTANT	29,673	-	-	-	-	-		-	
A1420	456500	CIVIL ACTION EXPENSE	-	10,000	-	-	10,000	6,637	-	10,000	
TOTAL LAW			432,527	307,875	416,422	405,592	384,500	384,500	178,302	374,500	
1440 ENGINEERING											
A1440	454000	ENGINEERS	42,336	38,000	38,000	32,080	38,000	38,000	9,689	32,000	
TOTAL ENGINEERING			42,336	38,000	38,000	32,080	38,000	38,000	9,689	32,000	

2019 CITY OF BEACON BUDGET

GENERAL FUND EXPENSE (A)

			2016	2017	2017	2017	2018	2018	2018	2019	
			YTD	ADOPTED	REVISED	YTD	ADOPTED	REVISED	YTD	REQUESTED	
			ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	COMMENTS
			12/31/16		12/31/17	12/31/17		10/01/18	10/01/18		
1620 PUBLIC BUILDINGS											
A1620	101000	REGULAR SALARIES	39,116	42,016	42,015	42,014	45,516	45,516	32,106	43,075	
A1620	105000	OVERTIME	606	450	561	561	1,000	1,000	178	600	
A1620	105200	SICK LEAVE BONUS	200	600	600	600	-	-			
A1620	119000	CLOTHING ALLOWANCE	250	550	550	550	600	600	300	650	
A1620	120000	HEALTH INSURANCE BUY-OUT								2,500	
A1620	250000	EQUIPMENT	-	-	21,878	21,878					
A1620	411000	CLEANING SUPPLIES	4,157	3,400	5,348	4,678	6,200	6,010	3,085	5,000	
A1620	412600	MUN.CENTER GAS/OIL FOR HEA	6,844	11,000	10,930	9,469	10,667	10,667	6,098	9,200	
A1620	412610	BEACON ENGINE GAS/OIL FOR H	4,943	7,600	13,100	12,641	10,000	10,000	2,600	7,500	
A1620	412620	TOMPKINS HOSE GAS/OIL FOR H	4,652	6,000	5,000	4,250	5,311	5,311	2,979	4,500	
A1620	412630	MASE HOOK & LADDER GAS/OIL	3,194	3,800	3,300	3,215	3,237	3,237	1,975	3,000	
A1620	412640	MEMORIAL BUILDING GAS/OIL F	4,634	5,800	4,453	3,740	4,302	4,302	3,468	5,200	
A1620	416000	MATERIALS & SUPPLIES	2,191	2,500	5,588	4,771	3,500	3,690	4,345	7,500	
A1620	417700	SANITARY AND PAPER SUPPLIE	3,850	3,200	4,236	3,383	3,800	3,800	2,096		
A1620	422000	MUNICIPAL CENTER ELECTRIC	45,316	44,097	42,850	41,708	47,840	47,840	28,396	45,435	
A1620	422005	WELCOME CENTER ELECTRIC	973	1,049	1,296	1,295	1,410	1,410	813	1,302	
A1620	422010	BEACON ENGINE ELECTRIC	5,261	4,943	4,215	4,214	4,843	4,843	3,430	5,489	
A1620	422020	TOMPKINS HOSE ELECTRIC	10,641	11,275	10,275	8,956	10,291	10,291	5,977	9,564	
A1620	422030	MASE HOOK & LADDER ELECTR	4,846	5,380	5,380	5,265	6,060	6,060	3,954	6,327	
A1620	422040	MEMORIAL BUILDING ELECTRIC	4,986	5,014	5,014	4,523	5,099	5,099	3,351	5,362	
A1620	422060	AREA LIGHTS ELECTRIC	2,631	2,848	2,848	2,536	3,177	3,177	812	1,300	
A1620	442000	EXTERMINATOR	875	1,500	1,685	1,685	1,500	1,500	731	1,700	
A1620	445100	MAINTENANCE OF EQUIPMENT	42,966	44,500	48,574	47,147	45,000	53,634	28,157	55,000	
A1620	446800	PARKING LOT REPAIRS	-	10,000	10,218	10,218	14,000	14,000	10,938	18,000	
A1620	447300	REPAIR OF REAL PROPERTY	11,157	13,675	8,100	6,661	12,500	7,423	2,442	8,000	
A1620	447301	REPAIR OF MUNICIPAL CENTER	13,055	15,000	13,088	12,739	15,000	11,292	4,453	22,000	
A1620	447302	REPAIR OF MEMORIAL BLDG RE	1,486	2,900	1,770	1,179	1,500	1,651	1,650	2,000	
A1620	447307	REPAIR REAL PROP - FIREHOUS	8,945	10,000	13,509	12,809	11,000	11,000	2,359	5,000	
A1620	820000	SOCIAL SECURITY	2,914	3,337	3,227	3,223	3,604	3,604	2,450	3,582	
TOTAL PUBLIC BUILDINGS			230,689	262,434	289,608	275,908	276,957	276,957	159,143	278,786	

2019 CITY OF BEACON BUDGET

GENERAL FUND EXPENSE (A)

			2016	2017	2017	2017	2018	2018	2018	2019	
			YTD	ADOPTED	REVISED	YTD	ADOPTED	REVISED	YTD	REQUESTED	
			ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	COMMENTS
			12/31/16		12/31/17	12/31/17		10/01/18	10/01/18		
1650 CENTRAL COMMUNICATION SYSTEMS											
A1650	250000	EQUIPMENT	43,143								
A1650	423000	TELEPHONES	28,708	15,624	23,124	22,991	18,000	18,000	12,929	23,635	
A1650	423001	CELL PHONES	11,328	12,348	12,348	11,666	13,704	13,704	9,190	15,624	
TOTAL CENTRAL COMMUNICATION SYSTEMS			83,179	27,972	35,472	34,657	31,704	31,704	22,119	39,259	
1670 CENTRAL PRINTING											
A1670	446000	PRINTING/COPIER LEASE (Down	4,247	4,500	4,500	4,006	3,000	3,000	1,501	3,000	
A1670	446002	PRINTING/COPIER LEASE (Upsta	8,319	7,830	7,830	7,034	8,000	8,000	3,147	4,400	
A1670	446003	PRINTING/COPIER LEASE (Police	7,115	8,800	8,800	7,627	8,000	8,000	5,085	8,000	
TOTAL CENTRAL PRINTING			19,681	21,130	21,130	18,667	19,000	19,000	9,733	15,400	
1680 TECHNOLOGY											
A1680	250000	PURCHASE EQUIPMENT	37,403	32,538	34,434	34,372	27,288	27,288	9,827	26,266	
A1680	410400	WEB SITE FEES	5,500	5,500	5,950	5,950	5,500	5,500	5,500	5,500	
A1680	444100	PROFESS. LICENSE/PERMITS	20,184	31,213	29,317	26,956	30,271	30,204	23,331	27,719	
A1680	452003	IT CONSULTANT	47,182	45,000	47,903	47,903	45,000	45,067	30,262	49,500	
TOTAL TECHNOLOGY			110,269	114,251	117,604	115,181	108,059	108,059	68,920	108,985	
1910 INSURANCE											
A1910	430000	INSURANCE PACKAGE POLICY	379,400	391,880	394,401	394,401	399,718	408,048	408,048	421,704	
A1910	432100	INSURANCE VOLUNTEER ACCID	9,286	9,500	9,500	9,393	9,500	9,500	-	9,500	
A1910	434000	INSURANCE DEDUCTIBLES	33,334	45,000	26,156	1,083	40,000	31,670	-	2,000	
TOTAL INSURANCE			422,020	446,380	430,057	404,877	449,218	449,218	408,048	433,204	
1920 MUNICIPAL ASSOCIATION DUES											
A1920	467000	ASSOCIATION DUES	3,250	3,370	3,370	2,290	2,800	2,800	570	1,000	
A1920	467100	ASSOCIATION DUES-NYCOM	5,491	5,491	5,491	5,491	5,491	5,491	5,491	5,491	
TOTAL MUNICIPAL DUES			8,741	8,861	8,861	7,781	8,291	8,291	6,061	6,491	

2019 CITY OF BEACON BUDGET

GENERAL FUND EXPENSE (A)			2016	2017	2017	2017	2018	2018	2018	2019	
			YTD	ADOPTED	REVISED	YTD	ADOPTED	REVISED	YTD	REQUESTED	
			ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	COMMENTS
			12/31/16		12/31/17	12/31/17		10/01/18	10/01/18		
1980 GENERAL ADMINISTRATION											
A1980	400099	MTA PAYROLL TAX	23,377	25,224	25,484	25,483	26,441	26,441	17,982	26,852	
TOTAL GENERAL ADMINISTRATION			23,377	25,224	25,484	25,483	26,441	26,441	17,982	26,852	
1990 CONTINGENCY											
A1990	400001	CONTINGENCY FUND	-	290,558	5,116	-	200,000	29,834	-	187,500	
A1990	400004	CONTINGENCY-RETIREMENT	-	206,000	-	-	244,000	136,576	-	244,616	
TOTAL CONTINGENCY			-	496,558	5,116	-	444,000	166,410	-	432,116	

2019 CITY OF BEACON BUDGET

GENERAL FUND EXPENSE (A)

			2016	2017	2017	2017	2018	2018	2018	2019	
			YTD	ADOPTED	REVISED	YTD	ADOPTED	REVISED	YTD	REQUESTED	
			ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	COMMENTS
			12/31/16		12/31/17	12/31/17		10/01/18	10/01/18		
3120 POLICE											
A3120	100200	POLICE CHIEF SALARY	125,248	122,729	120,607	118,098	125,798	125,798	100,616	146,577	
A3120	100300	POLICE CAPTAIN SALARY	112,472	110,342	112,464	112,464	113,101	113,101	72,168	122,461	
A3120	101000	REGULAR SALARIES	1,863,935	2,087,162	2,064,758	2,050,330	2,258,626	2,258,626	1,565,857	2,215,017	
A3120	101002	POLICE RETRO	38,955	-	-	-			-		
A3120	102000	CROSSING GUARD SALARIES	38,771	38,500	38,500	38,408	38,500	38,500	25,160	38,500	
A3120	105000	OVERTIME	478,935	450,000	449,901	433,260	450,000	450,000	287,034	475,000	
A3120	105001	OVERTIME-BUCKLE UP NY	2,617	-	-	-				4,125	
A3120	105004	OVERTIME-STOP DWI	9,113	10,000	10,000	2,039	1,000	2,301	2,301	1,500	
A3120	105005	OVERTIME-SCHOOL DISTRICT						5,074	5,074		
A3120	105008	OVERTIME-POLICE TRAFFIC SE	7,452	10,210	10,210	8,262	11,000	11,000	10,875	4,950	
A3120	105018	OT - EVENTS	6,689	7,000	14,099	14,098	7,000	10,831	10,831	8,000	
A3120	105200	SICK LEAVE BONUS	3,000	19,430	19,430	17,100	22,800	22,800	18,050	14,466	
A3120	105201	OUT OF TITLE	-	-	-	-	1,000	1,000	-	1,000	
A3120	105400	K-9 CARE	17,715	19,140	19,159	19,159	19,988	19,988	14,593	20,408	
A3120	105501	TRAINING STIPEND	22,752	23,106	23,550	23,549	23,683	23,683	2,277	-	
A3120	106000	CLERICAL SALARIES	73,785	75,190	75,190	75,013	76,988	76,988	49,767	52,397	
A3120	106001	POLICE ASSISTANT	24,538	27,280	26,443	17,916	29,659	29,659	21,247	32,292	
A3120	108001	HOLIDAY PAY	86,586	95,968	95,621	94,035	103,783	103,783	4,896	101,781	
A3120	119000	CLOTHING ALLOWANCE	20,250	20,800	21,500	21,500	21,500	21,500	21,750	21,500	
A3120	120000	HEALTH INSURANCE BUY	16,776	17,500	17,500	16,740	20,000	20,000	1,250	15,000	
A3120	190000	SEVERANCE/RETIREMENT PAY	90,129	-	22,078	22,077		9,908	9,907		
A3120	220001	COMPUTER EQUIPMENT	9,960	20,202	20,066	19,578	20,347	19,391	13,673	28,743	
A3120	250000	EQUIPMENT	112,390	57,614	59,638	59,628	63,014	67,529	58,192	12,442	
A3120	250040	EQUIPMENT - HOMELAND SECUR	1,245	-	-	-					
A3120	250090	EQUIPMENT - BYRNE/JAG	9,900	10,000	11,007	10,758	10,000	10,000	-		
A3120	251200	BODY ARMOR	1,514	14,520	18,979	18,116	8,100	8,100	-	8,600	
A3120	412400	FIREARMS	29,267	30,000	31,028	29,457	30,000	29,325	20,244	30,000	
A3120	412401	LESS LETHAL					7,600	8,275	8,275	7,521	
A3120	413000	GAS & DIESEL	26,990	40,372	39,681	28,700	39,857	39,854	16,500	44,936	
A3120	416000	MATERIALS & SUPPLIES	14,183	13,000	12,283	11,595	13,000	13,549	11,642	14,849	

2019 CITY OF BEACON BUDGET

GENERAL FUND EXPENSE (A)

			2016	2017	2017	2017	2018	2018	2018	2019	
			YTD	ADOPTED	REVISED	YTD	ADOPTED	REVISED	YTD	REQUESTED	
			ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	COMMENTS
			12/31/16		12/31/17	12/31/17		10/01/18	10/01/18		
A3120	416700	DOG FOOD & SUPPLIES	2,649	1,000	1,691	1,690	1,000	2,000	483	1,600	
A3120	416800	TICKETS	29,829	38,000	38,717	38,717	40,000	40,000	29,177	40,000	
A3120	417501	CHILD SAFETY PROGRAM-GRAN	10,289	600	600	460	2,950	2,950	1,927	2,500	
A3120	418900	TRAFFIC LIGHTS	25,368	17,000	19,972	15,921	15,000	15,000	9,971	15,000	
A3120	419000	CLOTHING REPAIRS	63	250	250	110	250	250	60	250	
A3120	422015	CAMERA ELECTRIC	486	460	460	405	1,000	1,000	380	608	
A3120	440200	AUTO BODY REPAIRS	7,170	6,000	2,656	1,385	6,000	3,000	-	6,000	
A3120	443200	TRAINING	17,581	15,400	16,627	16,322	17,500	17,500	15,078	10,000	
A3120	443203	CANDIDATE EVALUATION	1,691	3,000	1,181	1,181	3,000	12,000	5,750	4,800	
A3120	445100	MAINTENANCE OF EQUIPMENT	28,137	36,695	32,555	31,960	28,050	28,346	28,346	42,913	
A3120	447000	RENTAL OF EQUIPMENT	36,254	41,284	33,974	33,974	43,584	41,584	25,161	31,016	
A3120	447200	REPAIR OF EQUIPMENT	25,247	30,000	25,741	22,817	26,000	25,990	11,855	26,000	
A3120	453000	MEDICAL EMERGENCY SERVICE	220	300	300	205	300	300	125	400	
A3120	459300	VETERINARY SERVICES	1,789	1,500	13,608	13,607	2,300	4,300	2,338	3,100	
A3120	462000	TRAVEL	552	500	500	477	500	500	234	500	
A3120	464000	MEALS, LAUNDRY	672	1,000	1,000	793	1,000	1,000	322	1,000	
A3120	467000	ASSOCIATION DUES	2,840	2,980	2,980	2,045	2,980	2,990	2,990	3,500	
A3120	810000	RETIREMENT	713,810	748,578	748,578	711,938	699,750	699,750	-	674,010	
A3120	820000	SOCIAL SECURITY	216,154	238,440	238,440	225,071	252,789	252,789	165,181	249,388	
TOTAL POLICE			4,365,968	4,503,052	4,513,522	4,380,958	4,660,297	4,691,812	2,651,557	4,534,650	

2019 CITY OF BEACON BUDGET

GENERAL FUND EXPENSE (A)

			2016	2017	2017	2017	2018	2018	2018	2019	
			YTD	ADOPTED	REVISED	YTD	ADOPTED	REVISED	YTD	REQUESTED	
			ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	COMMENTS
			12/31/16		12/31/17	12/31/17		10/01/18	10/01/18		
3130 DETECTIVES											
A3130	101000	REGULAR SALARIES	436,665	453,590	463,210	463,209	465,265	465,265	330,915	470,341	
A3130	101002	DET RETRO	7,175	-	-						
A3130	105000	OVERTIME	68,162	70,000	60,380	46,134	70,000	70,000	28,707	70,000	
A3130	105017	OT-IMPACT	1,690	-	-						
A3130	105200	SICK LEAVE BONUS	400	2,000	2,000	1,500	3,250	3,250	2,750	5,500	
A3130	105202	ON-CALL STIPEND	5,457	10,400	7,650	6,000	10,400	10,400	6,943	10,400	
A3130	106000	CLERICAL SALARIES	24,845	25,230	25,230	25,229	25,830	25,830	12,382	48,689	
A3130	108001	HOLIDAY PAY	20,413	20,935	21,282	21,281	21,474	21,474	-	21,708	
A3130	119000	CLOTHING ALLOWANCE	3,500	3,500	3,750	3,750	3,500	3,500	3,400	3,500	
A3130	120000	HEALTH INSURANCE BUY	5,000	2,500	5,000	5,000	5,000	5,000	-	5,000	
A3130	190000	SEVERANCE/RETIREMENT PAY	-	-	-				-		
A3130	250000	EQUIPMENT	-	-	-		2,445	2,445	-	7,765	
A3130	416000	MATERIALS & SUPPLIES	1,173	1,000	1,000	925	1,000	1,000	380	2,500	
A3130	416500	PHOTO SUPPLIES	746	900	932	619	900	900	522	900	
A3130	462002	PRISONER TRANSPORT	657	600	600	420	600	600	225	1,500	
A3130	468200	TOWING/IMPOUNDS	-	400	368	100	400	3,900	3,900	500	
A3130	820000	SOCIAL SECURITY	38,505	44,803	44,803	39,635	45,879	45,879	23,801	48,206	
TOTAL DETECTIVES			614,388	635,858	636,205	613,802	655,943	659,443	413,925	696,509	

2019 CITY OF BEACON BUDGET

GENERAL FUND EXPENSE (A)

			2016	2017	2017	2017	2018	2018	2018	2019	
			YTD	ADOPTED	REVISED	YTD	ADOPTED	REVISED	YTD	REQUESTED	
			ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	COMMENTS
			12/31/16		12/31/17	12/31/17		10/01/18	10/01/18		
3410 FIRE											
A3410	100200	FIRE CHIEF	89,597	91,090	91,090	91,089	93,366	93,366	68,229	95,700	
A3410	101000	REGULAR SALARIES	797,929	795,472	889,375	886,293	864,684	864,684	632,540	830,577	
A3410	101002	RETRO PAY	126,548	-	-	-					
A3410	103600	CAREER TRAINING OFFICER	8,546	8,500	8,500	8,500	8,500	8,500	6,211	8,500	
A3410	103700	TRAINING CERTIFICATION	24,000	24,000	26,000	26,000	24,000	24,000	24,000	26,000	
A3410	105101	OVERTIME	182,237	200,000	215,457	215,456	212,000	210,997	166,560	171,000	
A3410	105200	SICK LEAVE BONUS	1,500	1,250	2,100	2,100	2,100	2,100	1,850	2,750	
A3410	105203	SICK LEAVE SELLBACK	-	-	-	-	-	1,003	1,003	-	
A3410	119000	CLOTHING ALLOWANCE	7,800	7,800	7,800	7,800	7,800	7,800	7,500	8,400	
A3410	120000	HEALTH INSURANCE BUY-OUT	7,500	5,000	5,000	5,000	5,000	5,000	-	5,000	
A3410	190000	SEVERANCE/RETIREM. PAY	-	-	34,940	34,939		25,034	25,034	-	
A3410	250000	EQUIPMENT	69,818	40,542	85,830	76,913	42,000	42,000	25,301	36,426	
A3410	250013	EQUIPMENT FOR TRAINING	856	1,000	1,000	923	1,000	1,000	882	1,000	
A3410	250028	CONFINED SPACE EQUIPMENT	2,389	2,500	2,500	2,345	2,500	2,500	1,731	2,500	
A3410	413000	GAS & DIESEL	10,960	19,163	19,163	15,055	19,089	19,089	8,603	21,846	
A3410	416000	MATERIALS & SUPPLIES	7,369	8,500	8,500	7,877	8,500	8,500	5,376	8,500	
A3410	432201	VOLUNTEER SERVICE AWARD P	60,169	66,542	67,083	67,083	67,222	67,222	66,477	62,210	
A3410	441500	COMPUTER SUPPORT/DATA	2,725	2,800	2,800	2,619	2,800	2,800	2,665	2,800	
A3410	443200	RECRUIT & OFFICER TRAINING	5,651	10,000	10,000	7,290	10,000	10,000	9,918	10,000	
A3410	447200	REPAIR OF EQUIPMENT	46,484	65,000	65,000	50,241	50,000	50,000	36,539	40,000	
A3410	453700	EMPLOYEE PHYSICALS	5,487	6,000	6,000	3,026	6,000	6,000	3,468	6,000	
A3410	461900	FIRE PREVENTION	2,451	2,000	2,000	1,949	2,000	2,000	1,387	2,000	
A3410	462000	TRAVEL	148	2,000	2,000	1,017	2,000	2,000	1,603	2,000	
A3410	467000	ASSOCIATION DUES	634	534	534	150	534	534	509	534	
A3410	810000	RETIREMENT	215,648	222,695	222,695	248,013	256,429	256,429	-	247,842	
A3410	820000	SOCIAL SECURITY	92,870	86,683	97,940	94,871	93,135	93,135	69,654	87,816	
TOTAL FIRE			1,769,316	1,669,071	1,873,307	1,856,549	1,780,659	1,805,693	1,167,040	1,679,401	

2019 CITY OF BEACON BUDGET

GENERAL FUND EXPENSE (A)

			2016	2017	2017	2017	2018	2018	2018	2019	
			YTD	ADOPTED	REVISED	YTD	ADOPTED	REVISED	YTD	REQUESTED	
			ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	COMMENTS
			12/31/16		12/31/17	12/31/17		10/01/18	10/01/18		
3510 ANIMAL CONTROL											
A3510	103101	ANIMAL WARDEN	1,040	2,500	2,500	1,565	2,500	2,500	330	1,800	
A3510	413000	GAS & DIESEL	-	118	118	-	100	100	-	100	
A3510	416000	MATERIALS & SUPPLIES	136	75	75	-	1,280	1,280	325	100	
A3510	443200	TRAINING	50	50	50	50	350	350	-	-	
A3510	445100	MAINTENANCE OF EQUIPMENT	-	1,000	750	125	50	-	-	200	
A3510	447200	REPAIR OF EQUIPMENT	-	-	250	-	-	250	-		
A3510	459300	VETERINARY SERVICES	-				500	500	-	500	
A3510	459301	DOG HOUSING	2,400	6,000	6,000	3,200	5,000	5,000	315	4,000	
A3510	462000	TRAVEL	155	200	200	-	100	100	-		
A3510	820000	SOCIAL SECURITY	80	191	191	120	191	191	25	138	
TOTAL ANIMAL CONTROL			3,861	10,134	10,134	5,060	10,071	10,271	995	6,838	
3620 BUILDING DEPARTMENT											
A3620	101000	REGULAR SALARIES	180,255	183,407	183,411	183,357	188,016	188,016	137,368	277,763	
A3620	105000	OVERTIME	2,471	2,000	1,996	1,336	2,500	2,500	122	2,000	
A3620	105200	SICK LEAVE BONUS	-	1,200	1,200	1,200	1,200	1,200	1,200	1,200	
A3620	120000	HEALTH INSURANCE BUY-OUT	2,500	2,500	2,500	2,500	2,500	2,500	1,250	2,500	
A3620	250000	EQUIPMENT	482	-	28,309	28,308	2,000	2,000	-	500	
A3620	411900	EDUCATIONAL SUPPLIES	2,746	2,000	2,000	1,520	2,000	2,000	1,656	2,000	
A3620	413000	GAS & DIESEL	1,325	1,968	1,968	1,670	2,026	2,026	730	2,351	
A3620	416000	MATERIALS & SUPPLIES	3,023	2,500	2,855	2,019	2,500	2,500	780	2,500	
A3620	441500	COMPUTER SUPPORT/DATA	900	3,100	3,100	900	2,300	2,300	900	2,000	
A3620	442400	EMERGENCY SECURE BUILDING	3,246	2,000	2,000	-	2,000	2,000	-	2,000	
A3620	443200	TRAINING	1,386	2,000	2,000	1,492	2,000	2,000	1,335	2,000	
A3620	447200	REPAIR OF EQUIPMENT	366	1,000	1,000	433	1,000	1,000	23	700	
A3620	820000	SOCIAL SECURITY	13,608	14,467	14,467	13,812	14,858	14,858	10,228	21,685	
TOTAL BUILDING DEPT			212,308	218,142	246,806	238,547	224,900	224,900	155,592	319,199	

2019 CITY OF BEACON BUDGET

GENERAL FUND EXPENSE (A)

			2016	2017	2017	2017	2018	2018	2018	2019	
			YTD	ADOPTED	REVISED	YTD	ADOPTED	REVISED	YTD	REQUESTED	
			ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	COMMENTS
			12/31/16		12/31/17	12/31/17		10/01/18	10/01/18		
5110 HIGHWAY											
A5110	100401	SUPERINTENDENT SALARY	104,148	101,000	97,324	96,008	86,986	86,986	60,450	89,160	
A5110	101000	REGULAR SALARIES	852,181	869,502	859,040	833,489	877,816	877,816	626,460	985,375	
A5110	103100	TEMPORARY POSITION	24,127	28,000	28,676	28,675	28,000	28,000	27,531	28,000	
A5110	105000	OVERTIME	28,641	20,900	33,244	31,040	25,000	25,000	25,539	32,000	
A5110	105200	SICK LEAVE BONUS	600	3,000	3,000	3,000	4,800	4,800	4,200	2,400	
A5110	112500	MEALS	1,007	600	1,020	588	800	800	315	1,000	
A5110	119000	CLOTHING ALLOWANCE	6,000	6,600	6,600	5,825	7,800	7,800	7,350	9,425	
A5110	120000	HEALTH INSURANCE BUY-OUT	3,750	2,500	6,058	6,058	7,500	7,500	4,423	10,000	
A5110	190000	SEVERANCE/RETIREMNT PAY	4,681	-	159,320	159,319		67,332	67,331		
A5110	250000	EQUIPMENT	9,735	4,000	6,422	6,421	6,000	6,000	1,322	1,500	
A5110	410100	ANTI-FREEZE	150	1,000	425	-	500	500	-	500	
A5110	411200	CONCRETE	1,097	17,000	8,937	8,937	2,000	2,000	-	2,000	
A5110	411300	BLACKTOP	20,370	25,000	17,630	10,672	25,000	25,000	11,644	25,000	
A5110	411400	CEMENT	463	1,000	300	256	500	983	981	1,200	
A5110	412300	FENCE	-	500	545	545	500	500	-	500	
A5110	412660	HIGHWAY GAS FOR HEAT	9,191	15,700	17,300	16,600	18,556	18,556	6,821	11,700	
A5110	412801	FLAGS	1,494	1,500	1,500	1,498	1,500	1,500	1,498	1,600	
A5110	412802	FLOWERS	2,000	2,000	2,231	2,224	2,200	2,200	2,200	2,400	
A5110	413000	GAS & DIESEL	30,487	52,417	49,417	42,570	56,667	56,667	31,161	58,845	
A5110	413001	BVAC GAS	9,331	15,109	15,109	8,876	12,866	12,866	3,750	12,073	
A5110	413002	VEHICLE OIL	5,438	6,000	6,344	6,343	5,600	4,830	4,504	6,000	
A5110	413200	GRATES	1,305	2,000	1,000	912	6,675	6,513	-	2,000	
A5110	413500	GREASE & LUBES	620	650	701	701	650	2,351	526	650	
A5110	415400	TOOLS	1,702	3,650	2,460	1,928	3,000	3,000	1,367	3,000	
A5110	416000	MATERIALS & SUPPLIES	23,462	19,700	24,022	22,886	19,000	18,757	12,129	19,000	
A5110	416300	PAINTS	735	700	700	675	1,000	1,000	344	1,000	
A5110	416400	PIPE	1,397	2,000	2,000	2,000	2,000	2,000	285	2,000	
A5110	417000	RADIO SUPPLIES	786	1,000	1,799	1,798	800	800	-	2,000	
A5110	417100	ROAD MARKINGS	22,803	22,550	17,520	15,900	23,000	23,000	-	25,000	
A5110	417500	SAFETY SUPPLIES	1,227	2,000	3,785	3,784	2,000	2,000	314	2,000	

2019 CITY OF BEACON BUDGET

GENERAL FUND EXPENSE (A)

			2016	2017	2017	2017	2018	2018	2018	2019	
			YTD	ADOPTED	REVISED	YTD	ADOPTED	REVISED	YTD	REQUESTED	
			ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	COMMENTS
			12/31/16		12/31/17	12/31/17		10/01/18	10/01/18		
A5110	417900	SIGNS & POSTS	10,021	7,500	8,985	8,854	10,000	26,058	19,120	4,000	
A5110	418200	STONE	4,444	5,000	112	-	5,000	5,000	-	5,000	
A5110	418600	TUBES & TIRES	2,309	8,000	12,330	10,184	10,010	11,323	8,124	10,000	
A5110	418800	TAR	29,867	31,000	29,550	29,550	31,000	31,000	30,486	32,000	
A5110	419000	UNIFORM CLEANING	1,537	1,500	1,500	1,438	1,500	1,500	1,066	1,550	
A5110	419600	WEED CONTROL	952	950	-	-	950	950	-	950	
A5110	419700	WELDING SUPPLIES	1,180	1,500	2,093	1,972	1,500	1,500	1,491	1,500	
A5110	422055	GARAGE ELECTRIC	3,693	3,811	-	-					
A5110	422080	HIGHWAY ELECTRIC	7,514		-						
A5110	422081	NEW DPW ELECTRIC	3,631	7,500	18,019	18,019	14,744	14,744	9,294	13,835	
A5110	424001	NEW DPW WATER & SEWER	335		1,024	1,024	1,200	1,200	570	1,200	
A5110	443200	TRAINING	181	300	2,416	2,249	3,715	3,715	1,341	1,000	
A5110	444100	PROFESSIONAL LICENSE & PER	110			-	2,000	2,000	376	600	
A5110	445100	MAINTENANCE OF EQUIPMENT	1,732	19,155	18,883	17,061	19,500	17,367	282	29,096	
A5110	447000	RENT OF EQUIPMENT	1,440	3,300	2,750	2,750	3,300	3,300	-	3,300	
A5110	447200	REPAIR OF EQUIPMENT	49,530	55,000	77,668	70,712	70,000	69,811	45,784	65,000	
A5110	447213	REPAIR OF MAIN ST CLOCKS	6,104		86	86	1,500	1,500	-	1,500	
A5110	447214	REPAIR OF BUS SHELTERS			4,050	4,050			-		
A5110	447300	REPAIR OF REAL PROPERTY	2,076	1,000	14,630	14,614	3,000	45,245	42,244	3,000	
A5110	448000	TREE CARE/REMOVAL	13,280	18,750	18,750	6,875	18,000	18,000	1,250	15,000	
A5110	462000	TRAVEL	128	125	115	33	150	150	50	150	
A5110	820000	SOCIAL SECURITY	75,870	78,956	90,418	85,507	79,461	84,611	60,950	88,538	
TOTAL HIGHWAY			1,384,862	1,470,925	1,677,808	1,594,506	1,505,246	1,636,031	1,124,873	1,614,547	

2019 CITY OF BEACON BUDGET

GENERAL FUND EXPENSE (A)

			2016	2017	2017	2017	2018	2018	2018	2019	
			YTD	ADOPTED	REVISED	YTD	ADOPTED	REVISED	YTD	REQUESTED	
			ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	COMMENTS
			12/31/16		12/31/17	12/31/17		10/01/18	10/01/18		
5142 SNOW											
A5142	105000	OVERTIME	35,274	90,000	90,000	71,617	90,000	90,000	45,471	90,000	
A5142	112500	MEALS	931	3,000	3,000	2,233	3,000	3,000	1,694	2,500	
A5142	250000	EQUIPMENT	-	3,000	876	875	500	995	994	1,000	
A5142	416000	MATERIALS & SUPPLIES	373	3,500	3,624	3,123	3,500	8,653	2,910	3,500	
A5142	417600	SAND & SALT	128,581	152,000	148,477	126,737	170,000	170,000	133,595	160,000	
A5142	447000	RENTAL OF EQUIPMENT	-	3,000	755	-	3,000	2,505	-	3,000	
A5142	447200	REPAIR OF EQUIPMENT	35,538	40,000	45,208	41,310	37,000	31,847	14,723	32,000	
A5142	820000	SOCIAL SECURITY	2,409	7,115	7,115	5,437	7,115	7,115	3,452	7,076	
TOTAL SNOW			203,106	301,615	299,055	251,332	314,115	314,115	202,839	299,076	
5182 STREET LIGHTS											
A5182	422090	STREET LIGHTS LIGHT & POWE	248,765	190,975	160,919	62,840	82,700	82,700	32,599	55,000	
A5182	447300	REPAIR OF REAL PROPERTY	1,740	-	1,017	1,017	1,500	1,500	640	2,000	
A5182	470300	STREET LIGHTS HOLIDAY DECO	-	2,000	2,000	852	2,000	2,000	2,400	2,500	
TOTAL STREET LIGHTS			250,505	192,975	163,936	64,709	86,200	86,200	35,639	59,500	
5630 BUS OPERATIONS											
A5630	464500	BUS LINE	-	-	-	-	-	16,000	8,858	11,000	
TOTAL BUS OPERATIONS			-	-	-	-	-	16,000	8,858	11,000	
6475 TOURISM											
A6475	467400	PROMOTION OF TOURISM	2,934	3,500	4,770	4,770	3,500	3,500	-		
TOTAL TOURISM			2,934	3,500	4,770	4,770	3,500	3,500	-	-	

2019 CITY OF BEACON BUDGET

GENERAL FUND EXPENSE (A)

			2016	2017	2017	2017	2018	2018	2018	2019	
			YTD	ADOPTED	REVISED	YTD	ADOPTED	REVISED	YTD	REQUESTED	
			ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	COMMENTS
			12/31/16		12/31/17	12/31/17		10/01/18	10/01/18		
7110 PARK											
A7110	101000	REGULAR SALARIES	110,534	115,396	115,674	115,674	121,488	121,488	76,641	112,534	
A7110	103100	TEMPORARY POSITION	-	-	-	-	7,000	14,700	13,828	14,000	
A7110	105000	OVERTIME	3,470	1,500	1,755	1,754	2,000	2,000	686	2,000	
A7110	105200	SICK LEAVE BONUS		-	-		-	600	600		
A7110	112500	MEALS	175	160	160	119	160	160	7	160	
A7110	119000	CLOTHING ALLOWANCE	775	1,100	1,100	1,100	1,200	1,200	1,200	1,300	
A7110	120000	HEALTH INSURANCE BUY-OUT	2,500	2,500	2,500	2,500	2,500	2,500	1,250	-	
A7110	190000	SEVERANCE/RETIREMENT PAY	56,006						-		
A7110	250000	EQUIPMENT	360	3,000	4,735	4,716	2,500	2,500	-	2,500	
A7110	412300	FENCE	-	250	-		250	250	-	250	
A7110	413000	GAS & DIESEL	2,401	4,232	2,880	2,770	3,459	3,459	2,105	5,208	
A7110	415400	TOOLS	-	500	-		500	500	-	500	
A7110	416000	MATERIALS & SUPPLIES	1,848	2,000	3,088	2,583	2,000	2,000	1,224	2,000	
A7110	416300	PAINTS	1,646	1,000	1,126	1,126	1,000	1,000	629	1,000	
A7110	417900	SIGNS & POSTS		-	1,015	1,015					
A7110	419600	WEED CONTROL	1,519	2,000	1,700	1,676	1,600	1,600	160	1,500	
A7110	422095	PARK ELECTRIC	19,743	19,286	21,419	21,419	25,459	25,459	12,825	21,495	
A7110	447200	REPAIR OF EQUIPMENT	2,347	3,000	2,955	2,595	7,000	7,000	2,539	2,500	
A7110	447300	REPAIR OF REAL PROPERTY	489	500	172		500	500	-	500	
A7110	820000	SOCIAL SECURITY	12,966	9,230	8,849	8,849	10,278	10,278	6,340	9,945	
TOTAL PARK			216,779	165,654	169,128	167,896	188,894	197,194	120,034	177,392	

2019 CITY OF BEACON BUDGET

GENERAL FUND EXPENSE (A)

			2016	2017	2017	2017	2018	2018	2018	2019	
			YTD	ADOPTED	REVISED	YTD	ADOPTED	REVISED	YTD	REQUESTED	
			ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	COMMENTS
			12/31/16		12/31/17	12/31/17		10/01/18	10/01/18		
7112 SETTLEMENT CAMP PROPERTY											
A7112	416000	MATERIAL & SUPPLIES	938	500	500	63	500	500	75	250	
A7112	422096	SETTLEMENT CAMP ELEC 300H	3,055	3,230	3,230	3,020	3,327	3,327	2,124	3,200	
A7112	444000	JANITOR SERVICE	4,225	4,725	4,725	4,175	5,000	5,475	4,475	5,000	
A7112	444100	PROFESSIONAL LICENSE & PER	-	500	500	-			-		
A7112	445100	MAINTENANCE OF EQUIP	177		-		1,500	1,500	-	1,200	
A7112	447300	REPAIR OF REAL PROPERTY	16,747	12,500	34,916	31,620	25,000	24,525	3,477	5,000	
A7112	448000	TREE CARE/REMOVAL	7,462	6,250	6,250	6,250	5,000	5,000	3,750	5,000	
A7112	449100	GARBAGE HAULING & DISP.	602	-	-	-			-		
TOTAL USC			33,206	27,705	50,121	45,128	40,327	40,327	13,901	19,650	
7140 RECREATION											
A7140	101000	REGULAR SALARY	41,376	79,986	87,894	87,021	102,149	102,149	74,871	107,625	
A7140	105000	OVERTIME	45		270	270	2,000	2,000	660	2,000	
A7140	105200	SICK LEAVE BONUS	100		900	900	2,100	1,500	1,500	2,100	
A7140	109100	PART TIME CLERICAL	10,976								
A7140	109102	RECREATION DIRECTOR	54,804	55,725	55,725	55,725	57,118	57,118	41,740	58,546	
A7140	119000	CLOTHING ALLOWANCE	-	275	275	-	300	300	300	325	
A7140	120000	HEALTH BUYOUT					2,500	2,500	-	-	
A7140	173100	SUMMER PLAYGROUND COUNS	-	-	44,815	44,815	50,250	57,820	57,820	57,000	
A7140	173102	AFTER SCHOOL COUNSELORS	17,350	63,000	56,010	46,682	57,000	49,430	25,235	60,900	
A7140	173103	AFTER SCHOOL ACTIVITY SPEC	8,238	36,000	36,000	28,380	36,000	34,073	15,728	36,000	
A7140	250000	EQUIPMENT	266	1,000	7,824	7,454	1,000	11,278	10,158	6,000	
A7140	413000	GAS & DIESEL		500	707	707	400	400	330	630	
A7140	416000	MATERIALS & SUPPLIES	1,684	2,000	6,193	5,830	2,400	2,400	2,133	2,500	
A7140	416007	AFTER SCHOOL MAT & SUPPLIE	11,156	75,600	75,600	9,201	21,000	21,000	3,736	21,000	
A7140	417601	PLAY SAND	650	700	595	-	700	700	130	1,100	
A7140	417602	PLAY SAFETY SURFACE	2,327	2,500	5,378	5,367	5,000	4,722	2,858	6,000	
A7140	417700	23 W CENTER PAPER SUPPLY	662	1,500	1,585	851	1,500	1,500	846	1,000	
A7140	422097	23 W CENTER ELECTRIC	9,611	9,280	10,346	10,345	10,713	10,713	7,330	11,723	

2019 CITY OF BEACON BUDGET

GENERAL FUND EXPENSE (A)

			2016	2017	2017	2017	2018	2018	2018	2019	
			YTD	ADOPTED	REVISED	YTD	ADOPTED	REVISED	YTD	REQUESTED	
			ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	COMMENTS
			12/31/16		12/31/17	12/31/17		10/01/18	10/01/18		
A7140	423202	23 W CENTER ALARM	3,052	2,500	1,434	902	2,500	2,500	1,786	2,500	
A7140	444000	JANITOR SERVICE	-	1,400	1,150	-			-	-	
A7140	445100	MAINTENANCE OF EQUIPMENT			150	150				-	
A7140	446000	PRINTING/COPIER LEASE	2,392	2,100	2,279	2,279	2,100	2,216	1,693	2,200	
A7140	446010	YARD SALE AD PRINTING	390	500	471	336	500	438	419	500	
A7140	447000	RENTAL OF EQUIPMENT	8,360	9,500	9,500	8,375	9,500	9,500	6,332	9,000	
A7140	447200	REPAIR OF EQUIPMENT	1,021	1,500	1,455	1,454	1,500	1,500	320	1,500	
A7140	447300	REPAIR OF PROPERTY	5,889	5,000	15,362	13,238	5,000	5,000	5,278	5,000	
A7140	462000	TRAVEL						97	96	100	
A7140	470500	COMMUNITY OUTREACH			1,190	1,190	1,500	1,500	-	1,500	
A7140	470600	CELEBRATION	400	2,500	2,500	1,596	8,500	8,500	5,394	10,000	
A7140	470900	CHRISTMAS	1,762	2,500	2,500	2,198				-	
A7140	471200	EASTER	2,124	3,500	3,500	2,474				-	
A7140	471500	FIREWORKS	7,500	7,500	7,500	7,500	-	7,500	7,500	7,500	
A7140	475700	PHYSICAL FITNESS	-	1,500	1,500	-				-	
A7140	476306	SPORT CAMP	1,700	3,500	4,050	4,050	3,500	3,500	4,050	4,050	
A7140	477200	SOFTBALL - WOMENS	2,814	3,200	3,200	2,539	3,200	3,200	2,382	3,200	
A7140	477500	SUMMER BASKETBALL	4,509	18,500	18,500	4,379	9,000	9,000	5,886	6,500	
A7140	478100	SUMMER CAMP PROGRAM	-	-	6,620	2,959	9,000	9,000	4,936	7,500	
A7140	478400	SWIMMING PROGRAM	1,035	-	-	-		585	585	-	
A7140	478700	TENNIS	2,178	3,500	3,500	2,327	3,500	3,431	2,182	3,500	
A7140	479600	WOMENS VOLLEYBALL	250	350	350	-	350	350	-	350	
A7140	479800	YOUTH SERVICE GRANT					24,267	24,267	-	-	
A7140	479900	PROGRAM DEVELOPMENT	1,098	3,000	875	250	2,500	2,418	-	2,000	
A7140	820000	SOCIAL SECURITY	9,115	15,222	17,796	17,466	20,916	20,916	15,000	22,070	
TOTAL RECREATION			214,834	415,338	495,499	379,210	459,463	475,021	309,214	463,419	

2019 CITY OF BEACON BUDGET

GENERAL FUND EXPENSE (A)

			2016	2017	2017	2017	2018	2018	2018	2019	
			YTD	ADOPTED	REVISED	YTD	ADOPTED	REVISED	YTD	REQUESTED	
			ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	COMMENTS
			12/31/16		12/31/17	12/31/17		10/01/18	10/01/18		
7141	SWIMMING POOL FACILITY										
A7141	173100	LIFEGUARDS	32,073	31,250	27,842	27,841	27,500	29,427	29,427	29,000	
A7141	250000	EQUIPMENT	554	5,000	8,025	7,818	1,500	1,500	510	1,500	
A7141	410900	CHEMICALS	5,978	6,500	6,273	3,372	5,000	5,000	4,458	4,600	
A7141	416000	MATERIALS & SUPPLIES	1,887	1,500	3,500	2,419	3,500	3,500	623	2,500	
A7141	417602	PLAY SAFETY SURFACE	-	2,500	500	-				-	
A7141	443200	TRAINING	520	1,000	1,000	166	800	800	672	800	
A7141	444100	LICENSE & PERMIT FEE	235	250	250	235	250	250	-	250	
A7141	445100	MAINTENANCE OF EQUIP	678	2,500	2,500	-	2,500	2,500	780	1,500	
A7141	445102	POOL START-UP/CLEANING	4,650	5,000	6,917	6,917	5,000	5,000	3,465	5,000	
A7141	447200	REPAIR OF EQUIPMENT	260	10,000	5,285	653	1,500	1,500	811	1,000	
A7141	452008	POOL CONSULTANT	480			-					
A7141	478400	SWIMMING PROGRAM	-	-	-	-					
A7141	820000	SOCIAL SECURITY	2,595	2,391	2,391	2,130	2,104	2,104	2,251	2,219	
TOTAL SWIMMING POOL FACILITY			49,910	67,891	64,483	51,551	49,654	51,581	42,997	48,369	
A7197 GREENWAY & HERITAGE TRAIL											
A7197	416000	MATERIALS & SUPPLIES	-	-	-	-	-	-	-	-	
A7197	452000	CONSULTANT	10,000	-	-	-	-	-	-	-	
TOTAL GREENWAY & HERITAGE TRAIL			10,000	-	-	-	-	-	-	-	
7620 ADULT RECREATION											
A7620	470600	SENIOR PROGRAMS	1,283	3,500	3,500	-	2,500	2,500	-	2,500	
A7620	476500	SENIOR ART	2,912	3,080	3,080	2,858	3,280	3,280	2,587	3,900	
TOTAL ADULT RECREATION			4,195	6,580	6,580	2,858	5,780	5,780	2,587	6,400	

2019 CITY OF BEACON BUDGET

GENERAL FUND EXPENSE (A)

			2016	2017	2017	2017	2018	2018	2018	2019	
			YTD	ADOPTED	REVISED	YTD	ADOPTED	REVISED	YTD	REQUESTED	
			ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	COMMENTS
			12/31/16		12/31/17	12/31/17		10/01/18	10/01/18		
8010 ZONING											
A8010	101000	REGULAR SALARIES	6,648	6,462	6,750	6,750	6,914	6,914	5,146	7,084	
A8010	105000	OVERTIME	963	1,000	1,717	1,717	1,200	1,254	1,425	2,000	
A8010	416000	MATERIALS & SUPPLIES	266	300	172	171	300	300	121	300	
A8010	443200	TRAINING			-		1,000	1,000		500	
A8010	452000	ENGINEERS							553		
A8010	455000	VIDEOGRAPHER			800	800	2,400	2,400	1,600	2,400	
A8010	820000	SOCIAL SECURITY	581	571	646	645	621	621	501	695	
TOTAL ZONING			8,458	8,333	10,085	10,083	12,435	12,489	9,346	12,979	
8020 PLANNING											
A8020	101000	REGULAR SALARIES	6,648	6,462	6,750	6,750	6,914	6,914	5,146	7,084	
A8020	105000	OVERTIME	2,179	2,400	3,116	3,115	2,400	2,346	2,037	2,400	
A8020	250000	EQUIPMENT	1,295	-	-	-		-			
A8020	416000	MATERIALS & SUPPLIES	450	450	377	377	450	1,958	1,956	1,450	
A8020	443200	TRAINING					1,000	1,000	-	500	
A8020	450400	ATTORNEYS			1,069	1,069				-	
A8020	452000	CONSULTANT	122,855	50,000	46,309	40,163	70,000	149,500	78,836	65,000	
A8020	454000	ENGINEERS	-	-	3,157	3,156		-	-		
A8020	455000	VIDEOGRAPHER	2,650	2,400	2,400	2,400	2,400	2,400	1,600	2,400	
A8020	820000	SOCIAL SECURITY	673	678	753	752	713	713	548	726	
TOTAL PLANNING			136,750	62,390	63,931	57,782	83,877	164,831	90,123	79,560	

2019 CITY OF BEACON BUDGET

GENERAL FUND EXPENSE (A)

			2016	2017	2017	2017	2018	2018	2018	2019	
			YTD	ADOPTED	REVISED	YTD	ADOPTED	REVISED	YTD	REQUESTED	
			ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	COMMENTS
			12/31/16		12/31/17	12/31/17		10/01/18	10/01/18		
8160 SANITATION											
A8160	446600	REFUSE REMOVAL	54,315	60,000	66,174	66,174	60,000	77,200	48,970	84,463	
A8160	449100	GARBAGE HAULING & DISPOSAL	668,921	672,000	672,000	669,138	668,892	677,192	391,651	685,101	
A8160	449101	ADD A CAN EXPENSE	130	246	246	25	150	150	25	125	
A8160	449300	RECYCLING HAULING	180,634	230,604	238,602	238,601	238,000	233,664	136,276	231,331	
A8160	449301	RECYCLING DISPOSAL	-					44,771	24,295	65,700	
TOTAL SANITATION			904,000	962,850	977,022	973,938	967,042	1,032,977	601,217	1,066,720	
8170 STREET CLEANING											
A8170	416000	MATERIALS & SUPPLIES	530	3,750	1,976	1,289	3,000	3,000	2,833	3,000	
A8170	447200	REPAIR OF EQUIPMENT	7,322	8,000	14,524	13,547	10,000	10,000	2,475	5,000	
TOTAL STREET CLEANING			7,852	11,750	16,500	14,836	13,000	13,000	5,308	8,000	
8189 RECYCLING											
A8189	101000	REGULAR SALARIES	171,086	181,219	179,867	138,987	127,168	127,168	92,219	86,330	
A8189	105000	OVERTIME	4,178	1,500	2,852	2,472	2,400	2,400	1,956	2,400	
A8189	105200	SICK LEAVE BONUS	200	600	600	600	600	600	600	600	
A8189	112500	MEALS	105	100	100	56	200	200	14	200	
A8189	119000	CLOTHING ALLOWANCE	1,500	1,650	1,650	1,100	1,200	1,200	1,200	975	
A8189	190000	SEVERANCE/RETIREMENT PAY			33,184	33,183					
A8189	412650	RECYCLING CENTER GAS/OIL F	7,238	6,000	-	-	5,000	5,000	1,160	2,300	
A8189	413000	GAS & DIESEL	10,646	13,601	5,429	4,066	11,833	11,833	-	14,307	
A8189	415400	TOOLS	-	250	276	276	250	250	-	250	
A8189	416000	MATERIALS & SUPPLIES	242	500	474	404	500	500	-	500	
A8189	418600	TUBES & TIRES	-	-	-	-	1,000	1,000	-	750	
A8189	422050	RECYCLING CENTER ELECTRIC	1,397	1,657	1,657	1,209	1,439	1,439	1,053	1,686	
A8189	447200	REPAIR OF EQUIPMENT	23,729	30,000	22,737	21,114	30,000	30,000	7,972	25,000	
A8189	447300	REPAIR OF REAL PROPERTY	587	700	700	-			-		
A8189	820000	SOCIAL SECURITY	12,768	14,158	16,697	12,806	10,065	10,065	6,724	6,924	
TOTAL RECYCLING			233,676	251,935	266,223	216,273	191,655	191,655	112,898	142,222	

2019 CITY OF BEACON BUDGET

GENERAL FUND EXPENSE (A)

			2016	2017	2017	2017	2018	2018	2018	2019	
			YTD	ADOPTED	REVISED	YTD	ADOPTED	REVISED	YTD	REQUESTED	
			ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	COMMENTS
			12/31/16		12/31/17	12/31/17		10/01/18	10/01/18		
9010 EMPLOYEES RETIREMENT SYSTEM											
A9010	810000	RETIREMENT	322,985	312,670	309,840	309,740	306,401	306,401	-	304,988	
TOTAL RETIREMENT			322,985	312,670	309,840	309,740	306,401	306,401	-	304,988	
9040 WORKERS COMPENSATION											
A9040	830000	WORKERS' COMPENSATION	228,988	228,988	228,988	228,988	247,307	247,307	247,307	269,800	
A9040	830001	VOLUNTEER FIREFIGHTERS								23,000	
TOTAL COMPENSATION			228,988	228,988	228,988	228,988	247,307	247,307	247,307	292,800	
9050 UNEMPLOYMENT BENEFITS											
A9050	850100	UNEMPLOYMENT BENEFITS	1,347	5,000	1,254	1,254	4,000	4,000	-	2,000	
TOTAL UNEMPLOYMENT			1,347	5,000	1,254	1,254	4,000	4,000	-	2,000	
9055 DISABILITY											
A9055	850000	INSURANCE	5,141	5,800	6,839	6,839	5,800	5,800	2,989	5,800	
TOTAL DISABILITY			5,141	5,800	6,839	6,839	5,800	5,800	2,989	5,800	
9060 HEALTH INSURANCE											
A9060	840000	HEALTH INSURANCE	2,850,865	2,635,143	2,642,643	2,965,448	2,629,879	2,629,879	1,875,729	2,958,783	
A9060	840100	MEDICARE REIMBURSEMENT	89,854	93,816	101,316	101,597	104,282	104,282	70,057	140,676	
A9060	840200	EMPLOYEE ASSISTANCE PROG	2,348	2,300	2,372	2,371	2,400	2,400	1,815	2,500	
A9060	840400	EMPLOYEE DRUG TESTING	6,513	5,000	4,096	4,096	3,000	3,000	1,147	3,000	
A9060	840500	DENTAL INSURANCE	72,939	77,660	69,160	67,086	76,412	76,412	43,088	64,334	
A9060	840600	VISION INSURANCE	8,593	9,584	9,793	9,792	9,319	9,319	7,381	9,814	
A9060	840700	LIFE INSURANCE	652	700	652	652	660	660	964	1,000	
TOTAL HEALTH INSURANCE			3,031,764	2,824,203	2,830,032	3,151,042	2,825,952	2,825,952	2,000,181	3,180,107	

2019 CITY OF BEACON BUDGET

GENERAL FUND EXPENSE (A)

			2016	2017	2017	2017	2018	2018	2018	2019	
			YTD	ADOPTED	REVISED	YTD	ADOPTED	REVISED	YTD	REQUESTED	
			ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	COMMENTS
			12/31/16		12/31/17	12/31/17		10/01/18	10/01/18		
9710 SERIAL BONDS											
A9710	601100	2011 (1996 & 2001) PRINCIPAL	313,903	306,598	306,598	306,598	322,319	322,319	322,319	326,252	
A9710	605500	2014 (2005) PRINCIPAL	569,694	587,387	587,387	587,387	619,233	619,233	619,233	636,925	
A9710	605600	2016 PRINCIPAL		122,077	122,077	122,077	123,207	123,207		124,339	
A9710	605700	2018 PRINCIPAL								495,812	
A9710	605800	2008 PRINCIPAL	400,000	420,000	420,000	420,000	440,000	440,000		460,000	
A9710	701100	2011 (1996 & 2001) INTEREST	54,536	41,980	41,980	41,980	29,716	29,716	29,716	20,047	
A9710	705500	2014 (2005) INTEREST	185,827	163,040	163,040	163,040	133,670	133,670	133,670	115,093	
A9710	705600	2016 INTEREST	38,387	80,550	80,550	80,550	78,098	78,098		75,622	
A9710	705700	2018 INTEREST								482,312	
A9710	705800	2008 INTEREST	157,469	142,469	142,469	142,469	125,669	125,669		103,669	
TOTAL SERIAL BONDS			1,719,816	1,864,101	1,864,101	1,864,101	1,871,912	1,871,912	1,104,938	2,840,071	
9730 BOND ANTICIPATION NOTES											
A9730	607599	BAN Principal	460,857	530,500	530,270	530,270	554,975	554,975	554,975	-	
A9730	707599	BAN Interest	58,940	127,364	127,301	127,302	174,821	174,821	174,821	-	
TOTAL BANS			519,797	657,864	657,571	657,572	729,796	729,796	729,796	-	
9950 INTERFUND TRANSFERS											
A9950	900003	INTERFUND TRANSFER	-	-	1,721,346	1,721,346	-	-		-	
TOTAL INTERFUND TRANSFERS			-	-	1,721,346	1,721,346	-	-	-	-	
TOTAL GENERAL EXPENSE			18,867,605	19,653,153	21,594,681	21,206,825	20,143,593	20,306,192	12,771,593	20,695,728	

2019 CITY OF BEACON BUDGET

GENERAL FUND REVENUE (A)

			2016	2017	2017	2017	2018	2018	2018	2019	
			YTD	ADOPTED	REVISED	YTD	ADOPTED	REVISED	YTD	REQUESTED	
			ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	COMMENTS
			12/31/16		12/31/17	12/31/17		10/01/18	10/01/18		
1325 FINANCE											
A1325	100113	2013 TAX REVENUE	97,205			4,043					
A1325	100114	2014 TAX REVENUE	272,956			320,211					
A1325	100115	2015 TAX REVENUE	(247,842)			14,571					
A1325	100116	2016 TAX REVENUE	9,875,772			27,857			607,945		
A1325	100117	2017 TAX REVENUE			10,319,219	9,586,899			(391,235)		
A1325	100118	2018 TAX REVENUE					10,593,191	10,593,191	14,577,280		
A1325	102827	BUILDING VIOLATONS	67,602			62,922			45,568		
A1325	108100	PAYMENTS IN LIEU OF TAX	174,565	173,975	173,975	222,463	214,983	214,983	161,593		
A1325	109006	2016 TAX INTEREST							34,199		
A1325	109007	2017 TAX INTEREST		95,000	95,000	64,109			2,242		
A1325	109008	2018 TAX INTEREST					95,000	95,000	446,541		
A1325	109009	2019 TAX INTEREST								95,000	
A1325	109013	2013 TAX INTEREST	17,304			833					
A1325	109014	2014 TAX INTEREST	2,569			3,469					
A1325	109015	2015 TAX INTEREST	67,822								
A1325	109050	IN REM INTEREST	402,774			56,263			1,512		
A1325	111000	SALES TAX	4,282,910	4,158,686	4,158,686	4,321,409	4,278,686	4,278,686	2,574,425	4,321,000	
A1325	113000	UTILITY TAX	140,124	140,000	140,000	154,164	134,000	134,000	142,467	134,000	
A1325	113001	UTILITY TAX REFUND AUDIT	2,822								
A1325	117000	FRANCHISE TAX	232,845	236,000	236,000	242,613	236,000	236,000	178,982	236,000	
A1325	123000	SCHOOL TAX PENALTY	53,888	46,500	46,500	34,069	52,000	52,000	33,421	50,000	
A1325	126000	HEALTH INSURANCE REIMBURSEM	227,982	245,084	245,084	250,530	257,822	257,822	212,597	328,626	
A1325	126001	DENTAL INSURANCE REIMBURSEM	59,452	58,360	58,360	56,153	57,728	57,728	40,972	54,764	
A1325	201202	FLEA MARKET FEE	5,940	4,000	4,000	5,940	5,000	5,000	2,640	5,000	
A1325	240100	INTEREST & EARNINGS	8,061	7,000	7,000	10,146	8,000	8,000	43,830	38,000	
A1325	240102	BOND & COUPON INTEREST	536	500	500	296	300	300	1,056	500	
A1325	250100	BUSINESS/OCCUPATIONAL LICENS	6,910	6,200	6,200	14,150	8,000	8,000	6,620	8,000	
A1325	254000	BINGO LICENSES	4,096	3,000	3,000	5,210	4,000	4,000	5,754	4,000	

2019 CITY OF BEACON BUDGET

GENERAL FUND REVENUE (A)

			2016	2017	2017	2017	2018	2018	2018	2019	
			YTD	ADOPTED	REVISED	YTD	ADOPTED	REVISED	YTD	REQUESTED	
			ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	COMMENTS
			12/31/16		12/31/17	12/31/17		10/01/18	10/01/18		
A1325	254500	OTHER LICENSES	1,347	1,000	1,000	1,253	1,000	1,000	1,000	1,000	
A1325	261000	FINES & FORFEITED BAIL	223,181	205,000	205,000	176,829	175,000	175,000	103,475	145,000	
A1325	265000	SALE OF SCRAP				32,744	-	-	3,500	-	
A1325	265501	BIDS	350	1,000	1,000	1,375	1,000	1,000	2,090	1,000	
A1325	266000	SALE OF REAL PROPERTY	16,000	100,000	100,000	64,465	50,000	50,000	107,606	50,000	
A1325	268000	INSURANCE RECOVERIES	1,443			3,518	-	-	75	-	
A1325	268001	INSURANCE REIMBURSEMENT	28,512			93,921	15,000	15,000	32,146	30,000	
A1325	277000	MISCELLANEOUS REVENUE	10,092			3,828	4,000	4,000	7,798	3,000	
A1325	277007	BANNER PERMITS							1,700	2,000	
A1325	280101	INTERFUND REVENUE - WATER	225,240	233,700	233,700	233,700	241,520	241,520	-	249,950	
A1325	280102	INTERFUND REVENUE - SEWER	243,160	215,790	215,790	215,790	216,800	216,800	-	224,670	
A1325	300100	STATE AID AIM FUNDING	1,537,478	1,537,478	1,537,478	1,537,478	1,537,478	1,537,478	144,447	1,537,478	
A1325	300500	STATE AID MORTGAGE TAX	513,249	350,000	350,000	440,337	400,000	400,000	293,350	450,000	
A1325	333100	STATE AID O&M COURT FACILITY	53,766	54,000	54,000	50,632	54,000	54,000	-	50,000	
A1325	378901	STATE AID CULT & REC	1,000								
A1325	496000	FED AID EMERGENCY DISASTER							55,725		
TOTAL FINANCE			18,611,111	7,872,273	18,191,492	18,314,190	18,640,508	18,640,508	19,481,321	8,018,988	
1410 CITY CLERK											
A1410	125500	CLERK FEES	7,488	8,500	8,500	8,378	7,500	7,500	6,329	7,500	
A1410	125506	NSF CHECK FEE	180	100	100	340	100	100	180	100	
A1410	125520	INREM FEES	9,310			12,325			2,351	3,000	
TOTAL CITY CLERK			16,978	8,600	8,600	21,043	7,600	7,600	8,860	10,600	
1620 PUBLIC BUILDINGS											
A1620	221001	CHAMBER WELCOME CTR ELECTRI	1,188	1,049	1,049	1,237	1,410	1,410	1,025	1,302	
A1620	302101	STATE AID COURT TELEPHONES	1,080	1,200	1,200	1,297	1,200	1,200	683	1,200	
TOTAL PUBLIC BUILDINGS			2,268	2,249	2,249	2,534	2,610	2,610	1,708	2,502	

2019 CITY OF BEACON BUDGET

GENERAL FUND REVENUE (A)

			2016	2017	2017	2017	2018	2018	2018	2019	
			YTD	ADOPTED	REVISED	YTD	ADOPTED	REVISED	YTD	REQUESTED	
			ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	COMMENTS
			12/31/16		12/31/17	12/31/17		10/01/18	10/01/18		
3120 POLICE											
A3120	152000	POLICE FEES	555	500	500	716	500	500	602	500	
A3120	174000	PARKING TICKETS	134,675	140,000	140,000	144,342	140,000	140,000	138,533	160,000	
A3120	200114	EVENT FEE-POLICE OT	12,037	7,000	14,000	24,161	7,000	10,831	9,751	8,000	
A3120	226001	SCHOOL RESOURCE OFFICER						5,074	6,196		
A3120	238901	DC DRUG TASK FORCE					99,632	99,632	38,301	145,580	
A3120	255000	ALARM PERMIT	300			300	300	300	150		
A3120	268000	INSURANCE RECOVERY	6,275	-	11,852	12,021	-	-	-		
A3120	277000	MISC REVENUE	10,130			1,750		3,500	10,198		
A3120	331500	ST AID STOP DWI	8,812	10,000	10,000	1,151	1,000	2,301	4,008	1,500	
A3120	331508	ST AID POLICE TRAFFIC SERVICES	10,359	10,210	10,210	10,120	11,000	11,000	-	9,075	
A3120	331517	ST AID IMPACT TOOLS GRANT	1,714						-		
A3120	338909	ST AID LIVE SCAN GRANT	10,000						-		
A3120	398900	ST AID CHILD PASSENGERSEAT	10,289	600	600	-	2,950	2,950	-	2,500	
A3120	432040	FED AID HOMELAND GRANT	1,383						-		
A3120	432045	FED DCJS GRANT		7,260	9,131	7,259			-		
A3120	438950	FED AID - Byrne Grant/JAG	-	20,000	20,000	29,900	10,000	10,000	-		
TOTAL POLICE			206,529	195,570	216,293	231,720	272,382	286,088	207,739	327,155	
3130 DETECTIVES											
A3130	262500	ASSET FORFEITURE	627			551		4,401	4,401		
TOTAL DETECTIVES			627	-	-	551	-	4,401	4,401	-	

2019 CITY OF BEACON BUDGET

GENERAL FUND REVENUE (A)

			2016	2017	2017	2017	2018	2018	2018	2019	
			YTD	ADOPTED	REVISED	YTD	ADOPTED	REVISED	YTD	REQUESTED	
			ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	COMMENTS
			12/31/16		12/31/17	12/31/17		10/01/18	10/01/18		
3410 FIRE											
A3410	268000	INSURANCE RECOVERY	5,778								
A3410	438912	FED AID	31,143								
TOTAL FIRE			36,921	-	-	-	-	-	-	-	
3510 ANIMAL CONTROL											
A3510	155001	DOG ADOPTION FEE	-	200	200	-	-	-	-	-	
A3510	254200	DOG LICENSES	5,697	5,000	5,000	5,561	5,500	5,500	4,994	5,500	
A3510	261100	DOG FINES	1,980	1,500	1,500	2,020	1,500	1,500	1,465	1,500	
TOTAL ANIMAL CONTROL			7,677	6,700	6,700	7,581	7,000	7,000	6,459	7,000	
3620 BUILDING DEPARTMENT											
A3620	226000	RECORD SEARCHES	42,450	35,000	35,000	43,425	40,000	40,000	32,766	40,000	
A3620	238000	FIRE INSPECTION FEE	3,900	15,000	15,000	5,575	15,000	15,000	2,525	15,000	
A3620	238500	SEWER INSPECTION FEE	1,350	500	500	1,300	500	500	650	500	
A3620	238900	SECTION 8 INSPECTION FEE	5,005	6,000	6,000	7,350	7,245	7,245	4,716	7,245	
A3620	250102	PLUMBING LICENSES	12,632	10,000	10,000	13,103	10,000	10,000	8,300	10,000	
A3620	250103	ELECTRIC LICENSES	42,000	25,000	25,000	33,730	25,000	25,000	19,800	25,000	
A3620	255500	BUILDING PERMITS	254,240	130,000	130,000	181,647	150,000	150,000	20,150	190,000	
A3620	255501	C.O. APPLICATION FEE	15,500	10,000	10,000	16,450	14,000	14,000	140,372	14,000	
A3620	256500	PLUMBERS PERMITS	12,513	6,000	6,000	18,583	8,500	8,500	11,450	15,000	
A3620	257000	RENTAL PERMITS	7,200	13,000	13,000	13,100	10,000	10,000	8,775	7,200	
A3620	257100	VACANT REGISTRATION	51,615	30,000	30,000	50,118	30,000	30,000	31,764	12,000	
A3620	257500	ELECTRICAL PERMITS	9,880	5,000	5,000	8,480	7,000	7,000	6,050	7,000	
A3620	259000	VEHICLE PERMITS	650	250	250	600	250	250	150	250	
A3620	259002	TREE & GRADING PERMITS							150	100	
A3620	259005	CHICKEN PERMITS	275			125	100	100	75	100	
A3620	259006	SIDE CAFÉ PERMITS	200			100	100	100	100	100	
A3620	261200	MISCELLANEOUS	3,304	4,000	4,000	11,136	4,000	4,000	5,158	5,000	
A3620	261202	SNOW VIOLATIONS	-	1,500	1,500	12,339	1,500	1,500	4,137	1,500	
TOTAL BUILDING DEPARTMENT			462,714	291,250	291,250	417,161	323,195	323,195	297,088	349,995	

2019 CITY OF BEACON BUDGET

GENERAL FUND REVENUE (A)

			2016	2017	2017	2017	2018	2018	2018	2019	
			YTD	ADOPTED	REVISED	YTD	ADOPTED	REVISED	YTD	REQUESTED	
			ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	COMMENTS
			12/31/16		12/31/17	12/31/17		10/01/18	10/01/18		
5110 HIGHWAY											
A5110	171000	ROAD IMPROVEMENT 15% HAULER	193,143	185,000	185,000	206,495	185,295	185,295	112,096	185,295	
A5110	178901	MTA COMMUTER PARKING	59,305	55,000	55,000	58,489	56,000	56,000	42,893	56,000	
A5110	178903	ZIP CAR	560	500	500	260	400	400	-	-	
A5110	256000	STREET OPENING PERMITS	15,800	10,000	10,000	19,800	10,000	10,000	53,200	15,000	
A5110	268000	INSURANCE RECOVERIES							4,202		
A5110	277000	BVAC FUEL REIMBURSEMENT	7,689	15,109	15,109	7,339	12,866	12,866	7,339	12,073	
A5110	350100	STATE AID CHIPS			9,764	9,764					
A5110	351000	STATE AID 9D O&M	24,123	24,123	24,123	24,123	24,123	24,123	12,062	24,123	
TOTAL HIGHWAY			300,620	289,732	299,496	326,270	288,684	288,684	231,792	292,491	
A7110 PARK											
A7110	208909	HIDDENBROOK MAINT CHRG	2,000	2,000	2,000	2,000	2,000	2,000	-	2,000	
A7110	270500	DONATIONS			500	1,060					
TOTAL PARK			2,000	2,000	2,500	3,060	2,000	2,000	-	2,000	
A7112 UNIVERSITY SETTLEMENT											
A7112	200190	USC-USAGE FEE	30,470	30,000	30,000	20,975	35,000	35,000	15,413	35,000	
A7112	208902	PHELPS-USC Donation		-	22,416	22,416	-	-	-		
TOTAL UNIVERSITY			30,470	30,000	52,416	43,391	35,000	35,000	15,413	35,000	

2019 CITY OF BEACON BUDGET

GENERAL FUND REVENUE (A)

			2016	2017	2017	2017	2018	2018	2018	2019	
			YTD	ADOPTED	REVISED	YTD	ADOPTED	REVISED	YTD	REQUESTED	
			ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	COMMENTS
			12/31/16		12/31/17	12/31/17		10/01/18	10/01/18		
7140 RECREATION											
A7140	200100	RECREATION FEES	1,670	3,000	6,101	6,195	3,000	3,000	120	3,000	
A7140	200101	PARK USE FEES	13,865	18,000	18,000	9,886	13,000	13,000	9,360	7,500	
A7140	200108	SUMMER CAMP FEE	-	-	49,753	47,903	59,250	59,250	52,697	57,000	
A7140	200113	SPORT CAMP FEE	-	3,500	3,500	-	3,500	3,500	6,260	4,050	
A7140	200115	AFTER SCHOOL	52,078	262,500	262,500	100,310	150,000	150,000	68,600	125,000	
A7140	200157	JAZZERCISE FEES	-	1,500	1,500	-				-	
A7140	200160	YARD SALE FEES-NEW	662	500	500	610	500	500	585	500	
A7140	200175	BEACON HOOPS FEES	4,550	18,500	18,500	5,170	9,000	9,000	7,175	6,500	
A7140	200184	SWIMMING LESSON FEES	1,035	-	-	2,313		585	585	-	
A7140	200187	TENNIS FEES	3,715	3,500	3,500	3,535	3,500	3,500	4,035	3,500	
A7140	208900	PLANNING RECREATION FEES	15,000	-	13,824	6,824		10,000		-	
A7140	208903	FIREWORKS	7,210	7,500	7,500	-	-	7,500	-	7,500	
A7140	241000	RENTAL OF REAL PROPERTY	4,125	6,000	6,000	5,000	6,000	6,000	3,475	3,000	
A7140	270500	DONATIONS	300	-	500	500			244		
A7140	270572	WOMENS SOFTBALL FEE	2,400	3,200	3,200	2,800	3,200	3,200	2,000	3,200	
A7140	270596	WOMENS VOLLEYBALL FEE	350	350	350	200	350	350	-	350	
A7140	364300	ST AID FOOD ASSISTANCE				737			2,927	3,600	
TOTAL RECREATION			106,960	328,050	395,228	191,983	251,300	269,385	158,063	224,700	
7141 SWIMMING POOL FACILITY											
A7141	200183	POOL TICKET FEES	36,820	35,000	35,000	33,072	35,000	35,000	28,459	32,000	
A7141	200184	SWIMMING LESSON FEES	-	3,800	3,800	10	2,000	2,000	-	2,000	
A7141	238902	DC GRANT SWIM ACADEMY	3,787								
TOTAL SWIMMING POOL FACILITY			40,607	38,800	38,800	33,082	37,000	37,000	28,459	34,000	
7197 GREENWAY & HERITAGE TRAIL											
A7197	208911	GREENWAY	5,000	-	-	2,500	-	39,500	1,000	-	
TOTAL GREENWAY & HERITAGE TRAIL			5,000	-	-	2,500	-	39,500	1,000	-	

2019 CITY OF BEACON BUDGET

GENERAL FUND REVENUE (A)

			2016	2017	2017	2017	2018	2018	2018	2019	
			YTD	ADOPTED	REVISED	YTD	ADOPTED	REVISED	YTD	REQUESTED	
			ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	COMMENTS
			12/31/16		12/31/17	12/31/17		10/01/18	10/01/18		
7620	ADULT RECREATION										
A7620	200165	SENIOR ART FEES	2,230	3,080	3,080	-	3,280	3,280	2,550	3,900	
TOTAL ADULT RECREATION			2,230	3,080	3,080	-	3,280	3,280	2,550	3,900	
7989	FARMERS MARKET										
A7989	201201	FARMERS MARKET PROCEEDS	300	1,200	1,200	-			700		
TOTAL FARMERS MARKET			300	1,200	1,200	-	-	-	700	-	
8010	ZONING										
A8010	211000	ZONING FEES	6,455	3,500	3,500	9,100	3,500	3,500	4,250	3,500	
TOTAL ZONING			6,455	3,500	3,500	9,100	3,500	3,500	4,250	3,500	
8020	PLANNING										
A8020	211500	PLANNING APPLICATION FEES	28,700	38,000	38,000	113,750	38,000	38,000	29,950	40,000	
A8020	211503	PLANNING BOARD LAWN SIGN						1,508	467	1,000	
A8020	390200	ST AID PLANNING STUDY	3,307			843	-	-	-	-	
TOTAL PLANNING			32,007	38,000	38,000	114,593	38,000	39,508	30,417	41,000	
8160	SANITATION										
A8160	213001	GARBAGE CAN FEE-CITY SHARE	2,632	1,800	1,800	3,703	2,800	2,800	1,866	2,800	
A8160	213002	ADD A CAN FEE	150	150	150	135	150	150	105	150	
TOTAL SANITATION			2,782	1,950	1,950	3,838	2,950	2,950	1,971	2,950	

2019 CITY OF BEACON BUDGET

GENERAL FUND REVENUE (A)

			2016	2017	2017	2017	2018	2018	2018	2019	
			YTD	ADOPTED	REVISED	YTD	ADOPTED	REVISED	YTD	REQUESTED	
			ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	COMMENTS
			12/31/16		12/31/17	12/31/17		10/01/18	10/01/18		
8189 RECYCLING											
A8189	213000	GARBAGE/RECYCLING CHARGES	52,676	42,000	42,000	44,525	40,000	40,000	30,761	50,000	
A8189	213001	RECYCLING REVENUE	15,321	16,000	16,000	18,132	16,000	4,085	4,084	-	
TOTAL RECYCLING			67,997	58,000	58,000	62,657	56,000	44,085	34,845	50,000	
9950 INTERFUND TRANSFERS											
A9950	503100	INTERFUND TRANSFER						41,113			
TOTAL INTERFUND TRANSFERS			-	-	-	-	-	41,113	-	-	
TOTAL GENERAL REVENUE			19,942,253	9,170,954	19,610,754	19,785,254	19,971,009	20,077,407	20,517,036	9,405,781	

CITY OF BEACON 2019 BUDGET

WATER FUND EXPENSE (F)

		2016	2017	2017	2017	2018	2018	2018	2019	
		YTD	ADOPTED	REVISED	YTD	ADOPTED	REVISED	YTD	REQUESTED	
		ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	COMMENTS
		12/31/16		12/31/17	12/31/17			10/01/18		
1380 FISCAL AGENT FEES										
F1380-461200	FISCAL AGENT FEE	15,322	3,000	3,000	3,000	3,000	3,000	-	10,000	
F1380-461201	FISCAL AGENT FEE-EFC	912	-	-	-	-	-	-	-	
TOTAL FISCAL AGENT FEES		16,234	3,000	3,000	3,000	3,000	3,000	-	10,000	
1420 WATER LEGAL EXPENSES										
F1420-450400	ATTORNEYS	33,450	42,000	42,000	39,619	42,000	42,000	24,641	42,000	
F1420-452000	LABOR ATTORNEY	6,920	-	-	-	-	-	-	-	
TOTAL WATER LEGAL EXPENSES		40,370	42,000	42,000	39,619	42,000	42,000	24,641	42,000	
1680 TECHNOLOGY										
F1680 250000	PURCHASE OF EQUIPMENT	179	700	700	-	2,200	2,200	179	2,100	
F1680 444100	LICENSES	1,826	1,133	1,133	897	1,801	1,801	2,062	1,790	
F1680 452003	IT CONSULTANT	3,006	2,160	2,160	720	3,510	3,510	968	3,600	
TOTAL TECHNOLOGY		5,011	3,993	3,993	1,617	7,511	7,511	3,209	7,490	
1950 TAXES ON CITY PROPERTY										
F1950-468000	TAXES ON CITY PROPERTY	246,375	253,766	248,966	241,597	248,844	248,844	233,107	237,769	
TOTAL TAXES ON CITY PROPERTY		246,375	253,766	248,966	241,597	248,844	248,844	233,107	237,769	
1980 MTA PAYROLL TAX										
F1980.400099	MTA PAYROLL TAX	1,875	2,232	2,232	1,783	2,433	2,433	1,334	2,565	
TOTAL MTA PAYROLL TAX		1,875	2,232	2,232	1,783	2,433	2,433	1,334	2,565	
1990 CONTINGENCY										
F1990-400001	CONTINGENCY FUND	-	9,840	9,840	-	10,000	10,000	-	10,000	
F1990-400004	CONTINGENCY-RETIREMENT	-	-	-	-	-	-	-	59,000	
TOTAL CONTINGENCY		-	9,840	9,840	-	10,000	10,000	-	69,000	

CITY OF BEACON 2019 BUDGET

WATER FUND EXPENSE (F)

		2016	2017	2017	2017	2018	2018	2018	2019	
		YTD	ADOPTED	REVISED	YTD	ADOPTED	REVISED	YTD	REQUESTED	
		ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	COMMENTS
		12/31/16		12/31/17	12/31/17			10/01/18		
8310 WATER ADMINISTRATION										
F8310-250000	EQUIPMENT					450	2,795	-		
F8310-416000	MATERIALS & SUPPLIES	-	450	450	399	300	300	236	350	
F8310-417700	SANITARY AND PAPER SUPPLIES	126	300	284	216	-	-	-		
F8310-423201	INTRUSION ALARM MONITORS	288	300	300	288	350	662	312	662	
F8310-441500	COMPUTER SUPPORT/DATA PROC.SEP	1,666	1,700	1,716	1,716	1,750	2,438	2,437	2,500	
F8310-443200	TRAINING	1,255	1,200	411	195	1,200	512	256	1,200	
F8310-446000	PRINTING	-	1,000	1,000	-	1,000	1,000	200	1,000	
F8310-446006	WATER/SEWER BILL PRINTING	1,447	700	1,433	1,432	1,000	1,000	156	1,000	
F8310-450500	ADMINISTRATION FEE TO GENERAL	225,240	233,700	233,700	233,700	241,520	241,520	-	249,950	
F8310-452000	CONSULTANT					223,853	223,853	129,164	34,000	
F8310-462000	TRAVEL	440	500	500	19	500	500	7	500	
F8310-465000	POSTAGE	4,035	6,160	10,719	10,718	8,000	8,000	7,635	10,000	
F8310-467000	ASSOCIATION DUES	120	500	500	220	220	220	220	220	
TOTAL WATER ADMINISTRATION		234,617	246,510	251,013	248,903	480,143	482,800	140,623	301,382	
8320 WATER SUPPLY										
F8320-422085	SUPPLY ELECTRIC	1,637	1,455	1,752	1,751	2,291	2,291	1,037	1,489	
F8320-424000	WATER FROM OTHER GOVERNMENTS	125,868	230,000	230,000	189,390	175,000	175,000	-	700,000	
TOTAL WATER SUPPLY		127,505	231,455	231,752	191,141	177,291	177,291	1,037	701,489	

CITY OF BEACON 2019 BUDGET

WATER FUND EXPENSE (F)

		2016	2017	2017	2017	2018	2018	2018	2019	
		YTD	ADOPTED	REVISED	YTD	ADOPTED	REVISED	YTD	REQUESTED	
		ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	COMMENTS
		12/31/16		12/31/17	12/31/17			10/01/18		
8330 WATER PURIFICATION										
F8330-101000	REGULAR SALARIES	131,868	157,660	147,160	132,337	187,837	187,837	98,537	183,151	
F8330-105000	OVERTIME	22,257	20,000	30,500	30,500	24,000	24,000	12,823	25,000	
F8330-105200	SICK LEAVE BONUS	200	1,200	1,200	1,200	600	600	600	600	
F8330-105202	ON CALL					6,800	6,800	3,800	5,400	
F8330-112500	MEALS	247	300	300	210	300	300	126	300	
F8330-119000	CLOTHING ALLOWANCE	1,000	1,650	1,650	1,100	1,800	1,800	1,200	1,950	
F8330-190000	SEVERANCE/RETIREMENT PAY	503			-					
F8330-410900	CHEMICALS	37,007	40,000	40,000	28,744	40,000	40,000	15,705	40,000	
F8330-412685	PURIFICATION GAS/OIL FOR HEAT	7,240	7,600	10,413	10,413	11,957	11,957	7,251	11,000	
F8330-416000	MATERIALS & SUPPLIES	1,186	2,000	2,000	1,308	2,000	2,000	424	2,000	
F8330-422045	PURIFICATION ELECTRIC	214,561	207,228	204,415	189,693	226,406	226,406	132,052	218,700	
F8330-423000	TELEPHONES	23,869	2,000	2,000	1,504	2,000	2,000	1,474	2,200	
F8330-423001	CELL PHONES	683	684	684	573	684	2,284	2,284	4,524	
F8330-441300	CHEMICAL ANALYSIS/LAB WORK	9,573	12,000	12,000	10,460	12,000	12,000	9,190	11,000	
F8330-445100	MAINTENANCE OF EQUIPMENT	31,069	46,000	46,000	37,897	45,000	43,400	20,543	40,000	
F8330-820000	SOCIAL SECURITY	11,878	13,832	13,832	12,048	16,932	16,932	8,479	16,555	
TOTAL WATER PURIFICATION		493,141	512,154	512,154	457,987	578,316	578,316	314,488	562,380	

CITY OF BEACON 2019 BUDGET

WATER FUND EXPENSE (F)

WATER FUND EXPENSE (F)		2016	2017	2017	2017	2018	2018	2018	2019	
		YTD	ADOPTED	REVISED	YTD	ADOPTED	REVISED	YTD	REQUESTED	
		ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	COMMENTS
		12/31/16		12/31/17	12/31/17			10/01/18		
8340 WATER DISTRIBUTION										
F8340-100401	SUPERINTENDENT SALARY	40,322	80,000	80,000	-	80,000	80,000	-	86,131	
F8340-101000	REGULAR SALARIES	342,355	365,261	364,513	351,204	377,937	377,937	273,477	401,312	
F8340-103100	TEMPORARY POSITION	6,163	6,250	5,800	5,800	6,250	6,250	5,534	13,250	
F8340-105000	OVERTIME	13,563	14,000	14,450	13,700	16,000	16,000	11,471	20,500	
F8340-105200	SICK LEAVE BONUS	600	1,200	1,200	600	1,200	1,200	600	1,800	
F8340-105202	ON CALL					3,400	3,400	3,800	5,400	
F8340-112500	MEALS	301	200	200	49	200	200	189	200	
F8340-119000	CLOTHING ALLOWANCE	3,000	3,850	3,850	3,850	4,200	4,200	3,600	4,550	
F8340-120000	HEALTH INSURANCE BUY-OUT	2,500	5,000	5,748	5,747	5,000	5,000	481	5,000	
F8340-190000	SEVERANCE/RETIREMENT				-					
F8340-250000	EQUIPMENT	8,599	7,000	10,314	10,313	7,000	7,000	5,697	70,480	
F8340-250031	PURCHASE HYDRANTS	4,834	6,000	5,191	4,264	6,000	6,000	4,452	6,000	
F8340-250400	PURCHASE WATER METERS	19,384	15,000	19,438	19,339	22,000	22,000	12,186	20,000	
F8340-413000	GAS & OIL	9,071	15,870	15,670	11,663	16,085	16,085	11,966	19,387	
F8340-415100	METER PARTS	3,160	23,500	26,014	25,484	10,000	10,000	8,591	10,000	
F8340-416000	MATERIALS & SUPPLIES	10,246	20,000	19,072	11,470	20,000	20,000	7,762	13,000	
F8340-416300	PAINTS	386	500	500	254	500	500	246	500	
F8340-416400	PIPE	798	3,000	3,000	1,789	3,000	3,000	841	3,000	
F8340-417400	ROADSIDE DEVELOPMENT	2,981	6,000	6,683	6,683	6,000	4,900	-	5,000	
F8340-417500	SAFETY SUPPLIES	816	2,000	2,000	965	2,500	2,634	2,465	4,000	
F8340-418600	TUBES & TIRES	2,813	3,000	3,000	1,881	3,000	3,000	1,092	3,000	
F8340-443200	TRAINING	649			-	650	650	-	650	
F8340-445200	MAINTENANCE SERVICE	2,248	3,000	3,000	1,746	3,000	3,000	418	12,980	
F8340-447000	RENTAL OF EQUIPMENT	710	1,000	1,000	651	1,000	1,000	237	1,000	
F8340-447200	REPAIR OF EQUIPMENT	33,503	45,000	35,291	31,417	40,000	39,814	24,776	40,000	
F8340-447300	REPAIR OF REAL PROPERTY			2,795		15,000	15,052	10,000	15,000	
F8340-447700	RENTAL OF RIGHT OF WAY	1,129	1,129	1,129	1,124	1,129	1,129	1,124	1,130	
F8340-454000	ENGINEERS	13,072	10,000	17,500	17,027	10,000	10,000	7,955	10,000	
F8340-454004	ENGINEERS-DAM INSPECTION	-	55,000	64,215	24,272	-	-	4,675		
F8340-457600	LEAK DETECTION					8,500	9,600	9,600		

CITY OF BEACON 2019 BUDGET

WATER FUND EXPENSE (F)

		2016	2017	2017	2017	2018	2018	2018	2019	
		YTD	ADOPTED	REVISED	YTD	ADOPTED	REVISED	YTD	REQUESTED	
		ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	COMMENTS
		12/31/16		12/31/17	12/31/17			10/01/18		
F8340-820000	SOCIAL SECURITY	29,103	36,396	36,396	27,543	37,805	37,805	21,534	41,168	
TOTAL WATER DISTRIBUTION		552,306	729,156	747,969	578,835	707,356	707,356	434,769	814,438	
9010 EMPLOYEES RETIREMENT SYSTEM										
F9010-810000	RETIREMENT	75,369	78,376	78,376	72,279	76,805	76,805	-	76,450	
TOTAL EMPLOYEES RETIREMENT SYSTEM		75,369	78,376	78,376	72,279	76,805	76,805	-	76,450	
9040 WORKERS COMPENSATION										
F9040-830000	WORKERS' COMPENSATION	36,156	36,156	36,156	36,156	39,048	39,048	39,049	42,600	
TOTAL WORKERS COMPENSATION		36,156	36,156	36,156	36,156	39,048	39,048	39,049	42,600	
9055 DISABILITY										
F9055-850000	INSURANCE	777	700	817	816	700	700	350	700	
TOTAL DISABILITY		777	700	817	816	700	700	350	700	
9060 HEALTH INSURANCE										
F9060-840000	HEALTH INSURANCE	274,699	247,538	255,038	312,000	295,035	295,035	157,690	332,083	
F9060-840100	MEDICARE REIMBURSEMENT	1,259	2,720	1,858	1,858	8,447	8,447	1,769	6,730	
F9060-840500	DENTAL	5,040	6,078	6,768	6,767	8,460	8,460	3,456	5,150	
F9060-840600	VISION	921	910	860	859	6,096	6,096	819	1,113	
TOTAL HEALTH INSURANCE		281,919	257,246	264,524	321,484	318,038	318,038	163,734	345,076	

CITY OF BEACON 2019 BUDGET

WATER FUND EXPENSE (F)

		2016	2017	2017	2017	2018	2018	2018	2019	
		YTD	ADOPTED	REVISED	YTD	ADOPTED	REVISED	YTD	REQUESTED	
		ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	COMMENTS
		12/31/16		12/31/17	12/31/17			10/01/18		
9710 SERIAL BONDS										
F9710-601100	2011 (1996 & 2001) PRINCIPAL	188,980	14,519	14,519	14,519	15,265	15,265	15,265	15,450	
F9710-605500	2014 (2005) PRINCIPAL	124,720	128,594	128,594	128,594	135,566	135,566	135,566	139,439	
F9710-605600	2016 PRINCIPAL		155,569	155,569	155,569	157,010	157,010	-	158,451	
F9710-607501	2011 (1998) PRINCIPAL (EFC)	365,000								
F9710-701100	2011 (1996 & 2001) INTEREST	9,547	1,988	1,988	1,988	1,407	1,407	1,407	949	
F9710-705500	2014 (2005) INTEREST	40,682	35,693	35,693	35,693	29,263	29,263	29,264	25,197	
F9710-705600	2016 INTEREST	48,919	102,649	102,649	102,649	99,524	99,524	-	96,369	
F9710-707501	2011 (1998) INTEREST (EFC)	9,567								
TOTAL SERIAL BONDS		787,415	439,012	439,012	439,012	438,035	438,035	181,502	435,855	
9730 BOND ANTICIPATION NOTES										
F9730-607599	BAN Principal	60,000	417,000	417,000	17,000	201,034	201,034	201,034	-	
F9730-707599	BAN Interest	21,848	4,005	4,005	4,013	5,493	5,493	5,493	-	
TOTAL BOND ANTICIPATION NOTES		81,848	421,005	421,005	21,013	206,527	206,527	206,527	-	
9950 INTERFUND TRANSFERS										
F9950-900001	INTERFUND TRANSFER			498,800	498,800					
TOTAL INTERFUND TRANSFERS		-	-	498,800	498,800	-	-	-	-	
TOTAL WATER EXPENSES		2,980,918	3,266,601	3,791,609	3,154,042	3,336,047	3,338,704	1,744,370	3,649,194	

CITY OF BEACON 2019 BUDGET

WATER FUND REVENUE (F)		2016	2017	2017	2017	2018	2018	2018	2019	
		ACTUAL	ADOPTED	REVISED	YTD	ADOPTED	REVISED	YTD	REQUESTED	
			BUDGET	BUDGET	ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	COMMENTS
		12/31/16		12/31/17	12/31/17		10/01/18	10/01/18		
8310 WATER ADMINISTRATION										
F8310-126000-	HEALTH INSURANCE REIMBURSEMENT	32,013	36,703	36,703	30,005	31,380	31,380	26,575	52,670	
F8310-126001	DENTAL INSURANCE	6,468	5,891	5,891	5,856	8,460	8,460	4,828	6,302	
F8310-214000-	WATER RESIDENTIAL & COMMERCIAL	1,948,287	1,838,707	1,838,707	2,061,261	1,838,707	1,838,707	1,135,483	1,930,642	
F8310-214001-	WATER CORRECTIONAL FACILITIES	1,073,326	950,000	950,000	1,112,825	1,000,000	1,000,000	553,426	1,100,000	
F8310-214002-	WATER TOWN OF FISHKILL	478,311	406,000	406,000	496,943	415,000	415,000	235,344	500,000	
F8310-214400-	WATER SERVICE CHARGES	25,586	15,000	19,438	24,408	22,000	22,000	16,591	20,000	
F8310-214800-	WATER PENALTY	62,246	14,000	14,000	71,826	20,000	20,000	18,336	20,000	
F8310-215000	ELECTRIC SALE	-	-	-	-	-	-	-		
F8310-240100-	INTEREST & EARNINGS	598	300	300	954	500	500	5,243	5,000	
F8310-240101-	EFC INTEREST/SUBSIDY	3,189	-	-	-	-	-	-		
F8310-265000-	SALE OF SCRAP/EQUIPMENT						2,657	2,657		
F8310-268000-	INSURANCE RECOVERIES	3,900	-	2,795	2,795	-	-	1,270	-	
TOTAL WATER ADMINISTRATION		3,633,924	3,266,601	3,273,834	3,806,873	3,336,047	3,338,704	1,999,753	3,634,614	
TOTAL WATER REVENUES		3,633,924	3,266,601	3,273,834	3,806,873	3,336,047	3,338,704	1,999,753	3,634,614	

CITY OF BEACON 2019 BUDGET

SEWER FUND EXPENSE (G)		2016	2017	2017	2017	2018	2018	2018	2019	
		ACTUAL	ADOPTED	REVISED	YTD	ADOPTED	REVISED	YTD	REQUESTED	
			BUDGET	BUDGET	ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	COMMENTS
		12/31/16		12/31/17	12/31/17		10/01/18	10/01/18		
1380 FISCAL AGENT FEES										
G1380-461200	FISCAL AGENT FEE	27,678	10,000	10,000	10,000	10,000	15,508	15,508	10,000	
G1380-461201	FISCAL AGENT FEE-EFC	2,024	1,712	1,712	1,712	1,386	1,386	1,386	1,050	
TOTAL FISCAL AGENT FEES		29,702	11,712	11,712	11,712	11,386	16,894	16,894	11,050	
1420 SEWER LEGAL EXPENSES										
G1420-450400	ATTORNEYS	48,733	52,000	52,000	49,434	52,000	52,000	32,776	52,000	
G1420-452000	LABOR ATTORNEY	6,920	-	-	-	-	-	-	-	
TOTAL LEGAL EXPENSES		55,653	52,000	52,000	49,434	52,000	52,000	32,776	52,000	
1680 TECHNOLOGY										
G1680 250000	EQUIPMENT	1,943	1,650	1,650	-	400	400	-	600	
G1680 444100	LICENSE AND PERMITS	854	1,648	1,648	854	2,506	2,506	1,629	1,730	
G1680 452003	IT CONSULTANT	6,939	4,050	4,050	428	5,400	5,400	473	3,600	
TOTAL TECHNOLOGY		9,736	7,348	7,348	1,282	8,306	8,306	2,102	5,930	
1980 MTA PAYROLL TAX										
G1980-400099	MTA PAYROLL TAX	2,189	2,473	2,473	2,369	2,660	2,660	1,815	2,783	
TOTAL MTA PAYROLL TAX		2,189	2,473	2,473	2,369	2,660	2,660	1,815	2,783	
1990 CONTINGENCY										
G1990-400001	CONTINGENCY FUND	-	107,500	86,500	-	75,000	-	-	75,000	
G1990-400004	CONTINGENCY FUND - RETIR	-	9,200	9,200	-					
TOTAL CONTINGENCY		-	116,700	95,700	-	75,000	-	-	75,000	
8110 SEWER ADMINISTRATION										
G8110-450500	ADMINISTRATION FEE TO GEN	243,160	215,790	215,790	215,790	216,800	216,800	-	224,670	
TOTAL SEWER ADMINISTRATION		243,160	215,790	215,790	215,790	216,800	216,800	-	224,670	

CITY OF BEACON 2019 BUDGET

SEWER FUND EXPENSE (G)		2016	2017	2017	2017	2018	2018	2018	2019	
		ACTUAL	ADOPTED	REVISED	YTD	ADOPTED	REVISED	YTD	REQUESTED	
			BUDGET	BUDGET	ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	COMMENTS
		12/31/16		12/31/17	12/31/17		10/01/18	10/01/18		
8120 SANITARY SEWER										
G8120-250000	PURCHASE EQUIPMENT	40	3,000	3,000	813	3,000	1,000	-	1,000	
G8120-416000	MATERIALS & SUPPLIES	1,007	4,500	4,149	695	4,500	4,464	2,913	4,500	
G8120-422075	SANITARY SEWER ELECTRIC	437	447	447	403	484	484	258	365	
G8120-447000	RENTAL OF EQUIPMENT	-	3,000	3,000	-	3,000	3,000	3,000	3,000	
G8120-447200	REPAIR OF EQUIPMENT	2,075	5,000	4,868	2,826	12,000	12,036	11,073	12,000	
G8120-454000	ENGINEERS	2,208	2,000	2,132	2,131	2,000	4,000	1,196	4,000	
TOTAL SANITARY SEWER		5,767	17,947	17,596	6,868	24,984	24,984	18,440	24,865	
8130 WATER POLLUTION CONTROL										
G8130-100401	SUPERINTENDENT SALARY	40,323	81,981	81,981	81,193	84,031	84,031	61,407	80,000	
G8130-101000	REGULAR SALARIES	503,069	543,606	509,387	507,903	569,198	569,198	414,382	604,568	
G8130-103100	TEMPORARY POSITION								7,000	
G8130-105000	OVERTIME	106,480	90,000	141,000	133,164	110,000	110,000	72,519	110,000	
G8130-105200	SICK LEAVE BONUS	600	4,200	4,200	4,200	4,206	4,206	3,600	3,000	
G8130-112500	MEALS	4,930	2,200	4,460	4,347	4,000	4,000	1,309	2,500	
G8130-119000	CLOTHING ALLOWANCE	4,225	5,500	5,187	4,675	6,000	6,000	6,000	6,500	
G8130-120000	HEALTH BUYOUT	1,501	-	2,272	2,271	5,000	5,000	2,500	5,000	
G8130-190000	SEVERANCE/RETIREMENT PA	9,289	-	-	-					
G8130-250000	PURCHASE EQUIPMENT	23,186	40,000	40,000	26,092	35,000	35,000	13,549	35,000	
G8130-410900	CHEMICALS	29,809	100,000	100,000	64,483	100,000	100,000	51,741	100,000	
G8130-410901	CARBON FILTERS	39,500	-	-	-	25,000	25,000	24,870	26,000	
G8130-411000	CLEANING SUPPLIES	1,434	1,200	1,305	1,305	2,000	2,000	1,739	2,200	
G8130-412680	WPC GAS/OIL FOR HEAT	3,535	7,500	7,500	5,266	9,846	9,846	4,036	9,850	
G8130-413000	GAS & DIESEL	1,615	1,876	1,876	1,775	2,092	2,092	1,370	2,600	
G8130-413002	VEHICLE OIL	929	1,000	1,000	-	1,000	1,000	-	1,000	
G8130-414500	LAB SUPPLIES	2,754	3,000	3,000	2,336	10,000	10,000	7,809	10,500	
G8130-414700	LIGHT BULBS	-	1,000	1,000	-	-	-	-		
G8130-415400	TOOLS	3,944	1,000	1,000	696	1,000	1,000	-	1,000	
G8130-416000	MATERIALS & SUPPLIES	3,406	2,500	2,500	1,764	3,000	3,000	2,595	3,500	

CITY OF BEACON 2019 BUDGET

SEWER FUND EXPENSE (G)		2016	2017	2017	2017	2018	2018	2018	2019	
		ACTUAL	ADOPTED	REVISED	YTD	ADOPTED	REVISED	YTD	REQUESTED	
			BUDGET	BUDGET	ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	COMMENTS
		12/31/16		12/31/17	12/31/17		10/01/18	10/01/18		
G8130-416300	PAINTS	-	500	500	-	500	500	-	500	
G8130-417500	SAFETY SUPPLIES	1,993	2,000	1,850	601	2,500	2,500	974	15,000	
G8130-417700	SANITARY AND PAPER SUPPL	318	800	695	302	850	850	70	850	
G8130-422065	WPC ELECTRIC	192,029	188,989	188,589	181,901	218,971	216,616	110,132	196,000	
G8130-423000	TELEPHONES	1,865	1,700	2,197	2,196	1,800	1,800	1,637	2,200	
G8130-423001	CELL PHONES	667	480	630	578	684	684	422	684	
G8130-441300	CHEMICAL ANALYSIS/LAB WO	12,120	12,000	17,450	17,450	15,000	15,000	9,495	16,000	
G8130-443200	TRAINING	-	500	1,500	1,145	1,500	1,500	-	1,500	
G8130-444100	PROFESSIONAL LICENSE FEE	15,760	16,000	16,000	15,950	17,000	17,000	15,671	17,500	
G8130-444103	DEC FINES	-	-	-	-			-		
G8130-445100	MAINTENANCE OF EQUIPMEN	11,701	15,000	13,382	10,967	18,000	18,000	9,227	18,952	
G8130-446006	PRINTING BILLS	1,558	1,000	1,433	1,432	1,018	1,018	156	1,018	
G8130-446600	REFUSE REMOVAL	665,287	630,000	622,500	470,785	640,000	640,000	361,397	640,000	
G8130-447200	REPAIR OF EQUIPMENT	106,976	124,000	119,543	81,070	110,000	110,000	44,693	120,000	
G8130-447211	PROJECTS	53,033	70,000	65,485	54,532	70,000	205,684	205,940	20,900	
G8130-454000	ENGINEERS	6,120	40,000	340,000	229,685	40,000	40,000	40,602	25,000	
G8130-462000	TRAVEL	130	250	1,250	711	1,250	1,250	1	1,250	
G8130-465000	POSTAGE	4,100	4,100	4,143	4,142	4,100	4,100	3,104	4,100	
G8130-820000	SOCIAL SECURITY	49,231	55,653	55,653	53,841	59,856	59,856	40,823	62,620	
TOTAL WATER POLLUTION CONTROL		1,903,417	2,049,535	2,360,468	1,968,758	2,174,402	2,307,731	1,513,770	2,154,292	

CITY OF BEACON 2019 BUDGET

SEWER FUND EXPENSE (G)		2016	2017	2017	2017	2018	2018	2018	2019	
		ACTUAL	ADOPTED	REVISED	YTD	ADOPTED	REVISED	YTD	REQUESTED	
			BUDGET	BUDGET	ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	COMMENTS
		12/31/16		12/31/17	12/31/17		10/01/18	10/01/18		
9010 EMPLOYEES RETIREMENT SYSTEM										
G9010-810000	RETIREMENT	106,466	100,464	102,102	102,101	98,450	98,450	-	97,996	
TOTAL EMPLOYEES RETIREMENT SYSTEM		106,466	100,464	102,102	102,101	98,450	98,450	-	97,996	
9040 WORKERS COMPENSATION										
G9040-830000	WORKERS' COMPENSATION	36,156	36,156	36,156	36,156	39,048	39,048	39,048	42,600	
TOTAL WORKERS COMPENSATION		36,156	36,156	36,156	36,156	39,048	39,048	39,048	42,600	
9055 DISABILITY										
G9055-850000	INSURANCE	412	600	710	710	600	600	352	600	
TOTAL DISABILITY		412	600	710	710	600	600	352	600	
9060 HEALTH INSURANCE										
G9060-840000	HEALTH INSURANCE	489,509	448,711	455,661	497,483	391,823	391,823	297,587	416,471	
G9060-840100	MEDICARE REIMBURSEMENT	1,259	5,238	6,343	6,343	15,818	15,401	6,656	16,662	
G9060-840500	DENTAL	4,618	4,269	4,852	4,851	5,558	5,975	5,975	9,285	
G9060-840600	VISION	1,344	1,466	1,443	1,442	1,466	1,466	1,302	1,714	
TOTAL HEALTH INSURANCE		496,730	459,684	468,299	510,119	414,665	414,665	311,520	444,132	
9710 SERIAL BONDS										
G9710-601100	2011 (2001) PRINCIPAL	67,117	68,883	68,883	68,883	72,416	72,416	72,416	73,299	
G9710-605500	2014 (2005) PRINCIPAL	110,585	114,020	114,020	114,020	120,201	120,201	120,201	123,636	
G9710-605600	2016 PRINCIPAL		262,354	262,354	262,354	264,783	264,783	-	267,210	
G9710-605700	2018 PRINCIPAL								116,188	
G9710-608000	2012 (2002) PRINCIPAL	125,000	130,000	130,000	130,000	135,000	135,000	135,000	135,000	
G9710-701100	2011 (2001) INTEREST	12,116	9,432	9,432	9,432	6,676	6,676	6,676	4,504	
G9710-705500	2014 (2005) INTEREST	36,072	31,648	31,648	31,648	25,947	25,947	25,947	22,341	
G9710-705600	2016 INTEREST	82,496	173,107	173,107	173,107	167,836	167,836	-	162,516	
G9710-705700	2018 INTEREST								113,024	
G9710-708000	2012 (2002) INTEREST	36,366	30,414	30,414	30,414	24,070	24,070	24,070	17,472	
TOTAL SERIAL BONDS		469,752	819,858	819,858	819,858	816,929	816,929	384,310	1,035,190	

CITY OF BEACON 2019 BUDGET

SEWER FUND EXPENSE (G)		2016	2017	2017	2017	2018	2018	2018	2019	
		ACTUAL	ADOPTED	REVISED	YTD	ADOPTED	REVISED	YTD	REQUESTED	
			BUDGET	BUDGET	ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	COMMENTS
		12/31/16		12/31/17	12/31/17		10/01/18	10/01/18		
9730 BOND ANTICIPATION NOTES										
G9730-607599	BAN Principal	171,970	68,940	68,940	68,940	116,754	116,754	116,754	-	
G9730-707599	BAN Interest	41,828	29,276	29,331	29,331	40,762	40,762	40,762	-	
TOTAL BOND ANTICIPATION NOTES		213,798	98,216	98,271	98,271	157,516	157,516	157,516	-	
9950 INTERFUND TRANSFERS										
G9950-900001	INTERFUND TRANSFER	-	-	1,456,690	1,456,690	-	-	-	-	
TOTAL INTERFUND TRANSFERS		-	-	1,456,690	1,456,690	-	-	-	-	
TOTAL SEWER EXPENSES		3,572,938	3,988,483	5,745,173	5,280,118	4,092,747	4,156,583	2,478,543	4,171,109	

CITY OF BEACON 2019 BUDGET










SEWER FUND REVENUE (G)		2016	2017	2017	2017	2018	2018	2018	2019	
		ACTUAL	ADOPTED	REVISED	YTD	ADOPTED	REVISED	YTD	REQUESTED	
			BUDGET	BUDGET	ACTUAL	BUDGET	BUDGET	ACTUAL	BUDGET	COMMENTS
		12/31/16		12/31/17	12/31/17		10/01/18	10/01/18		
8110 SEWER ADMINISTRATION										
G8110-126000	HEALTH INSURANCE REIMBURSEMENT	25,011	28,765	28,765	38,695	34,496	34,496	33,260	50,733	
G8110-126001	DENTAL INSURANCE	8,194	9,616	9,616	9,615	10,084	10,084	7,327	10,536	
G8110-212000	SEWER RENTS	920,902	971,544	971,544	1,079,303	1,068,698	1,068,698	499,117	1,175,568	
G8110-212001	CORRECTIONAL FACILITY	926,882	890,000	890,000	794,571	890,000	890,000	414,077	850,000	
G8110-212003	TOWN OF FISHKILL SEWER	980,297	1,010,000	1,010,000	1,086,845	1,010,000	1,010,000	652,342	1,010,000	
G8110-212007	BEACON SCHOOL BUS GARAGE	109			409			178	-	
G8110-212008	DUTCHESS STADIUM SEWER	7,574	2,800	2,800	3,570	2,800	2,800	1,252	-	
G8110-212009	DC TRANSPORT CENTER SEWER	177			127			355	-	
G8110-212800	SEWER PENALTY	4,025	4,000	4,000	5,224	4,000	4,000	5,793	5,000	
G8110-240100	INTEREST & EARNINGS	891	600	600	867	700	700	1,850	1,800	
G8110-240101	EFC INTEREST/SUBSIDY	28,105	25,158	25,158	25,158	21,969	21,969	21,969	17,472	
G8110-268000	INSURANCE RECOVERIES		-	-	-					
TOTAL SEWER ADMINISTRATION		2,902,167	2,942,483	2,942,483	3,044,384	3,042,747	3,042,747	1,637,520	3,121,109	
8130 WATER POLLUTION CONTROL										
G8130-212200	HAULER FEES	345,938	240,000	240,000	445,078	300,000	300,000	264,928	300,000	
G8130-212201	NEW WINDSOR TREATMENT	151,087	170,000	170,000	140,633	150,000	150,000	114,750	150,000	
G8130-212204	HAULER FEES BILLED MONTHLY	597,451	636,000	636,000	584,425	600,000	600,000	255,087	600,000	
TOTAL WATER POLLUTION CONTROL		1,094,476	1,046,000	1,046,000	1,170,136	1,050,000	1,050,000	634,765	1,050,000	
9950 INTERFUND TRANSFERS										
G9950-503100	INTERFUND TRANSFERS						5,508	-	-	
TOTAL INTERFUND TRANSFERS							5,508	-		
TOTAL SEWER REVENUES		3,996,643	3,988,483	3,988,483	4,214,520	4,092,747	4,098,255	2,272,285	4,171,109	

Property Tax Cap

Form Status: **Unsubmitted**Step 14 of 15 - Summary



Please review this summary screen for accuracy and make any necessary changes before submitting on the next screen. Although the form assists you with the levy limit calculation, it is your responsibility to ensure the accuracy of all elements used in determining your tax levy limit.

Tax Levy Limit, Before Adjustments and Exclusions

 Real Property Tax Levy FYE 12/31/2018	\$10,593,191
 Tax Cap Reserve Offset from FYE 2017 Used to Reduce 2018 Levy	\$0
 Total Tax Cap Reserve Amount (Including Interest Earned) from FYE 2018	---
 Tax Base Growth Factor	1.0148
 PILOTs Receivable FYE 12/31/2018	\$214,983
 Tort Exclusion Amount Claimed in FYE 12/31/2018	\$0
 Allowable Levy Growth Factor	1.0200
 PILOTs Receivable FYE 12/31/2019	\$220,071
 Available Carryover from FYE 12/31/2018	---

Tax Levy Limit Before Adjustments/Exclusions	\$10,964,181
---	---------------------

Adjustments for Transfer of Local Government Functions

 Costs Incurred from Transfer of Local Government Functions	\$0
 Savings Realized from Transfer of Local Government Functions	\$0
Total Adjustments	\$0

Tax Levy Limit, Adjusted for Transfer of Local Government Functions	\$10,964,181
--	---------------------

Exclusions

 Tort Exclusion	\$0
 Teachers' Retirement System Exclusion	\$0
 Employees' Retirement System Exclusion	\$0
 Police and Fire Retirement System Exclusion	\$0
Total Exclusions	\$0

Your FYE 2019 Tax Levy Limit, Adjusted for Transfers plus Exclusions	\$10,964,181
---	---------------------

 Total Tax Cap Reserve Amount Used to Reduce 2019 Levy	---
 FYE 2019 Proposed Levy, Net of Reserve	\$10,964,181

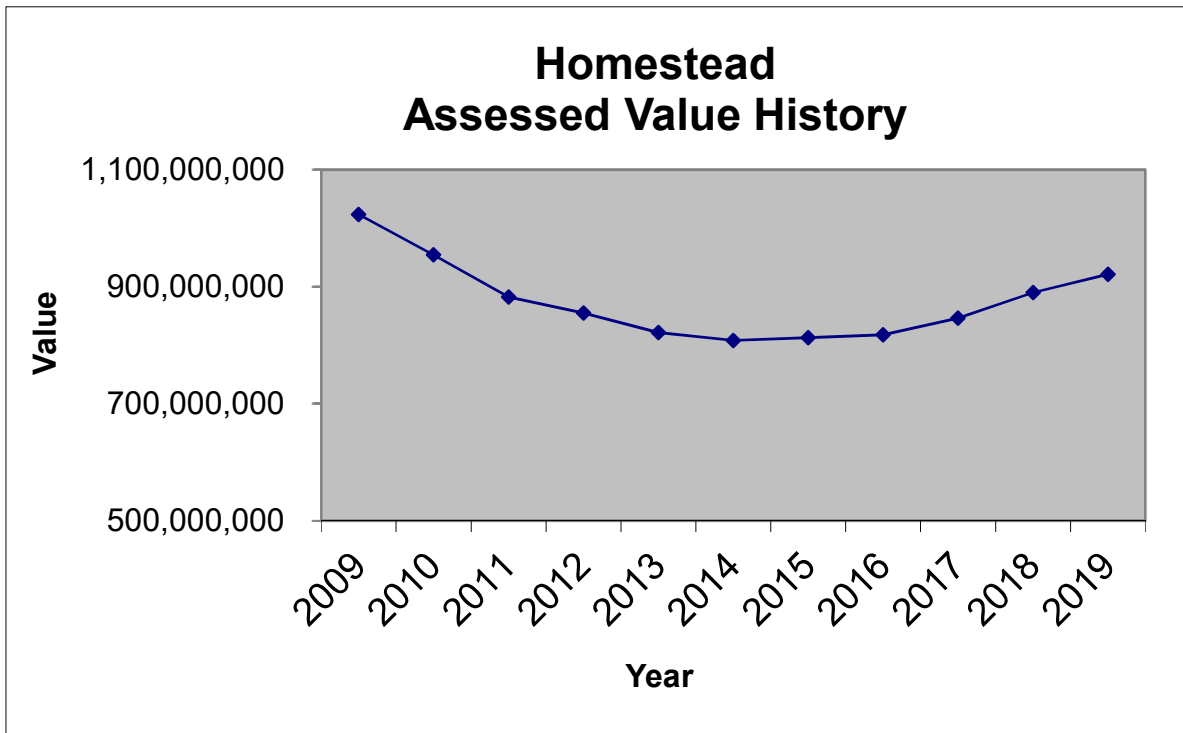
Difference Between Tax Levy Limit and Proposed Levy	\$0
--	------------

 Do you plan to override the Tax Cap in 2019?	No
--	----

TAX CAP INCREASE: \$370,990

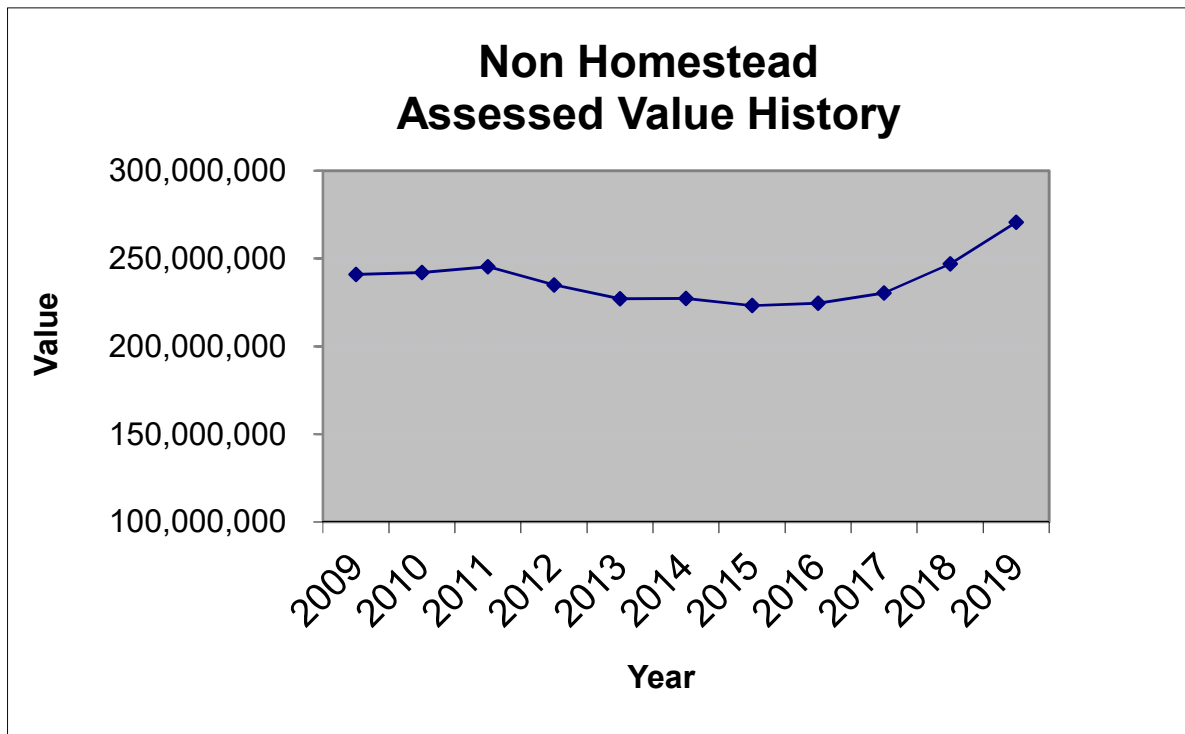
**CITY OF BEACON
HOMESTEAD
ASSESSED VALUES
2009-2019**

YEAR	VALUE
2009	1,023,370,264
2010	954,444,766
2011	882,174,740
2012	855,098,018
2013	821,822,287
2014	808,113,801
2015	813,005,888
2016	817,959,464
2017	846,174,024
2018	890,121,552
2019	920,980,615 as of 9/21/18



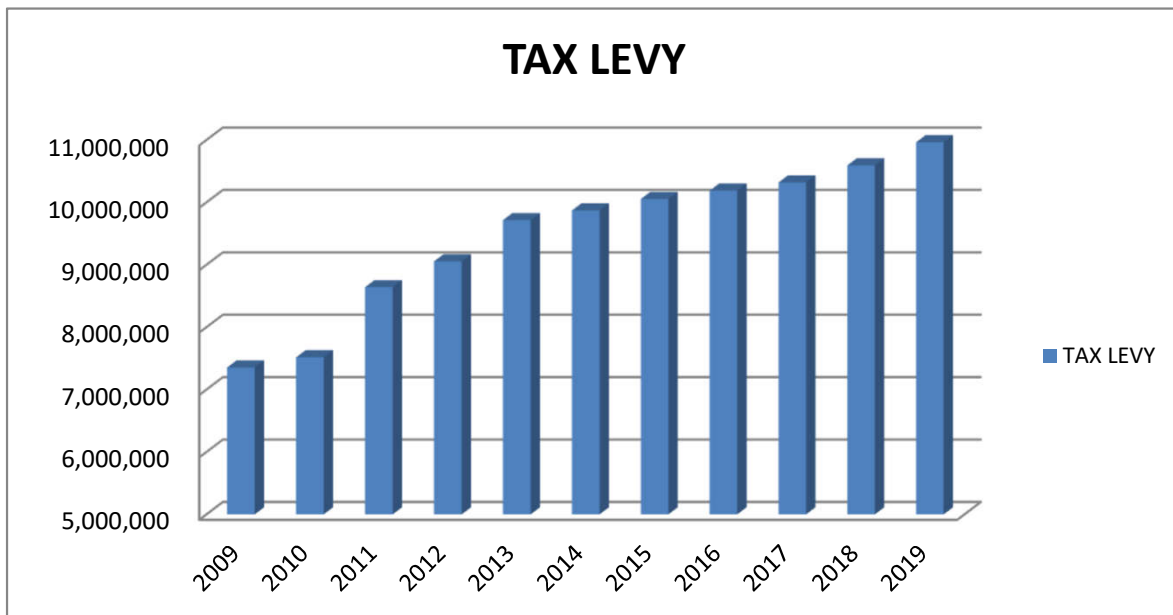
**CITY OF BEACON
NON HOMESTEAD
ASSESSED VALUES
2009-2019**

Tax YEAR	VALUE
2009	241,001,577
2010	242,091,873
2011	245,365,328
2012	234,984,661
2013	227,050,371
2014	227,215,482
2015	223,226,443
2016	224,589,575
2017	230,385,626
2018	246,894,305
2019	270,710,226 as of 9/21/18



**CITY OF BEACON
TAX LEVY
HISTORY
2009-2019**

YEAR	LEVY AMOUNT	FUND BALANCE TO OFFSET LEVY
2009	7,354,284	1,250,000
2010	7,517,571	1,261,902
2011	8,640,748	600,000
2012	9,055,118	500,000
2013	9,716,109	500,000
2014	9,871,042	500,000
2015	10,054,918	400,000
2016	10,188,230	247,500
2017	10,319,219	162,980
2018	10,593,191	148,317
Proposed 2019	10,964,181	325,766



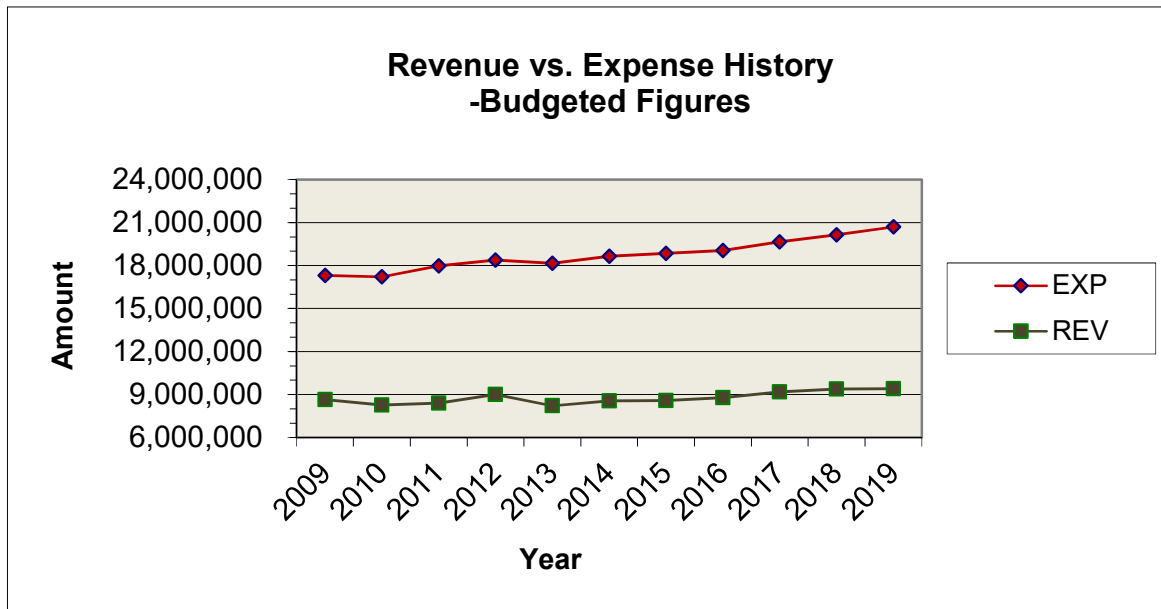
**CITY OF BEACON
GENERAL FUND
BUDGETED REVENUE vs. EXPENSE HISTORY
2009-2019**

EXPENSE BUDGET

REVENUE BUDGET

(without tax levy)

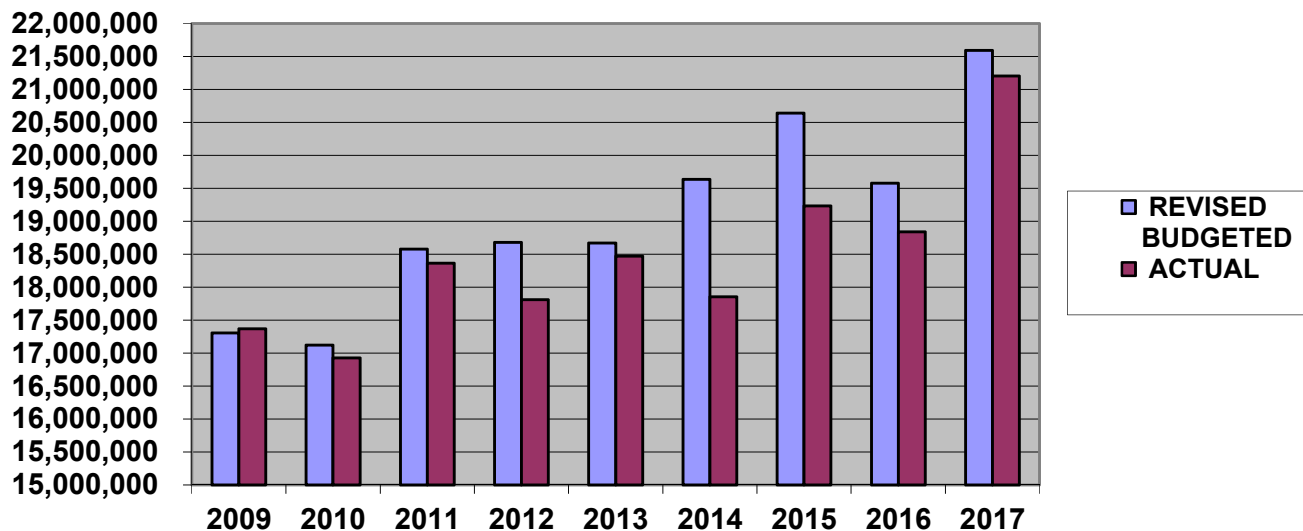
	YEAR	AMOUNT	% INCREASE (DECREASE)		YEAR	AMOUNT	% INCREASE (DECREASE)
	2009	17,307,152			2009	8,639,236	
	2010	17,213,829	-0.54%		2010	8,276,885	-4.19%
	2011	17,978,372	4.44%		2011	8,397,973	1.46%
	2012	18,392,638	2.30%		2012	8,994,263	7.10%
	2013	18,157,204	-1.28%		2013	8,210,774	-8.71%
	2014	18,660,746	2.77%		2014	8,551,508	4.15%
	2015	18,855,163	1.04%		2015	8,578,889	0.32%
	2016	19,062,665	1.10%		2016	8,777,590	2.32%
	2017	19,653,153	3.10%		2017	9,170,954	4.48%
	2018	20,143,593	2.50%		2018	9,377,818	2.26%
Anticipated	2019	20,695,728	2.74%		2019	9,405,781	0.30%



**CITY OF BEACON
GENERAL FUND
REVISED BUDGETED vs. ACTUAL EXPENSES
2009-2017**

REVISED BUDGETED EXPENSES			ACTUAL EXPENSES		
YEAR	AMOUNT	% INCREASE (DECREASE)	YEAR	AMOUNT	% INCREASE (DECREASE)
2009	17,307,152		2009	17,366,960	
2010	17,119,990	-1.08%	2010	16,927,806	-2.53%
2011	18,576,697	8.51%	2011	18,362,395	8.47%
2012	18,677,813	0.54%	2012	17,812,128	-3.00%
2013	18,670,176	-0.04%	2013	18,471,844	3.70%
2014	19,638,447	5.19%	2014	17,854,996	-3.34%
2015	20,642,503	5.11%	2015	19,232,749	7.72%
2016	19,579,938	-5.15%	2016	18,837,931	-2.05%
2017	21,594,681	10.29%	2017	21,206,826	12.58%

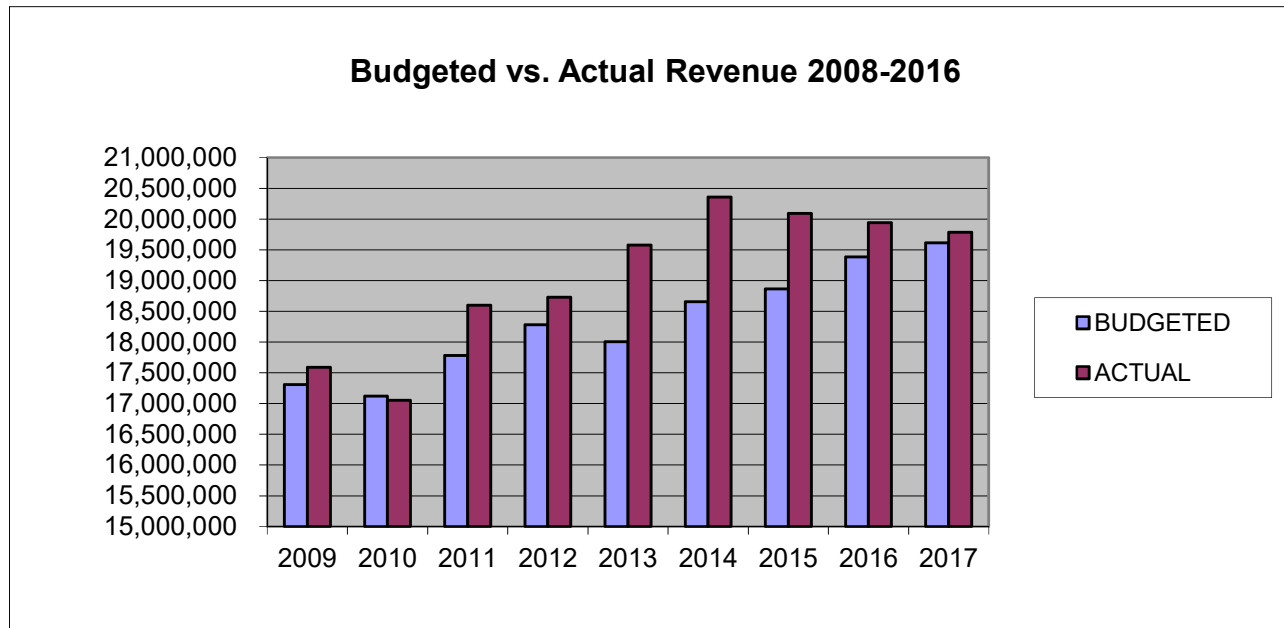
Budgeted vs. Actual Expense 2009-2017



Budget reflects final revised budget.

**CITY OF BEACON
GENERAL FUND
BUDGETED vs. ACTUAL REVENUES
2009-2017**

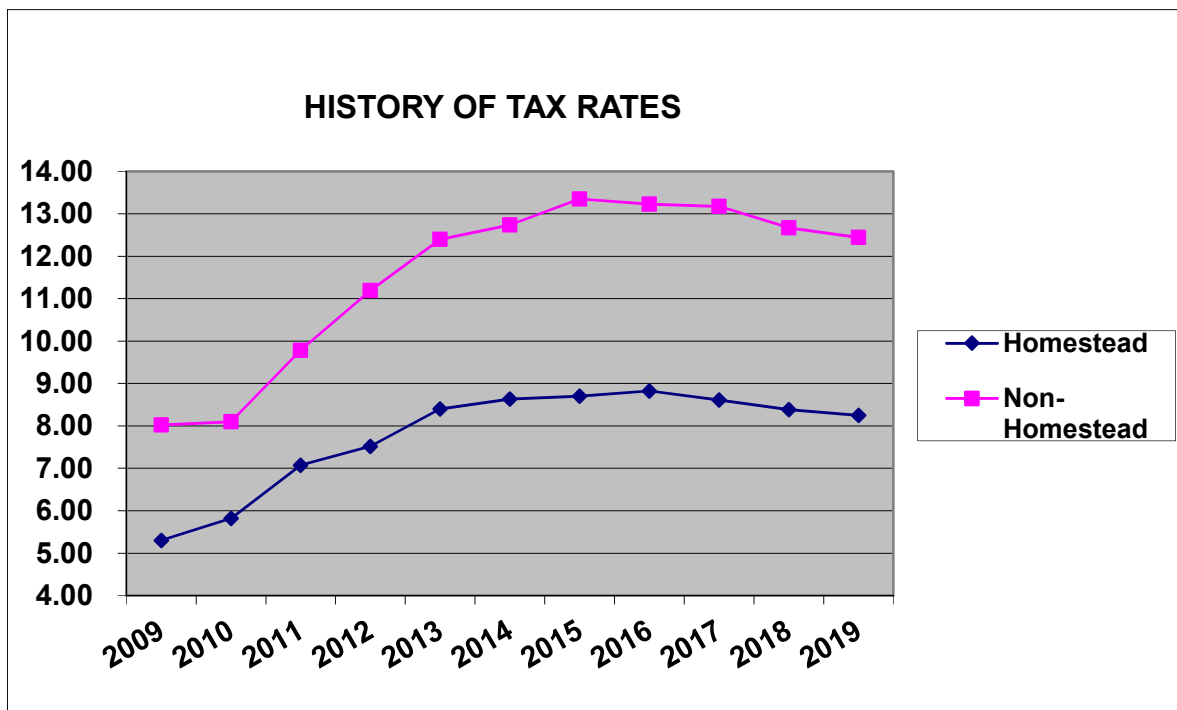
BUDGETED REVENUES (includes tax levy)			ACTUAL REVENUES		
YEAR	AMOUNT	% INCREASE (DECREASE)	YEAR	AMOUNT	% INCREASE (DECREASE)
2009	17,307,152		2009	17,586,736	
2010	17,119,990	-1.08%	2010	17,055,223	-3.02%
2011	17,783,201	3.87%	2011	18,599,242	9.05%
2012	18,278,889	2.79%	2012	18,729,604	0.70%
2013	18,003,967	-1.50%	2013	19,577,441	4.53%
2014	18,654,572	3.61%	2014	20,356,882	3.98%
2015	18,865,279	1.13%	2015	20,094,273	-1.29%
2016	19,385,715	2.76%	2016	19,942,253	-0.76%
2017	19,610,754	1.16%	2017	19,783,253	-0.80%



Budget reflects final revised budget.

CITY OF BEACON HISTORY OF TAX RATES 2009-2019

Homestead		Non-Homestead	
YEAR	RATE	YEAR	RATE
2009	5.30	2009	8.02
2010	5.82	2010	8.10
2011	7.07	2011	9.78
2012	7.52	2012	11.19
2013	8.40	2013	12.40
2014	8.63	2014	12.73
2015	8.70	2015	13.35
2016	8.82	2016	13.23
2017	8.61	2017	13.17
2018	8.39	2018	12.67
Anticipated 2019	8.25	2019	12.44



NUMBER OF EMPLOYEES PER DEPARTMENT - ALLFUNDS

Department	ACTUAL AT YEAR END							Budgeted 2016	Budgeted 2017	Budgeted 2018	Budgeted 2019	Budget to Budget Change
	2009	2010	2011	2012	2013	2014	2015					
Administrator	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	-
Assessor	1.0	1.0	0.5	0.5	0.5	0.5	0.5	0.5	0.5	0.5	0.5	-
Building	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0	4.0	***
City Clerk	3.0	3.0	3.0	3.0	3.0	1.0	1.0	1.0	1.0	1.0	1.0	-
Council	6.0	6.0	6.0	6.0	6.0	6.0	6.0	6.0	6.0	6.0	6.0	-
Finance	3.5	3.5	3.0	3.0	3.0	5.0	5.0	5.0	5.0	5.0	5.0	-
Fire	13.0	13.0	13.0	13.0	13.0	14.0	14.0	14.0	14.0	14.0	14.0	-
Highway	18.0	16.0	14.0	14.0	14.0	14.0	15.0	15.0	15.0	16.0	17.0	**
Mayor	2.0	2.0	2.0	1.5	2.0	2.0	2.0	2.0	2.0	2.0	2.0	-
Park	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	-
Police	35.0	35.0	35.0	31.0	31.0	32.0	34.0	34.0	35.0	36.0	36.0	-
Police Office	2.0	2.0	2.0	3.0	3.0	3.0	2.5	3.0	3.0	3.0	3.0	*
Public Buildings	1.0	1.0	1.0	1.0	1.0	1.5	1.0	1.0	1.0	1.0	1.0	-
Recreation	0.5	0.5	0.5	0.5	0.5	1.0	1.5	1.5	3.0	3.5	3.5	-
Recycle	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0	2.0	1.5	**
Water	10.0	8.0	7.0	9.0	10.0	9.0	8.0	10.0	11.0	11.0	11.0	-
Sewer	13.0	11.0	10.0	9.0	10.0	9.0	11.0	11.0	11.0	11.0	11.0	-
Totals	118.0	112.0	107.0	104.5	107.0	108.0	111.5	114.0	117.5	119.0	120.5	1.5

* 2 part time dispatchers = 1 FTE

** Reclass of actual location of employees, from recycle to highway, add PT in Recycle

*** In 2019, adding in Building Inspector and keeping 13th Firefighter position previously occupied by Lt. Dexter

**CITY OF BEACON
2019
TENTATIVE BUDGET SUMMARY**

ARTICLE NO. 362 BE IT ORDAINED BY THE COUNCIL OF THE CITY OF BEACON THAT THE FOLLOWING SUM COMPRISING THE ANNUAL APPROPRIATION ORDINANCE FOR THE YEAR 2019 BE AND THE SAME IS HEREBY APPROPRIATED TO MEET THE AMOUNT OF MONEY FOR THE YEAR 2019.

DATE:	October 9, 2018		5% increase	10% increase
		<u>GENERAL</u>	<u>WATER</u>	<u>SEWER</u>
APPROPRIATIONS		20,695,728	3,649,194	4,171,109
TOTAL REVENUE		9,405,781	3,634,614	4,171,109
BALANCE OF APPROPRIATIONS		11,289,947	14,580	-
ADDITIONAL FUNDING NEEDED (Part of tax levy)				
(Will be fund balance appropriation)				
Appropriated from Debt Reserve		(1,623)	(14,580)	
Appropriated from Fund Balance		(324,143)	-	-
Tax Levy:		10,964,181		
Allowable levy at tax cap	10,964,181			
EXCESS LEVY PER TAX CAP		-		
Adjusted Tax Levy Distribution		HOMESTEAD	NON-HOMESTEAD	TOTALS
		7,604,764	3,359,417	10,964,181
Base Proportion:		69.360070	30.639930	100.00
Rates:		2019 Tax Rates	8.257246	12.409643
		2018 Tax Rates	8.386328	12.670766
	Percentage Decrease		-1.5392%	-2.0608%
Assessed Values:				
9/21/18 - TENTATIVE ROLL		920,980,615	270,710,226	1,191,690,841
12/12/17 - FINAL ROLL		890,121,552	246,894,305	1,137,015,857
	Percentage Increase/(Decrease)	3.47%	9.65%	4.81%
	Dollar change	30,859,063	23,815,921	54,674,984

City of Beacon Workshop Agenda
10/9/2018

Title:

Base proportions

Subject:

Background:

ATTACHMENTS:

Description	Type
2018 Beacon base proportions	Backup Material

*****										*****									
* RP-6701		NEW YORK STATE OFFICE OF REAL PROPERTY SERVICES										10/03/18				*****			
		16 SHERIDAN AVENUE, ALBANY, NY 12210-2714														*****			
		CERTIFICATE OF BASE PERCENTAGES, CURRENT PERCENTAGES AND														*****			
		CURRENT BASE PROPORTIONS PURSUANT TO ARTICLE 19, RPTL, FOR THE														*****			
		LEVY OF TAXES ON TH 2018 ASSESSMENT ROLL														*****			
*****		*****										*****				*****			
* Approved Assessing Unit		City of Beacon, 130200														*****			
* Name of Portion		City of Beacon, 130200														*****			
		-----														*****			
		DETERMINATION OF BASE PERCENTAGES														*****			
* Section I																*****			
	(A)	(B)	(C)	(D)												*****			
	1991	1995	Estimated	Base												*****			
	Taxable	Class	Market	Percentages												*****			
	Assessed Value	Equalization Rate	Value													*****			
* Class			A/(B/100)	(C/sum of C)												*****			

* Homestead	217,426,298	53.72	404,739,944	76.7080												*****			

* Nonhomestea	59,052,189	48.05	122,897,376	23.2920												*****			

* Total	276,478,487		527,637,320	100.0000												*****			

		-----														*****			
		DETERMINATION OF CURRENT PERCENTAGES														*****			
* Section II																*****			
	(E)	(F)	(G)	(H)												*****			
	2017	2017	Estimated	Current												*****			
	Taxable	Class	Market	Percentages												*****			
	Assessed Value	Equalization Rate	Value													*****			
* Class	including		E/(F/100)	(G/sum of G)												*****			
	Special Franchise															*****			
* Homestead	889,774,212	100.00	889,774,212	78.47174												*****			

* Nonhomestea	244,104,305	100.00	244,104,305	21.52826												*****			

* Total	1,133,878,517		1,133,878,517	100.00000												*****			

		-----														*****			
		DETERMINATION OF CURRENT BASE PROPORTIONS														*****			
* Section III																*****			
	(I)	(J)	(K)	(L)	(M)	(N)	(O)								*****				
	Local Base	Updated	Prospective	Adusted	% difference	Maximum	Current								*****				
	Proportion	Local Base	Current Base	Base Proportion	between prior	Current	Base Proportions								*****				
	for the	Proportion	Proportion	used for	Adjusted	Base Proportion									*****				
	1992		Part (J)	Prior Tax Levy	Base Proportion										*****				
	Assessment Roll		Prorated		and Prospective										*****				
			to 100.00		Current										*****				
* Class		I*(H/D)	(J/sum of J)		Base Proportion	(L*1.05)									*****				
					((K/L)-1*100)										*****				
* Homestead	68.89	70.47400	71.02212	70.85939	0.23	71.02212									*****				

* Nonhomestea	31.11	28.75424	28.97788	29.14061	-0.56	28.97788									*****				

* Total	100.00	99.22823	100.00000	100.00000		100.00000									*****				
*****		*****										*****				*****			

*****										*****											
										CERTIFICATION										*****	

Ratio
CBPH to CPH
0.905066196

RP-6703	NEW YORK STATE OFFICE OF REAL PROPERTY SERVICES 16 SHERIDAN AVENUE, ALBANY, NY 12210-2714					10/03/18
CERTIFICATE OF ADJUSTED BASE PROPORTIONS PURSUANT TO ARTICLE 19, RPTI FOR THE 2018 ASSESSMENT ROLL						
Approved Assessing Unit Name of Portion Reference Roll Levy Roll		City of Beacon, 130200 City of Beacon, 130200 2017 2018		CERTIFICATION		
DETERMINATION OF PORTION CLASS NET CHANGE IN ASSESSED VALUE DUE TO PHYSICAL AND QUANTITY CHANGES AND COMPUTATION OF CLASS CHANGE IN LEVEL OF ASSESSMENT FACTOR						
Section I	(A) Total Assessed Value on the Reference Roll Excluding Special Franchise and Wholly Exmt	(B) Total Assessed Value of Physical and Quantity Increases between the Reference Roll and Levy Roll	(C) Total Assessed Value of Physical and Quantity Decreases between the Reference Roll and Levy Roll	(D) Net Assessed Value of Physical and Quantity Changes	(E) Surviving Total Assessed Value on the Reference Roll	
Class			(B-C)	(A-C)		
Homestead	913,713,700	9,213,600	1,074,500	8,139,100	912,639,200	
Nonhomestead	229,701,857	24,606,500	1,103,300	23,503,200	228,598,557	
COMPUTATION OF PORTION CLASS ADJUSTMENT FACTOR						
	(F) Total Assessed Value of Equalization Increases between the Reference Roll and Levy Roll	(G) Total Assessed Value of Equalization Decreases between the Reference Roll and Levy Roll	(H) Net Equalization Changes	(I) Change in Level of Assessment Factor	I, the clerk of the legislative body of the approved assessing unit identified above, hereby certify that the legislative body determined on _____ base percentages, current percentages, and current base proportions as set forth herein for the assessment roll and portion as identified above.	
Class			(F-G)	(H/E)+1		
Homestead	20,807,973	713,800	20,094,173	1.02202		1.025
Nonhomestead	3,924,869	782,182	3,142,687	1.01375		1.0123
COMPUTATION OF PORTION CLASS ADJUSTMENT FACTOR						
Section II	(J) Taxable Assessed Value on the Levy Roll Excluding Special Franchise	(K) Taxable Assessed Value on the Levy Roll at the Reference Roll Level of Assessment (J/I)	(L) Assessed Value of Special Franchise on the Levy Roll at the Reference Roll Level of Assmnt	(M) Total Taxable Assessed Value on the Levy Roll at the Reference Roll Level of Assessment (K+L)	(N) Taxable Assessed Value on the Reference Roll	(O) Class Adjustment Factor (M/N)
Class						
Homestead	919,795,800	899,980,345	0	899,980,345	889,774,212	1.01147
Nonhomestead	251,477,954	248,067,614	19,253,963	267,321,577	244,104,305	1.09511
COMPUTATION OF ADJUSTED BASE PROPORTIONS						
Section III	(P) Current Base Proportions	(Q) Current Base Proportions adjusted for Physical and Quantity Changes (P*O)	(R) Adjusted Base Proportions (Q/sum of Q)			
Class						
Homestead	71.02212	71.83678	69.36007			
Nonhomestead	28.97788	31.73403	30.63993			
Total	100.00000	103.57080	100.00000			

City of Beacon Workshop Agenda
10/9/2018

Title:

HIP Lofts SUP

Subject:

Background:

ATTACHMENTS:

Description	Type
Reso_HIP Lofts	Resolution
HIP Lofts letter	Backup Material
HIP Lofts presentation	Backup Material

CITY OF BEACON

CITY COUNCIL

Resolution No. _____ of 2018

RESOLUTION

**GRANTING A SPECIAL USE PERMIT FOR
39 FRONT STREET**

WHEREAS, Beacon Lofts and Storage, LLC (the “Applicant”), submitted an application to amend its Special Use Permit to construct an additional 29 artist live/work units (the “Proposed Action”), to be placed in a newly constructed building (Building 16) on property located at 39 Front Street (Mason Circle) in the Light Industrial (LI) Zoning District and the Historic District and Landmark Overlay Zone (“HDLO”) and designated on the Tax Map of the City of Beacon as Parcel ID# **30-6055-04-590165-00** (the “Property”); and

WHEREAS, the Special Use Permit Application was submitted by the Applicant in conjunction with its application to the Planning Board for Amended Site Plan approval; and

WHEREAS, the Proposed Action includes a request for a Certificate of Appropriateness from the Planning Board pursuant to the criteria set forth in § 134-7 of the City of Beacon Code; and

WHEREAS, the City Council is the approval authority for the Special Use Permit pursuant to City of Beacon Zoning Code §§ 223-18.B, 223-24.3, and 223-24.7; and

WHEREAS, on January 6, 2014 the City Council granted a Special Use Permit by Resolution 02-2014 to allow the Applicant to construct 143 dwelling units on the Property; and

WHEREAS, the Applicant seeks to amend its existing Special Use Permit and Site Plan to eliminate the previously approved construction of Buildings 9A and 12, demolish Buildings 16, 18, 24, and 25, construct a larger Building 16, and extend the existing Building 9 to include one Live/Work loft; and

WHEREAS, the Applicant is proposed to increase the total number of units to 172; and

WHEREAS, the Planning Board, as Lead Agency, opened a public hearing to consider comments regarding any environmental impacts of the Proposed Action on November 14, 2017 and continued the hearing to December 19, 2017, at which time the (SEQRA) public hearing was closed; and

WHEREAS, after taking a “hard look” at each of the relevant areas of environmental concern through review of the Environmental Assessment Form and all associated materials

prepared in connection with the Proposed Action, the Planning Board adopted a Negative Declaration on December 12, 2017; and

WHEREAS, on February 21, 2018, the Zoning Board of Appeals granted a height variance of 31 feet to allow the Applicant to construct a new building (Building 16) with a height of 66 feet on the Property; and

WHEREAS, the Planning Board issued a report to the City Council dated March 15, 2018 recommending approval of the Special Use Permit; and

WHEREAS, the Site Plan is shown on drawings entitled “Amendment to Special Use Permit Application,” Sheets 1-10, prepared by Aryeh Siegal, Architect; Hudson Land Design, Civil Engineer; LQ Design, Landscape Architect; and TEC Land Surveying, Surveyor, last revised July 26, 2017; and

WHEREAS, on September 17, 2018, the City Council opened a public hearing on the Special Permit application at which time all interested persons were given the opportunity to be heard and the public hearing was closed on September 17, 2018; and

WHEREAS, the City Council has reviewed the application for a Special Use Permit against the standards for a Special Use Permit set forth in the City of Beacon Zoning Code §§ 223-18.B, 223-24.3, and 223-24.7, and finds that the proposal complies with these sections of the City of Beacon Zoning Code, as set forth below.

NOW, THEREFORE, BE IT RESOLVED, that the City Council hereby finds pursuant to §§ 223-18 , 223-24.3 and 223-24.7 of the City of Beacon Zoning Code:

1. The location and size of the use, the nature and intensity of the operations involved in or conducted in connection with it, the size of the site in relation to it and the location of the site with respect to streets giving access to it are such that it will be in harmony with the appropriate and orderly development of the district in which it is located. Building 16 is located in the center of the property and is substantially setback form Route 52 and Fishkill Creek. The proposed Building is located at an elevation 24 feet lower than the elevation of Route 52 and 25 feet lower than the elevation across Fishkill Creek.
2. The location, nature and height of buildings, walls and fences and the nature and extent of the landscaping on the site are such that the use will not hinder or discourage the appropriate development use of adjacent land and buildings. The project consists of mixed-use redevelopment of a portion of the former Grovewill Mills industrial site. The proposed building is compatible with the historic setting of Grovewill Mills.
3. The proposed amended site plan features less development near the creek and eliminates land use on adjoining properties.
4. Operations in connection with the proposed multifamily special use will not be more objectionable to nearby properties by reason of noise, fumes, vibration or

other characteristic than would be the operations of any permitted use, not requiring a special permit.

5. Parking areas will be of adequate size for the particular use and properly located and suitably screened from the adjoining residential uses, and the entrance and exit drives shall be laid out so as to achieve maximum safety.
6. Any exterior restoration shall maintain the architectural and historic integrity of the structure. Any new construction shall be compatible with neighboring structures.
7. The proposed use is compatible with the neighborhood, and activities permitted within the structure can be adequately buffered from any surrounding residential homes.
8. The resulting traffic generation will not overburden existing roads, and adequate parking can be provided without unduly destroying the landscape or the setting of the structure.
9. The proposed use is appropriate to the structure, will aid in the preservation of the site and will not result in undue alterations or enlargement of the structure.
10. The larger number of artist live/work units is warranted because of the building size, building configuration, the nature of the proposed preservation and the adaptive reuse of the building.

BE IT FURTHER RESOLVED, that the City Council grants an Amended Special Use Permit to Beacon Lofts and Storage, LLC to construct an additional 29 artist live/work units, to be placed in a newly constructed building (Building 16) on property located at 39 Front Street as set forth and detailed on the plans prepared by Aryeh Siegal, Architect; Hudson Land Design, Civil Engineer; LQ Design, Landscape Architect; and TEC Land Surveying, Surveyor, last revised July 26, 2017, upon the following conditions:

1. Prior to the issuance of a Building Permit, the Applicant shall obtain Site Plan and Certificate of Appropriateness Approval from the City of Beacon Planning Board consistent with the design standards in the Historic Preservation Chapter, Section 134-7.
2. No permits shall be issued until the Applicant has paid to the City all applicable fees and professional review fees incurred in connection with review of this Application.
3. A copy of this Resolution shall be attached to the Certificate of Occupancy.
4. As used herein, the term “Applicant” shall include its heirs, successors and assigns.
5. In accordance with Section 223-18.F(1) of the City Code, this Special Permit Approval authorizes only the particular use specified in the permit and shall expire if:

- a. A bona fide application for a Building Permit is not filed within one (1) year of the issuances of this Special Permit Approval; or
 - b. If all required improvements are not made within one (1) years from the date of issuance of the Building Permit; or
 - c. If said use ceases for more than six (6) months for any reason.
6. In accordance with Section 223-18.F(2) of the City Code, the City Council may grant one (1) or more extensions of up to six (6) months each, to (a) complete the conditions of approval for the special permit use, upon a finding that the applicant is working toward completion of such conditions with due diligence and has offered a reasonable explanation of its inability to complete such improvements and file a bona fide application for a building permit, and (b) to complete construction of the improvements, upon a finding that the Applicant is prosecuting construction with due diligence and has offered a reasonable explanation of its inability to complete the Project. The City Council may impose such conditions as it deems appropriate upon the grant of any extension. The granting of an extension of time shall not require a public hearing.
7. The Building Inspector may revoke this Special Permit Approval where it is found that the use of the premises does not conform with the limitations and conditions contained in the Special Permit Approval.
8. If any of the conditions enumerated in this resolution upon which this approval is granted are found to be invalid or unenforceable, then the integrity of this resolution and the remaining conditions shall remain valid and intact.
9. The approvals granted by this resolution do not supersede the authority of any other entity.

Dated: October 15, 2018



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Fishkill, New York 12524
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cuddyfeder.com

Jennifer L. Van Tuyl, Esq.
jvantuyl@cuddyfeder.com

September 14, 2018

Hon. Randy Casale, Mayor
and Members of the City Council
City of Beacon City Hall
1 Municipal Plaza
Beacon, New York 12508

Re: Beacon HIP Lofts Special Permit Application

Dear Mayor Casale and Members of the City Council,

I am writing regarding the upcoming public hearing on the application for a special permit to allow 29 additional artist live-work units at Beacon HIP Lofts.

Application Summary:

This is an application to amend a Special permit granted by the Council in January 2014, which approved 143 artist live-work units in January 2014. A copy of the existing special permit is attached.

The amendment seeks Council authorization for an additional 29 Artist Live work units, to be placed in a newly constructed Building 16, bringing to the total number of Live Work units to 172. The applicant has agreed that it will not seek any further artist live work units on the property, although the density provisions of the zoning law would theoretically allow a maximum of 243 live-work units. An essential element of the project is the elimination of the commercial laundry on the site which has been a high-volume water user of approximately 26,000 gpd. The removal of the commercial laundry will also remove 3 unattractive buildings which are non-contributing to the historic setting. The Application also proposes to eliminate a previously approved 4-story residential building immediately adjacent to the Fishkill Creek that contained 24 units, and will surrender any rights to the height variance previously granted for that 4-story building. Overall, the proposal would concentrate the residential units toward the center of the site and create additional open space in the area close to Fishkill Creek.

The recent amendments to the Historic Preservation Law (134-7)

At the workshop on August 27th, we noted that HIP Lofts is an historic property within the HDLO, and that the Council's special permit review would consider the recently updated provisions about historic appropriateness and compatability of new construction. Historic appropriateness was a key element in the design of the project. To provide documentation to the Council that the

3861160.1



September 14, 2018

Page 2

proposed special permit project meets the standards of 134-7, the applicant will have several experts speak at the public hearing:

- Beth Selig, MA, RPA, of Hudson Valley Cultural Resource Consultants. Her graduate work focused on the occupational revolution in the 19th century and the growth of industrial factories in New York State. Stephanie Roberg-Lopez, a partner in the firm, will also be present. Her master's thesis at Yale was on the subject of historic mill buildings. Ms. Selig will address the appropriateness and compatibility of the proposed Building 16 from the point of view of the history of the Groveville Mills complex, and the historic setting. Hudson Valley Cultural Resource Consultants prepared the historic studies that were part of the project applications, and coordinated the project review by New York State Office of Parks, Recreation, and Historic Preservation (OPRHP). Attached is a letter report summarizing the Findings of Hudson Valley Cultural Resource Consultants.
- Walter Wheeler, preservation architect and Senior Architectural Historian at Hartgen Archeological Associates, who is also president of the Society for Preservation of Hudson Valley Vernacular Architecture. Mr. Wheeler will address the appropriateness and compatibility of the proposed Building 16 from the architectural and historic point of view. The application materials before the Council already contain a letter from Mr. Wheeler about the compatibility of the proposed size and height of the proposed new building (Exhibit H to Special Permit Application). I anticipate receipt of a further letter from Mr. Wheeler specifically addressing the elements of the recent amendments to section 134-7. If I receive it prior to the public hearing, I will promptly email it to the City for distribution and posting.

The remaining enclosures were included in the Council Packets prior to the workshop on August 27th, but have not previously been formally submitted to the Council by the applicant:

1. The letter from the Planning Board to the City Council dated March 15, 2018 recommending that the special permit be granted.
2. The Zoning Board of Appeals Resolution dated February 28, 2018, granting a height variance for building 16 of 52 feet at the third story, with a recessed 4th story of an additional 14 feet.
3. An enlarged copy of the graphic showing the relative ground elevations of Route 52 and the proposed location of Building 16. At the workshop on August 27th, I distributed an 8 1/2 x 11 copy of a graphic showing the ground level elevation of the proposed Building 16, as compared with the elevation of Route 52 and the City Water Department property on the other side of the Fishkill Creek. This graphic shows that the ground elevation at the location of Building 16 is 24 feet lower than the ground elevation at Route 52, and 29 feet

C&F: 3861160.1



September 14, 2018

Page 3

lower than the elevation on the opposite side of the Fishkill Creek at the City Water Department. This factor will reduce the apparent height of the new building when viewed from either point of view. At the workshop, the 8 /12 x 11 graphic proved somewhat hard to read. I will hand out larger copies at the Public Hearing in the attached 11 x 17 format. The copy posted to the website should be easily readable.

Thank you for your consideration, and we look forward to presenting information about the project at the public hearing.

Very truly yours,

A handwritten signature in blue ink, appearing to read "JL Van Tuyl". The signature is fluid and cursive, with a long horizontal stroke at the end.

Jennifer L. Van Tuyl

cc: Nicholas Ward-Willis, Esq.
Anthony Ruggiero, City Administrator



HUDSON VALLEY

Cultural Resource Consultants, Ltd.

3 Lyons Drive Poughkeepsie, NY 12601

914-456-3698 • 845-702-0869

September 14, 2018

Beacon HIP Lofts, LLC
16 Squadron Boulevard
New City, NY 10956
Attn: Jennifer Van Tuyl

Re: Beacon HIP Lofts
Beacon City Council Presentation
Front Street
Beacon, Dutchess County, NY

Dear Ms. Van Tuyl,

Thank you for the materials you provided on September 5, 2018 which include the amended provisions of the Beacon City Code relating to special permit review within the Historic District Overlay (HDLO), which set forth standards for reviewing proposed construction in the context of the historic character of the surrounding area, and consideration of the compatibility of the proposal in terms of scale and height with the surrounding properties and the neighborhood. You have also forwarded to me copies of materials considered by the City of Beacon Planning Board in its SEQR Negative Declaration, and the City Zoning Board of Appeals in granting the height variance for the proposed building.

I am familiar with the HIP Lofts site, as my firm prepared the Phase 1A Literature Search and Sensitivity Assessment for this property, and supervised the coordination with the State Historic Preservation Office (SHPO) relating to the proposed restoration and reconstruction of buildings on the site. I therefore write this report to assist the Council in carrying out its duties in reviewing the proposed Special Permit to allow artist live-work units in the LI zoning district. My report assesses the appropriateness of the proposed improvements, including the construction of the new Building 16 in the historic context of the property, and the compatibility of its scale and height with the property, the surrounding properties, and the neighborhood. Walter Wheeler, Architectural Historian with Hartgen Archaeological Associates, has written a separate evaluation which addresses appropriateness and compatibility from an architectural perspective. I have reviewed Mr. Wheeler's letter which is part of the record before the Planning Board and Zoning Board of Appeals, as well as other materials and reviews by the City consultants.

GROVEVILLE MILLS

Based on the information reported in the Phase 1A Literature Search and Sensitivity Assessment, the first structures constructed in the location of the Groveville Mills Historic District were built prior to 1820. Abraham Dubois operated a grist mill along Fishkill Creek, which he sold to Samuel Upton in 1820. The grist mill was converted to a fulling and carding mill a few years later. The fulling and carding mill, owned by the Glenham Company, operated until 1858, when the demand for military uniforms led to the company expanding its factories and production capacity. It was during this period of the mill's operations that tenement buildings, which served as worker housing, were first constructed on the property. The Glenham Company filed for bankruptcy in 1873. In 1876, A. T.

Stewart acquired the mill complex, tenements and a nearby farm. He demolished the extant structures, and built an extensive carpet factory.

In addition to the new brick factory buildings, Stewart built Italianate-style worker housing to the north of the factory buildings, and constructed a bridge over Fishkill Creek. Stewart's carpet mill closed in 1893. The History of Dutchess County, written by Frank Hasbrouck, indicates that in 1909 the machinery at the mills had been sold for scrap, and the buildings were unoccupied.

Throughout the twentieth century, ownership of the Groveville Mill Complex changed frequently, with each new owner modifying the layout of the complex to suit their needs. These changes can be seen on the Sanborn Fire Insurance maps that document the features of the industrial complex in the early twentieth century.

The Groveville Mill Historic Complex is an important historical site. It is one of the first factory complexes in the Hudson Valley Region to provide worker housing on the premises. The construction of the bridge over Fishkill Creek connected the factory to the residential hamlet of Matteawan, providing easy access to the residences in this neighborhood. The Italianate style residential structures located northwest of the factory buildings were not the first worker housing constructed on the property, as tenements had been built on the site as early as the 1860s.

Well into the late nineteenth century, the Fishkill and Beacon areas remained rural. The owners of the Glenham Company and later A. T. Stewart, needing a reliable source of labor, saw that the best way to obtain the employees needed to run the large factory complex was to provide housing. Stewart demolished the tenements built by the Glenham Company and built the residences that are currently located within the historic complex. By providing housing on site, Stewart was able to assemble the workforce needed to run the factory, which in 1875 included 700 employees.

APPLICABLE STANDARDS:

Chapter 134 of the Code requires evaluation of the appropriateness of the proposed construction with the existing setting and compatibility of the scale and height of the new construction in relation to the property, surrounding properties and the neighborhood.

Assuring such compatibility of design was an integral part of the evaluation of the proposed project and the review by the State Historic Preservation Office. The proposed design would construct a larger Building 16, but would also eliminate a 4-story building closer to the Creek and remove the non-contributing commercial laundry buildings which presently surround Building 16. The proposed new Building 16 is 52 feet tall to the third floor level, with a recessed 4th floor that is 14 feet tall, for a total of 66 feet. At this time, the highest structure within the complex is the tower located on the roof of Building 11, which is 67 feet high.

The applicant has submitted documentation to the reviewing Boards that the proposed massing of the building is appropriate in the context of the mill complex, which contains a number of large buildings. The applicant has also established that the massing of the building is appropriate, as it is located in the center of the property, substantially set back from Route 52 and from the Fishkill Creek, and that the elevation at the property line of the proposed Building 16 is 24 feet lower than the elevation at Route 52, and 29 feet lower than the elevation at the Beacon water plant, across the Fishkill Creek, thus substantially reducing the perceived height of the new building. The Planning Board has issued a Determination of Significance finding that the proposed Building 16 will not create any significant adverse impacts. The Zoning Board of Appeals has issued a height variance to authorize construction of the building, finding that, "The City Zoning Board of Appeals, in granting a height variance, has found that, "The proposed height is not out of character with the existing mill complex," and that Building "will not produce an undesirable change in the character of the neighborhood and will not be a detriment to nearby properties."

Walter Wheeler, Architectural Historian with Hartgen Archaeological Associates, stated in a letter dated Jan. 17, 2018 that the proposed building "is in keeping with the existing setting and Historic Preservation guidelines for such construction, and will not have a detrimental effect on nearby properties or the character of the

neighborhood.” Weston Davey, Historic Site Restoration Coordinator, Division for Historic Preservation of the Office of Parks, Recreation and Historic Preservation, reviewed the project and stated that the “proposed new construction...appears to be appropriate to the surrounding historic district (Comment Letter 01/05/2018).” Tim Lloyd, Archeologist with the Office of Parks, Recreation and Historic Preservation stated “I have no concerns regarding the project's potential impacts to archaeological resources (CRIS Communication 11/29/17).”

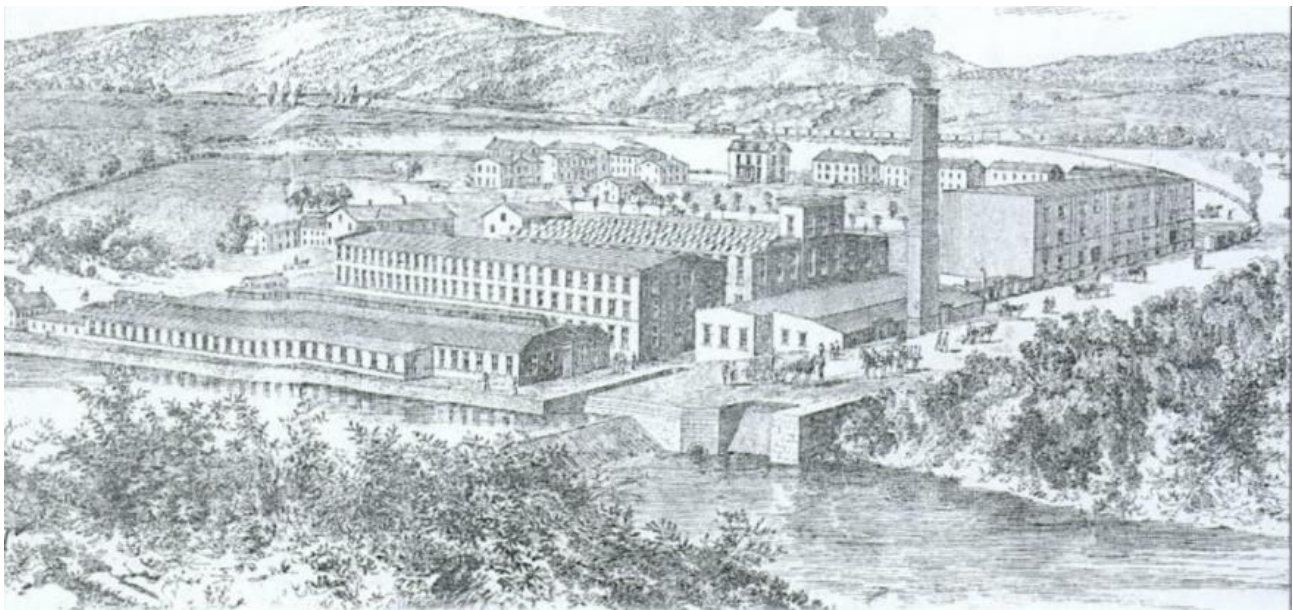
My evaluation leads me to concur with the above findings, based on the historic context of the Mill complex.

FINDINGS

In the late nineteenth and early twentieth centuries, the historic mill complex spanned the entire space between Building 16 and Building 9 (1904 Sanborn Map). The buildings included two vacant structures, a sizing building and a printing and coloring structure. These buildings were torn down, and a new building identified as the Mill No.3 Bleachery and Washhouse was constructed adjacent to the north side of Building 9. An alleyway was located between the Bleachery building and Building 16, which was historically a drying and storage building. The Mill No. 3 building was torn down in 2000.

Based on the historic layout of the mill complex, particularly southeast of Building 16, the proposed massing of the new structure is not out of context with the historic layout of the Groveville Mills Historic District. This southern area of the mill complex was once completely covered with brick factory buildings. These connected structures would have created a visual image of one very large structure.

In the nineteenth century, the tower on Building 11 was not the tallest structure within the complex. A brick chimney was located to the northeast of Building 11 on the far side of the Machine House, which is documented as being 100 feet high. This chimney is visible on the 1879 lithograph of the mill complex (below). An 80 foot high water tower was added to the complex in 1912 (1912 Sanborn Map).



Groveville Mills, circa 1879. (Source: Robert Murphy, *History of Beacon* 1998)

The historic Sanborn Maps (1904-1912) also show that Building 4, which was a series of conjoined small warehouses, was four stories high, with an overall height of 55 feet above grade. The 1879 lithograph shows this building, in the northeastern portion of the complex, as being at or close to the height of the tower on Building 11. In 1919 the height of the building was mapped between 43 feet and 57 feet above street level. The variation is due to alterations made to the landscape on the northeastern side of the structure that would have altered the overall

elevation of the street. In 1879 a rail spur was located in this area, followed by a side street in the early twentieth century, and in 1990 a large parking lot.

Based on the historic layout of the mill complex, the proposed height of the new structure is not out of context with the historic layout of the Groverville Mills Historic District. The varying heights of Building 4, the height of the water tower and brick chimney, along with the tower on Building 11 would have created a higher height envelope for the historic complex.

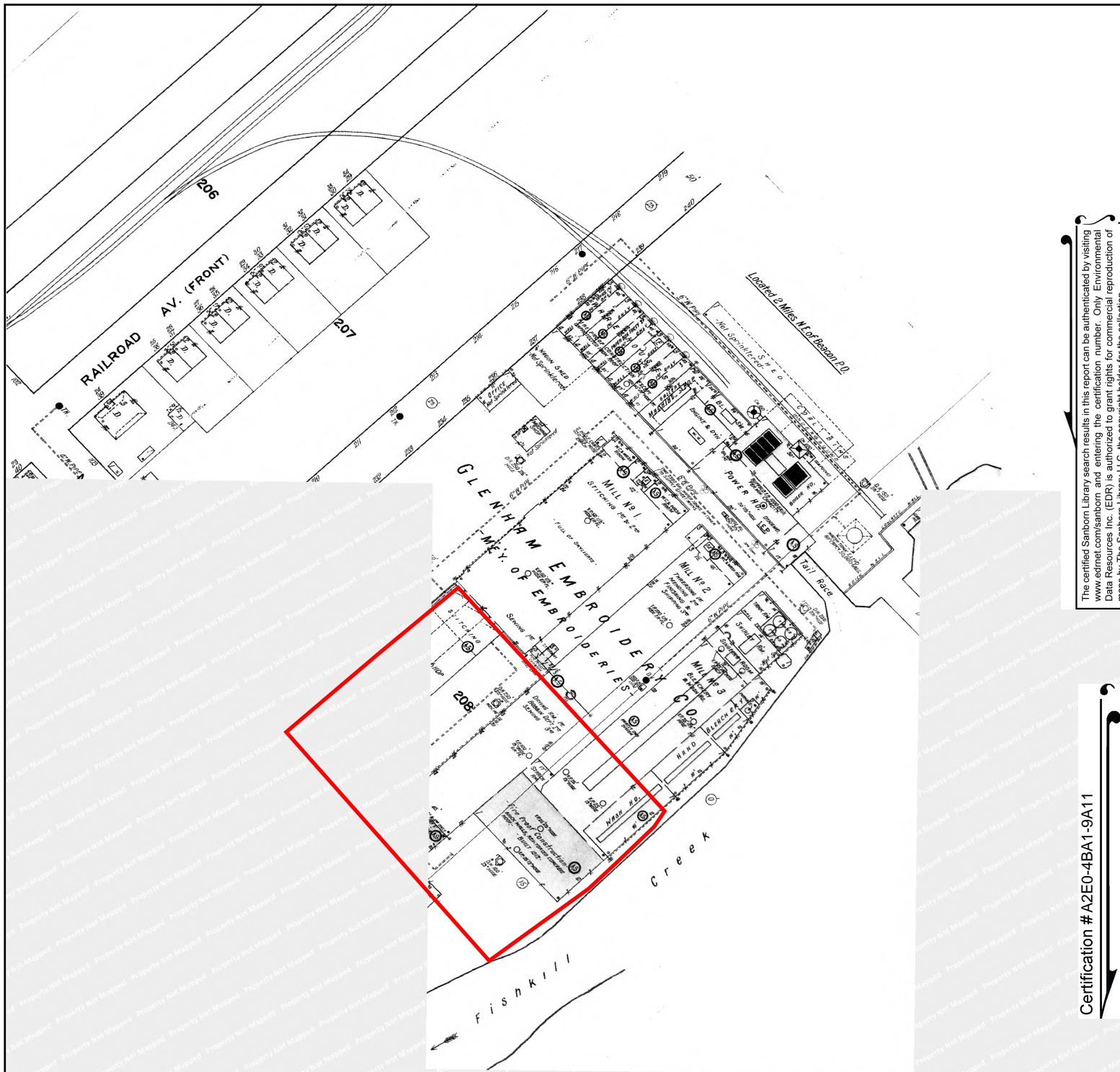
CONCLUSION

The layout, purpose and ownership of the Groverville Historic Complex buildings have changed dramatically over time, beginning at the close of the eighteenth and early nineteenth centuries. The buildings within the historic complex have undergone almost continuous episodes of demolition and rebuilding. It is the opinion of HVCRC that the proposed Building 16 design is in keeping with the historic context of the complex, and that the proposed height and massing will not negatively impact the historic context of the Groverville Mills Historic District.

Sincerely,



Beth Selig, MA., RPA,
President, Hudson Valley Cultural Resource Consultants



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Certification #A2E0-4BA1-9A11

Site Name: Beacon Lofts

Address: 84 Mason Circle

City, ST, ZIP: Beacon, NY 12508

Client: Hudson Valley Cultural Resource Consultants

EDR Inquiry: 5098293.1

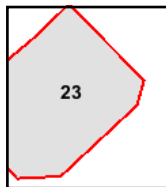
Order Date: 11/06/2017

Certification # A2E0-4BA1-9A11

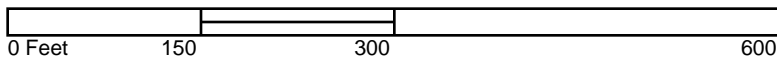
Copyright 1919

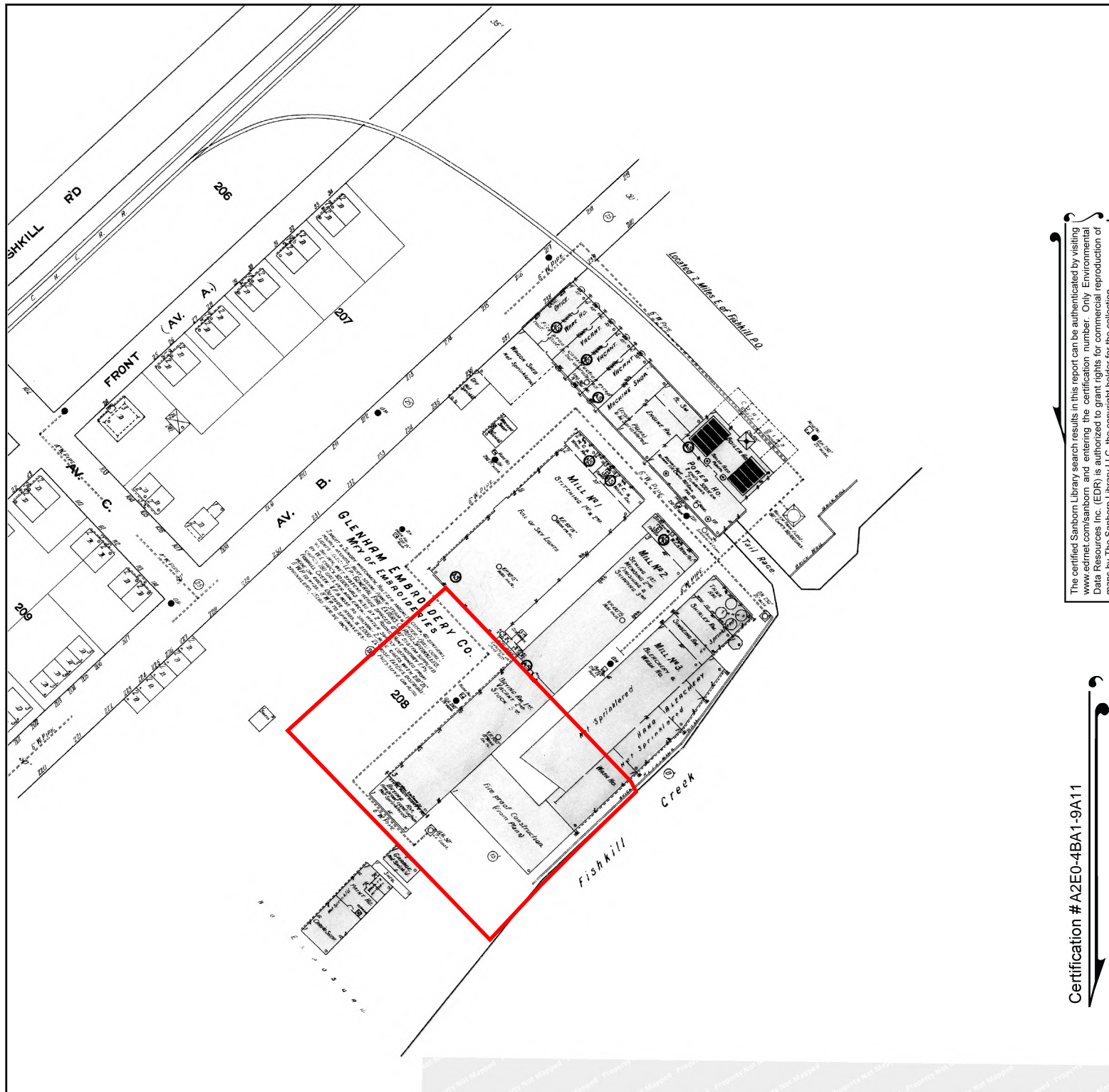


This Certified Sanborn Map combines the following sheets.
Outlined areas indicate map sheets within the collection.



Volume 1, Sheet 23





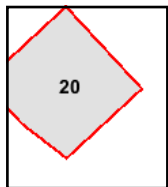
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Certification #A2E0-4BA1-9A11

Site Name: Beacon Lofts
 Address: 84 Mason Circle
 City, ST, ZIP: Beacon, NY 12508
 Client: Hudson Valley Cultural Resource Consultants
 EDR Inquiry: 5098293.1
 Order Date: 11/06/2017
 Certification # A2E0-4BA1-9A11
 Copyright 1912

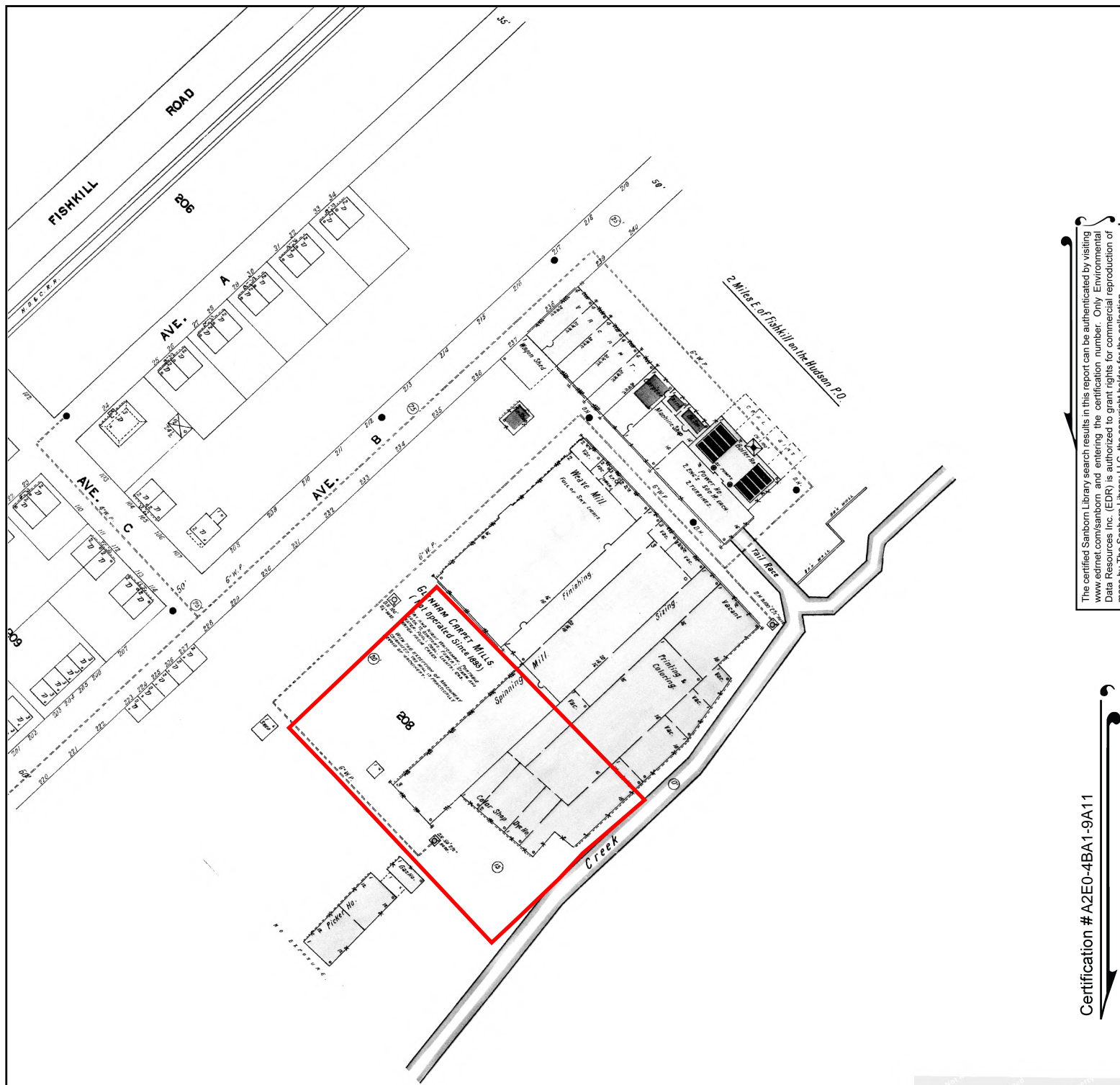


This Certified Sanborn Map combines the following sheets.
 Outlined areas indicate map sheets within the collection.



Volume 1, Sheet 20





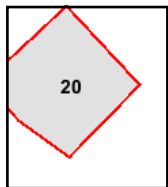
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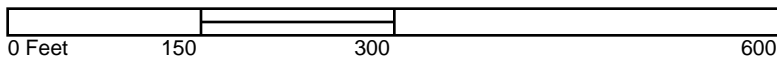
Site Name: Beacon Lofts
 Address: 84 Mason Circle
 City, ST, ZIP: Beacon, NY 12508
 Client: Hudson Valley Cultural Resource Consultants
 EDR Inquiry: 5098293.1
 Order Date: 11/06/2017
 Certification # A2E0-4BA1-9A11
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This Certified Sanborn Map combines the following sheets.
 Outlined areas indicate map sheets within the collection.



Volume 1, Sheet 20





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AMENDED RESOLUTION NO. 02 OF 2014

**CITY COUNCIL
BEACON, NEW YORK**

**SPECIAL PERMIT APPROVAL FOR ARTIST
LIVE/WORK, ART STUDIO AND SELF STORAGE
COMPONENTS OF THE BEACON HIP LOFTS PROJECT**

WHEREAS, the Beacon City Council is entertaining an application for Special Permit Approval from Beacon HIP Lofts, LLC (the "Applicant") for the project known as the Beacon HIP Lofts (the "Project" or "Proposed Action"); and

WHEREAS, the overall project consists of the renovation and re-use of several existing buildings, the construction of new buildings and general improvements to the site as follows:

1. Five existing buildings and one proposed building to contain 114 proposed artist live/work units for a total of 143 artist live/work units on the site (Buildings #10 and #9 contain 29 existing artist live/work units).
2. One existing building proposed to contain 17 artist studios.
3. A 25,000 square foot expansion of the existing self-storage use to be located in a proposed building that will be connected to the existing self-storage building.
4. A proposed fitness gym and recreation room for the use by residents only.
5. A proposed Greenway Trail that runs continuously around the property and connects to the trail on the adjacent property (the five items above constitute the "Overall Project"); and

WHEREAS, the subject of this Resolution of Special Permit Approval is the Artist Live/Work, Artist Studio and Self-Storage components of the Overall Project; and

WHEREAS, the project site is located at 3-39 and 51 Front Street and is designated 6055-04-590165 and 6055-04-535128 (the latter parcel is the adjacent vacant parcel that contains landbanked parking and the Greenway Trail) on the City tax maps (the "Subject Property" or "Site"); and

**Amended Resolution of Special Permit Approval for Artist Live/Work,
Artist Studio, and Self-Storage Components of the Beacon HIP Lofts Project**

WHEREAS, the total property is 12.24 acres in size, is zoned Light Industrial (LI) and is in the Historic District and Landmark Overlay Zone; and

WHEREAS, 10% of the overall residential units (including the new artist live/work units) will be comprised of below-market-rate units as defined by Article IVB of the Zoning Law; and

WHEREAS, the Overall Project is shown on the following drawings, generally entitled, "Special Use Permit Application Beacon HIP Lofts" prepared by Aryeh Siegel, Architect, Hudson Land Design, LQ Design and TEC Land Surveying:

1. Sheet 1 of 15, "Site Plan," last revised October 29, 2013;
2. Sheet 2 of 15, "Survey/Existing Conditions," last revised July 30, 2013;
3. Sheet 3 of 15, "Site Demolition & Phasing," last revised July 30, 2013;
4. Sheet 4 of 15, "Landscape Plan & Lighting," last revised August 27, 2013;
5. Sheet 5 of 15, "Floor Plans – Buildings 1, 2, 3, 7, 8, 9, 9A, 10," last revised August 27, 2013;
6. Sheet 6 of 15, "Floor Plans – Building 4 & 4A," last revised July 30, 2013;
7. Sheet 7 of 15, "Floor Plans – Building 11, 12, & 16," last revised September 24, 2013;
8. Sheet 8 of 15, "Solar Panel Plan," last revised July 30, 2013;
9. Sheet 9 of 15, "Grading and Utility Plan," last revised October 29, 2013;
10. Sheet 10 of 15, "Erosion and Sediment Control Plan," last revised September 24, 2013;
11. Sheet 11 of 15, "Truck Circulation Plan," last revised August 27, 2013;
12. Sheet 12 of 15, "Site, Landscaping and Erosion & Sediment Control Details," last revised October 29, 2013;
13. Sheet 13 of 15, "Stormwater Details," last revised September 24, 2013;
14. Sheet 14 of 15, "Water and Sewer Details," last revised September 24, 2013;
15. Sheet 15 of 15, "Construction Management & Phasing Plan," last revised October 29, 2013; and

WHEREAS, the application also consists of application forms, Parts 1 and 2 of an expanded full Environmental Assessment Form (EAF) and a Traffic Impact Analysis prepared by Harry Baker & Associates, July 29, 2013; and

WHEREAS, on June 18, 2013, the Zoning Board of Appeals issued the following zoning variances to the project:

1. Relief from Section 223-17(c) to allow a building height of 47 feet (Building #9A).
2. Relief from Section 223-17(c) to allow a building height of 41 feet (Building #4A).

**Amended Resolution of Special Permit Approval for Artist Live/Work,
Artist Studio, and Self-Storage Components of the Beacon HIP Lofts Project**

3. Relief from Section 223-15(E)(1)(c) to allow a two-sided roof mounted sign and Section 223-15(E)(1)(b) to allow a roof mounted sign exceeding allowable dimensions with the condition that they be removed after a period of 30 months; and

WHEREAS, on November 12, 2013, and pursuant to the requirements of Section 223-18.B(1) of the Zoning Law, the Planning Board recommended that the City Council approve the application for Special Permit Approval subject to the Project obtaining Site Plan Approval from the Planning Board; and

WHEREAS, the Beacon City Council is serving as State Environmental Quality Review Act (SEQRA) Lead Agency for the coordinated environmental review of the Overall Project and in that context has reviewed the above mentioned application materials; and

WHEREAS, on December 2, 2013, the City Council, as SEQRA Lead Agency, adopted a Negative Declaration regarding the Project; and

WHEREAS, on December 2, 2013, the City Council held a public hearing on the application for Special Permit Approval, at which time all those interested were given an opportunity to be heard; and

WHEREAS, the City Council is fully familiar with the Project and has reviewed the Project relative to all applicable provisions of the City Code.

NOW THEREFORE BE IT RESOLVED, that the City Council makes the following findings in accordance with Section 223-18.B(1) of the Zoning Law:

1. The location and size of the use, the nature and intensity of the operations involved in or conducted in connection with it, the size of the site in relation to it and the location of the site with respect to streets giving access to it are such that it will be in harmony with the appropriate and orderly development of the district in which it is located.
2. The location, nature and height of buildings, walls and fences and the nature and extent of the landscaping on the site are such that the use will not hinder or discourage the appropriate development use of adjacent land and buildings.
3. Operations in connection with any special use will not be more objectionable to nearby properties by reason of noise, fumes, vibration or other characteristic than would be the operations of any permitted use, not requiring a special permit.

**Amended Resolution of Special Permit Approval for Artist Live/Work,
Artist Studio, and Self-Storage Components of the Beacon HIP Lofts Project**

4. Parking areas will be of adequate size for the particular use and properly located and suitably screened from adjoining residential uses, and the entrance and exit drives shall be laid out so as to achieve maximum safety; and

BE IT FURTHER RESOLVED, that the City Council hereby grants Special Permit Approval to the Artist Live/Work, Artist Studio and Self-Storage components of the Project, as shown on the application materials enumerated above, subject to compliance with the following conditions and any other requirements which must be met by law:

- A. Six (6) sets of the above referenced plans shall be submitted for endorsement by the City Administrator. One set of the endorsed plans will be returned to the Applicants, one set will be retained by the City Clerk, one set will be provided to the Planning Board, and one set each will be forwarded to the Building Inspector, City Engineer and City Planner.
- B. **The following conditions shall be fulfilled prior to the issuance of any Building Permits for the Project:**

The Applicant shall seek and obtain Site Plan Approval from the Planning Board. As part of the Site Plan review and approval process matters, including but not necessarily limited to the following, shall be resolved to the satisfaction of the Planning Board:

1. The Applicant shall resolve the following item contained in the City Engineer's letter to the Planning Board dated November 8, 2013 to the satisfaction of the Planning Board:

The "Water Supply" section of the Water & Sewer Report notes that observed static pressures within the onsite water system ranged between 78 psi and 81 psi. Based upon subsequent fire flow testing at the hydrants onsite, available fire flow, while maintaining a minimum pressure of 20 psi in the water main, was only 757 gpm. Based upon the observed static pressures, additional field investigation and testing shall be conducted to determine if any valves were closed, or partially closed, during the testing, or if the lines have heavy tuberculation within them.

**Amended Resolution of Special Permit Approval for Artist Live/Work,
Artist Studio, and Self-Storage Components of the Beacon HIP Lofts Project**

2. The Applicant shall resolve the following items contained in the City Planner's letter to the Planning Board dated November 8, 2013 to the satisfaction of the Planning Board:
 - (a) The Applicant has proposed to provide 40 additional parking spaces as landbanked parking spaces on parcel number 6055-04-535128. In accordance with Section 223-26.E of the Zoning Law, the Planning Board may waive the improvement of up to 50% of the required off-street parking spaces, provided that all of the required spaces are shown on the proposed plan and further provided that suitable agreements, satisfactory to the City Attorney are obtained assuring the City that the property owner will be responsible for the construction of such waived spaces within six months of the date such spaces may be deemed necessary by the Planning Board. The Application form shall be revised to include the additional parcel (parcel number 6055-04-535128).
 - (b) The Access Easement to be conveyed by Landgrove Realty Inc. to Beacon Lofts and Storage, LLC shall be shown on the plans.
 - (c) The Landscape Plan shall be revised to include a plant schedule for the plantings proposed adjacent to the landbanked parking area and the Greenway Trail on parcel number 6055-04-535128.
 - (d) A note has been added to the plans regarding the location of the Greenway Trail. The note shall be revised to state, "Proposed Interim Greenway Trail to Front Street. Note that the Owner and Planning Board agree to re-visit the routing of this portion of the trail (from the southeast corner of parcel number 6055-04-535128 to Front Street) in the future when an application is submitted for development of parcel number 6055-04-535128 or when the landbanked parking is required to be built. It is further agreed that the trail shall remain continuous from the southeast corner of parcel number 6055-04-535128 to Front Street."
 - (e) Details of all proposed signage for the Greenway Trail shall be provided on the plans.
 - (f) A detail of the proposed stone dust trail shall be provided on the plans.

**Amended Resolution of Special Permit Approval for Artist Live/Work,
Artist Studio, and Self-Storage Components of the Beacon HIP Lofts Project**

- (g) Crosswalk striping shall be provided on the two parking spaces adjacent to Buildings 4 and 7 for continuation of the Greenway Trail.
- (h) The location of the generator shall be shown on the site plan. In addition, the noise specifications of the generator shall be submitted for review.
- 3. Arrangements shall be made which ensure the Project's full compliance with Article IVB, Affordable-Workforce Housing, of the Zoning Law.
- 4. Arrangements for the payment of recreation fees by the Applicant shall be made.

C. The following are general conditions which shall be fulfilled:

- 1. The Applicant shall be responsible for the payment of all application review costs incurred by the City in its review and approval of this project. Such fees shall be paid by the Applicant within thirty (30) days of each notification by the City that such fees are due. If such fees are not paid within said thirty (30) day period, and an extension therefor has not been granted by the City, this resolution shall be rendered null and void.
- 2. As used herein, the term "Applicant" shall include its heirs, successors and assigns, and where applicable its contractors and employees.
- 3. If any of the conditions enumerated in this resolution upon which this approval is granted are found to be invalid or unenforceable, then the integrity of this resolution and the remaining conditions shall remain valid and intact.
- 4. The approvals granted by this resolution do not supersede the authority of any other entity.
- 5. In accordance with Section 223-18.F(1) of the Zoning Law, this Special Permit Approval authorizes only the particular use specified in the permit and shall expire if:
 - a. A bona fide application for a Building Permit is not filed within one (1) year of the issuance of this Special Permit Approval; or

**Amended Resolution of Special Permit Approval for Artist Live/Work,
Artist Studio, and Self-Storage Components of the Beacon HIP Lofts Project**

- b. If all required improvements are not made within two (2) years from the date of issuance of the Building Permit; or
 - c. If said uses cease for more than six (6) months for any reason.
- 6. In accordance with Section 223-18.F(2) of the Zoning Law, the City Council may grant one (1) or more extensions, of up to six (6) months each, to complete construction of the improvements, upon a finding that the Applicant is prosecuting construction with due diligence and has offered a reasonable explanation of its inability to complete the project. No such extensions shall be granted unless the City Council finds that all appropriate erosion control measures to protect surrounding properties are in place. The City Council may impose such conditions as it deems appropriate upon the grant of any extension. The granting of an extension of time under this section shall not require a public hearing.
 - a. Given that this resolution applies to a phased project which is proposed to be constructed over approximately seven and two-thirds (7-2/3) years, and given that said phasing is not addressed under the current City Zoning Law, the City Council hereby agrees to grant the Applicant twelve (12) six-month extensions (for a total of six (6) years), with said extensions commencing after the expiration of the two (2)-year time frame contained in Condition 5.b above.
 - b. The continued validity of the extensions in Condition 6.a above are conditioned upon the Applicant prosecuting construction of the Overall Project with due diligence and that all appropriate erosion control measures to protect surrounding properties are in place.
- 7. Any proposed revision to this approved Special Permit Approval shall be submitted to the City Council. The City Council, in its discretion, shall determine the appropriate procedures for consideration of the proposed revision, and whether such revision is material enough to require further environmental analysis, further project review and/or a further hearing, as it may deem appropriate.
- 8. The Building Inspector may revoke this Special Permit Approval where it is found that the use of the premises does not conform with the limitations and conditions contained in the Special Permit Approval.

**Amended Resolution of Special Permit Approval for Artist Live/Work,
Artist Studio, and Self-Storage Components of the Beacon HIP Lofts Project**

VOTING

	Motion	Second	Voting
Mayor Randy Casale	_____	_____	_____/_____ ✓
Charles Kelly	_____	_____	_____ Absent
Lee Kyriacou	_____/_____ ✓	_____	_____ ✓
George Mansfield	_____ ✓	_____	_____ ✓
Ali T. Muhammad	_____	_____	_____ ✓
Peggy Ross	_____	_____/_____ ✓	_____ ✓
Pam Wetherbee	_____	_____	_____ ✓

Resolution Adopted: January 6, 2014
Beacon, New York

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DAVID H. STOLMAN
AICP, PP
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MICHAEL A. GALANTE
EXECUTIVE
VICE PRESIDENT

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FREDERICK P. CLARK ASSOCIATES, INC.

PLANNING, TRANSPORTATION, ENVIRONMENT AND DEVELOPMENT
RYE, NEW YORK FAIRFIELD, CONNECTICUT

MEMORANDUM

To: Mayor Randy Casale and the Beacon City Council

Date: January 3, 2014

Subject: **Beacon HIP Lofts – Amended Special Permit Approval**

As requested, attached is a draft **Amended Resolution of Special Permit Approval** in connection with the above captioned project.

The original Resolution of Special Permit Approval has been revised on page 7 to grant extensions of time to complete the proposed phased project. Revisions relative to the original resolution are shown with double underlining and ~~strikeout~~. We have conferred with the City Attorney in the preparation of the resolution.

We look forward to discussing the resolution with you.

David H. Stolman, AICP, PP
President

Attachment

cc: Iola C. Taylor
Meredith Robson
Lt. Timothy P. Dexter
Arthur R. Tully, PE
Nicholas Ward-Willis, Esq.
Aryeh Siegel, Architect

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BEACON PLANNING BOARD
ONE MUNICIPAL PLAZA - SUITE 1
BEACON, NEW YORK 12508
Phone (845) 838-5002 Fax (845) 838-5026
John Gunn, Chairman

March 15, 2018

Mayor Casale & City Council Members
One Municipal Plaza - Suite One
Beacon, New York 12508

RE: Special Use Permit (amendment)
39 Front Street "Hip Lofts"


Applicant: Beacon Lofts and Storage

Dear Mayor Casale & Council Members:

At their March 14, 2018 Planning Board meeting, members reviewed an application from Beacon Lofts & Storage to amend their existing Special Use Permit for the Artist Live/Work units. The project would eliminate the previously approved construction of Buildings 9A and 12, demolish Buildings 16, 18, 24, and 25, construct a larger Building 16, and extend the existing Building 9 to include one Live/Work loft. The existing Special Use Permit allowed 143 Live/Work units and the applicant is proposing to increase the number of units to 172. The Planning Board reviewed the Special Use Permit Application for completeness and to identify relevant planning-related information for the Council's analysis of the application for an amendment to the existing Special Use Permit. The Planning Board's review is not intended to supplant the City Council's role in reviewing the Special Use Permit application for compliance with the relevant standards of review.

After careful review, Board members voted unanimously to recommend the City Council issue a Special Use subject to the applicant returning to the Planning Board for amended Site Plan Approval.

A copy of the application and Site Plan are enclosed for your information. If you have any questions regarding the Planning Board's action, please call me.

Yours truly,

John Gunn, Chairman

City of Beacon
Zoning Board of Appeals

RESOLUTION

WHEREAS, an application has been made to the City of Beacon Zoning Board of Appeals by **Beacon Lofts & Storage**, (the “Applicant”) for a 31 foot building height variance where the maximum building height permitted is 35 feet pursuant to the City of Beacon Code § 223-17.D/223 Attachment 2:3, in connection with the proposed construction of a new building (Building 16), with 87 artist live/work units, on property located at 39 Front Street (Mason Circle) in the LI Zoning District (the “Proposed Project”). Said premises being known and designated on the City of Beacon Tax Map as **Parcel ID# 30-6055-04-590165-00**; and

WHEREAS, the Applicant is proposing to construct a new building, 66 feet in height, as part of the redevelopment of 8.74 acres, known as HIP Lofts. This project requires variance approval from the Zoning Board, Amended Special Permit Approval from the City Council and Amended Site Plan Approval from the Planning Board; and

WHEREAS, the proposed action is an Unlisted Action pursuant to the New York State Environmental Quality Review Act; and

WHEREAS, the Planning Board, as Lead Agency, opened a public hearing to consider comments regarding any environmental impacts of the Proposed Action on November 14, 2017 and continued the hearing to December 19, 2017, at which time the (SEQRA) public hearing was closed; and

WHEREAS, after taking a “hard look” at each of the relevant areas of environmental concern through review of the Environmental Assessment Form and all associated materials prepared in connection with the Proposed Action, the Planning Board adopted a Negative Declaration on December 12, 2017; and

WHEREAS, the Zoning Board of Appeals held a duly advertised public hearing on the application on January 17, 2018 and February 21, 2018 at which time all those wishing to be heard on the application were given such opportunity; and

WHEREAS, the Board closed the public hearing on February 21, 2018; and

WHEREAS, pursuant to New York State General City Law § 81-b(4) and Zoning Code Section 223.55(C)(2)(b), when deciding the request for an area variance:

In making its determination, the Zoning Board of Appeals

shall take into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety and welfare of the neighborhood or community by such grant. In making such a determination, the board shall also consider:

- [1] Whether an undesirable change will be produced in the character of the neighborhood or a detriment to nearby properties will be created by the granting of the area variance;
- [2] Whether the benefit sought by the applicant can be achieved by some method, feasible for the applicant to pursue, other than an area variance;
- [3] Whether the requested area variance is substantial;
- [4] Whether the proposed variance will have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district; and
- [5] Whether the alleged difficulty was self-created, which consideration shall be relevant to the decision of the Board of Appeals, but shall not necessarily preclude the granting of the area variance.

WHEREAS, pursuant to Zoning Code Section 223.55(C)(2)(c) “the Board of Appeals, in granting of area variances, shall grant the minimum variance that it shall deem necessary and adequate and at the same time preserve and protect the character of the neighborhood and the health, safety and welfare of the community;” and

WHEREAS, as part of its presentation, the applicant represented that it proposed to substitute the proposed amended site plan for the previously approved site plan, which would, among other elements, (a) eliminate the commercial laundry with approximately 26,000 gpd water usage; and (b) eliminate the 4 story building 9A, located along the Creek, which had received a variance for a 47 foot height, and the substitution of a one-story structure in that location which is a continuation of the existing building; and applicant further represented that it would consent that, upon issuance of all approvals for the amended site plan and the vesting of rights to complete construction of building 16 under the approved amended site plan, it would agree that the previously granted height variance for building 9A be deemed rescinded and null and void; and

WHEREAS, as part of its presentation, the applicant also represented that, as part of its proposed amended site plan, it was willing to commit that, upon issuance of all approvals for the proposed amended site plan and the vesting of rights to complete construction of building 16 under the approved amended site plan, it would not seek, and would not claim rights to seek, land use approvals to place additional residential units on the subject parcel

beyond the 172 Artist Live-Work units shown on the proposed amended site plan, such Declaration to be effective only for so long as the applicable zoning regulations for the subject site permit a total of 243 or fewer Artist Live-Work units; and the Applicant further represented that, upon the same conditions, it was willing to record a Declaration to the same effect, the form, content, and timing of recording of which to be approved by the City Attorney's office; and

WHEREAS, based upon the Record before it and after viewing the premises and neighborhood concerned and upon considering each of the factors set forth in Section 223.55(C)(2)(b)[1]-[5] of the City of Beacon Code, the Zoning Board finds with respect to the requested variance as follows:

- 1. The variance will not produce an undesirable change in the character of the neighborhood and there will not be a detriment to nearby properties created by the granting of the area variance.**

No undesirable change will be produced in the character of the neighborhood and no detriment to nearby properties will be created by the granting of the area variance. The proposed height is not out of character with the existing mill complex, since the complex already contains a building with a tower which is approximately 67 feet high. In addition, the main portion of the proposed building is only 6 feet taller (52 ft) than the existing building that it will replace (46 ft). The fourth story of the proposed building increases the height of the building to 66 feet, but the fourth story contains a proposed setback of 10 feet from the edge of the main buildings walls, so that this tallest portion minimizes its visual impact. This setback brings the perceived height of the building close to the height of the adjacent Building 10, and the building's overall height of 66 feet is within the height envelope established by nearby Building 11 of the complex, at 67 feet.

The architect designed the project in compliance with two policy documents *Preservation Brief 14, New Exterior Additions to Historic Buildings*, published by the National Park Service and written by Anne E. Grimmer and Kay D. Weeks, and the Department of the Interior's *Standards for Rehabilitation*, which provide guidelines as to how to appropriately construct additions to existing historic structures.

Furthermore, the proposed building is located in the center of the property. This location reduces potential visual impacts to properties across Fishkill Creek. However, the only property located directly across Fishkill Creek is a City Water Department industrial building. Visual impacts will be further mitigated by dense vegetation consisting of mature trees. Therefore, the requested variance will not produce an undesirable change in the character of the neighborhood and will not be a detriment to nearby properties.

2. The benefit sought by the Applicant cannot be achieved by some method feasible for the Applicant to pursue, other than the requested area variance.

The benefit sought by the Applicant cannot be achieved by some other method feasible for the Applicant to pursue. The Applicant is working within an existing developed historical site. The plan to redevelop HIP Lofts received initial approvals from the Planning Board and Zoning Board several years ago to restore the old factory complex at Groveville. The originally approved project included the construction of Building 9A, a 4-story building featuring 24 artist live/work lofts and renovation of Building 16 to house 36 artist live/work units. As part to the original approval of the project, the Zoning Board granted the Applicant a 7 foot building height variance for the then-proposed Building 9A, to construct a 4 story/ 47 foot building where the maximum building height in the LI District was 3 stories and 35 feet. However, subsequent engineering tests revealed that Building 16 is structurally unsound, and cannot be renovated in accordance with the original plans. Therefore, the Applicant now proposes to construct a new Building 16, with 87 artist live/work units and eliminate Building 9A. The proposed new Building 16 is designed to incorporate the units that were originally to be housed in Building 9A. In order to fit these extra units, the building must be constructed at a taller height. The requested variance is the minimum variance to accommodate the new proposal. Furthermore, eliminating Building 9A allows the applicant to meet its parking requirements without a variance.

In addition it is much more expensive to demolish a building then to renovate it as originally proposed. The Applicant was unexpectedly forced to re-evaluate the project design. The proposed unit types, including mezzanine units, which require greater ceiling height, and penthouse units help to finance the building reconstruction. Building 16 includes mezzanine units which require a 17 foot floor to ceiling separation. These units have a lower vacancy rate than non-mezzanine units and can be more easily converted to other non-residential uses without the variance. Without a variance, the applicant would reconstruct Building 9A, which would block views of the creek, decrease the amount of available greenspace on site and decrease available parking area. The Applicant will not be able to achieve the same benefits without a height variance.

3. The requested variance is mathematically substantial; however, this does not outweigh the other factors meriting the granting of the variance.

The requested variance is mathematically substantial. However, in considering whether a variance is substantial, the Board must examine the totality of the circumstances within the application and the overall effect of granted the requested relief. Here, the requested height variance is not substantial in its effect. The site is located in an industrial area. The tallest building located on the site is approximately 67 feet high at the top of its tower element, which is 1 foot taller than the highest portion of the proposed building. The proposed building has also been designed with a top story setback to minimize the visual impact of its height to the greatest possible extent, while still being able to accommodate the

artist live/work units originally proposed for Building 9A. In addition, the property located directly across Fishkill Creek from the subject property is a City Water Department industrial Building.

The consolidation of Buildings 9A and 16 into one new building creates more landscaped area and results in an overall smaller building footprint. Almost all the buildings on the Beacon HIP Lofts property are substantially higher than 35 feet allowed by the current Zoning Code. The expanded height of the proposed Building 16, with its set back 4th floor, is in keeping with the scale of the rest of the property. Therefore, the Board finds that the requested variance is not substantial.

4. The proposed variance will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district.

The proposed variances will not have an adverse effect or impact on the physical or environmental conditions of the neighborhood or district. There will be no adverse effects of noise, vibrations, odor, traffic, or impact on public services caused by the granting of this variance. As part of the Coordinated SEQRA review conducted by the Planning Board as Lead Agency, the Planning Board determined that the Proposed Action will have no potential significant adverse environmental impacts. The Proposed Action will result in a decrease of 0.04 acres of impervious surface coverage. The consolidation of the artist live/work units from Building 9A into the proposed Building 16 also permits tighter clustering of the development, resulting in more open space. Therefore, the Board finds that the proposed variance will not have a significant adverse effect or impact on the physical or environmental conditions in the neighborhood or district.

5. The alleged difficulty was self-created but this factor does not preclude the granting of the area variances.

The alleged difficulty was self-created. The need for the variance arises from the subsequent engineering studies that revealed that Building 16 is structurally unsound, and cannot be renovated in accordance with the original plans. The Applicant redesigned the project eliminate Building 9A and rebuild Building 16. The height variance is required to retain the artist live/work and mezzanine units originally proposed for Building 9A. The applicant redesigned the project knowing the height constraints in the Zoning District.


NOW THEREFORE, BE IT RESOLVED, that said application for a height variance of 31 feet to construct a new building with a height of 66 ft. where 35 ft. is permitted pursuant to 223-17.D/223 Attachment 2:3 is hereby **GRANTED** subject to the following conditions:

1. No permit or Certificate of Occupancy shall be issued until the Applicants have paid in full all application and consultant fees incurred by the City of Beacon in connection with the review of this application.

2. The Applicant has six months to commence construction following the date of issuance of the building permit and 24 months after the date of issuance of said building permit to complete construction. The Applicant has six months to obtain a building permit from the date of the Planning Board's Site Plan approval.
3. The Zoning Board of Appeals may grant a six month extension of this variance approval provided that a written request for an extension is submitted before the variance expires. Such extension shall only be granted upon a showing by the Applicant that the circumstances and conditions upon which the variance was originally granted have not substantially changed.
4. As offered and agreed to by the Applicant, and more fully described within the above Resolution, prior to the issuance of a Building Permit the Applicant shall submit for review and approval by the City Attorney as to form a deed restriction which prohibits additional residential dwelling units on the subject property beyond the 172 Artist Live/Work units currently proposed, for so long as the subject property is governed by zoning restrictions which allow 243 or fewer Artist Live/Work units, as do the Light Industrial (LI) Zoning District regulations currently applicable to the property.
5. As agreed to by the Applicant, and more fully described within the above Resolution, based in part upon the Applicant's intent that the proposed Special Use Permit and Site Plan Amendments (including the removal of Building 9A and construction of a new Building 16), will supersede the prior approved Special Use Permit and Site Plan (which included a 4-story addition to Building 9A), upon the issuance of a Building Permit and vesting of rights to complete construction of Building 16 according to the amended Site Plan, the area variance previously granted by the City of Beacon Zoning Board of Appeals by Resolution 2013-12, dated June 18, 2013, to permit Building 9A to have a height of 47 feet where 35 feet is required, is rescinded and superseded.

Resolution Approved: February 21, 2018

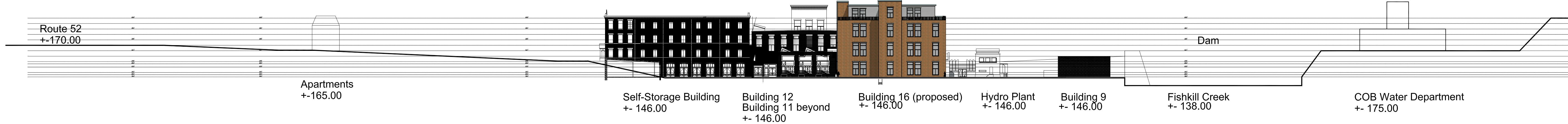
Dated: February 28, 2018


John Dunne, Chairman

Mr. Dunne called the roll:

Motion	Second	Zoning Board Member	Aye	Nay	Abstain	Excused	Absent
		John Dunne	X				
		Jordan Haug		X			
X		Robert Lanier	X				
	X	Judy Smith	X				
		David Jensen		X			
		Motion Carried	3	2			

Received in the Office of the
City Clerk
February 28, 2018





Beacon Lofts

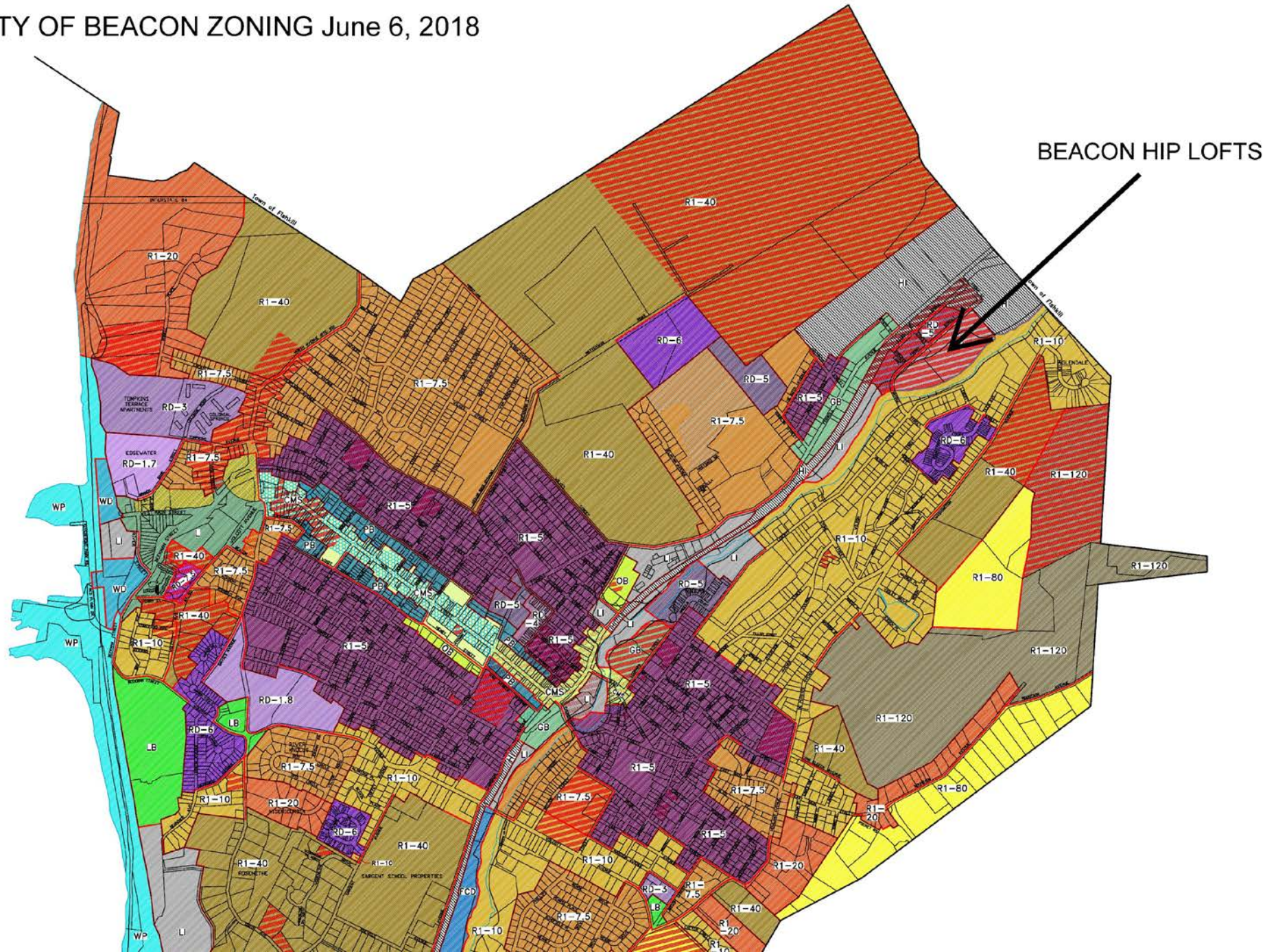


ARYEH SIEGEL
ARCHITECT

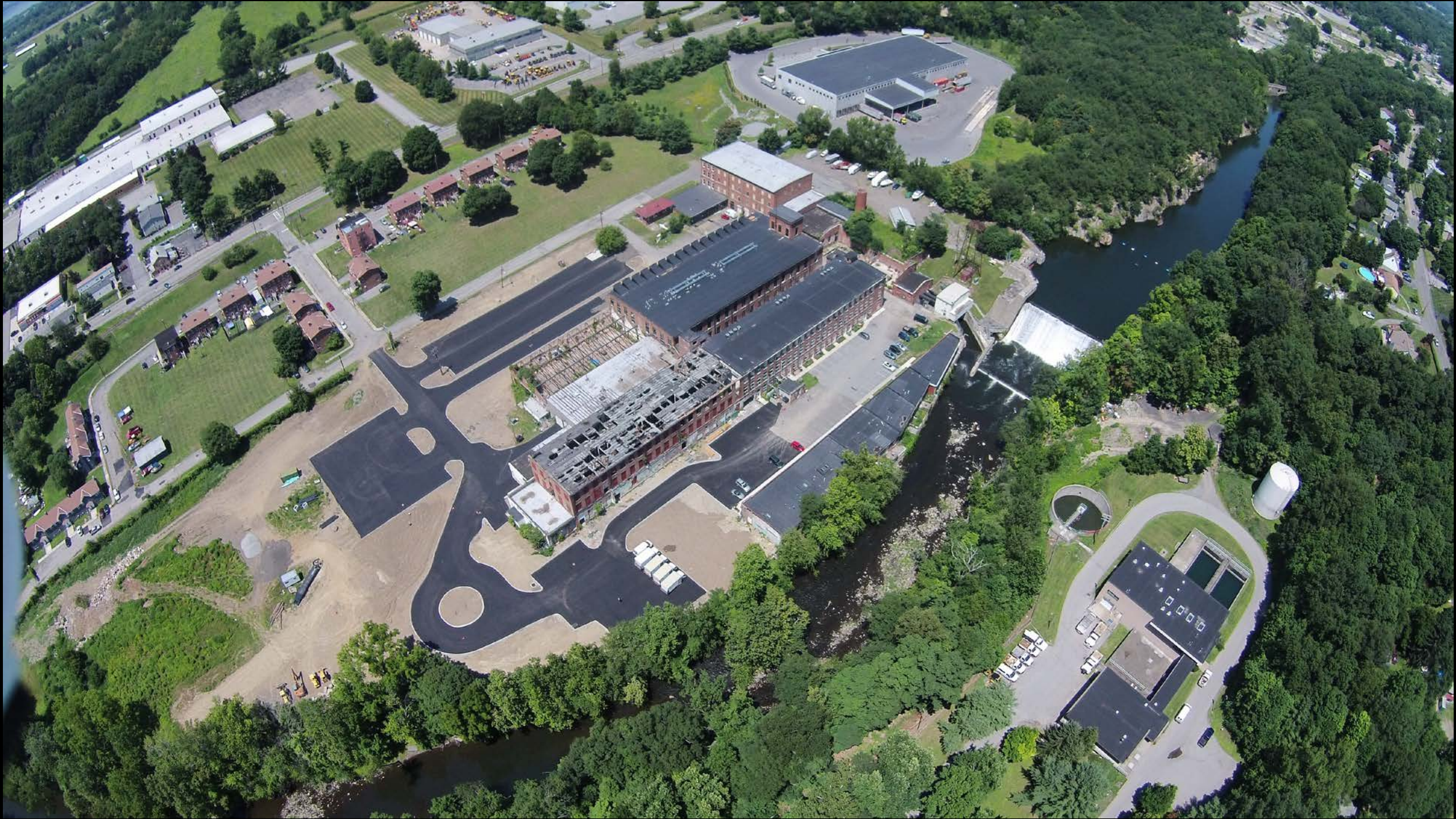


Beacon, New York

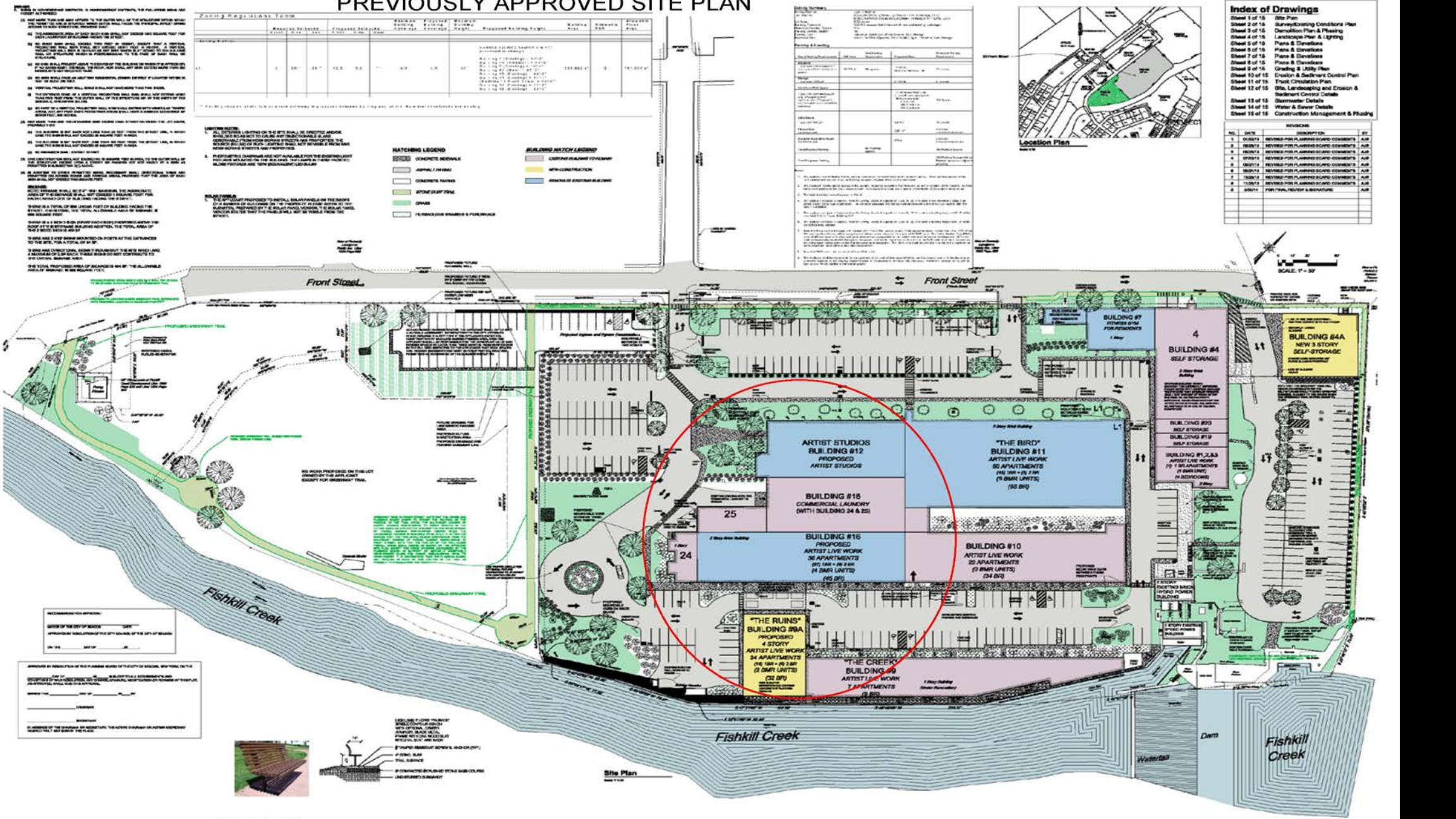
CITY OF BEACON ZONING June 6, 2018





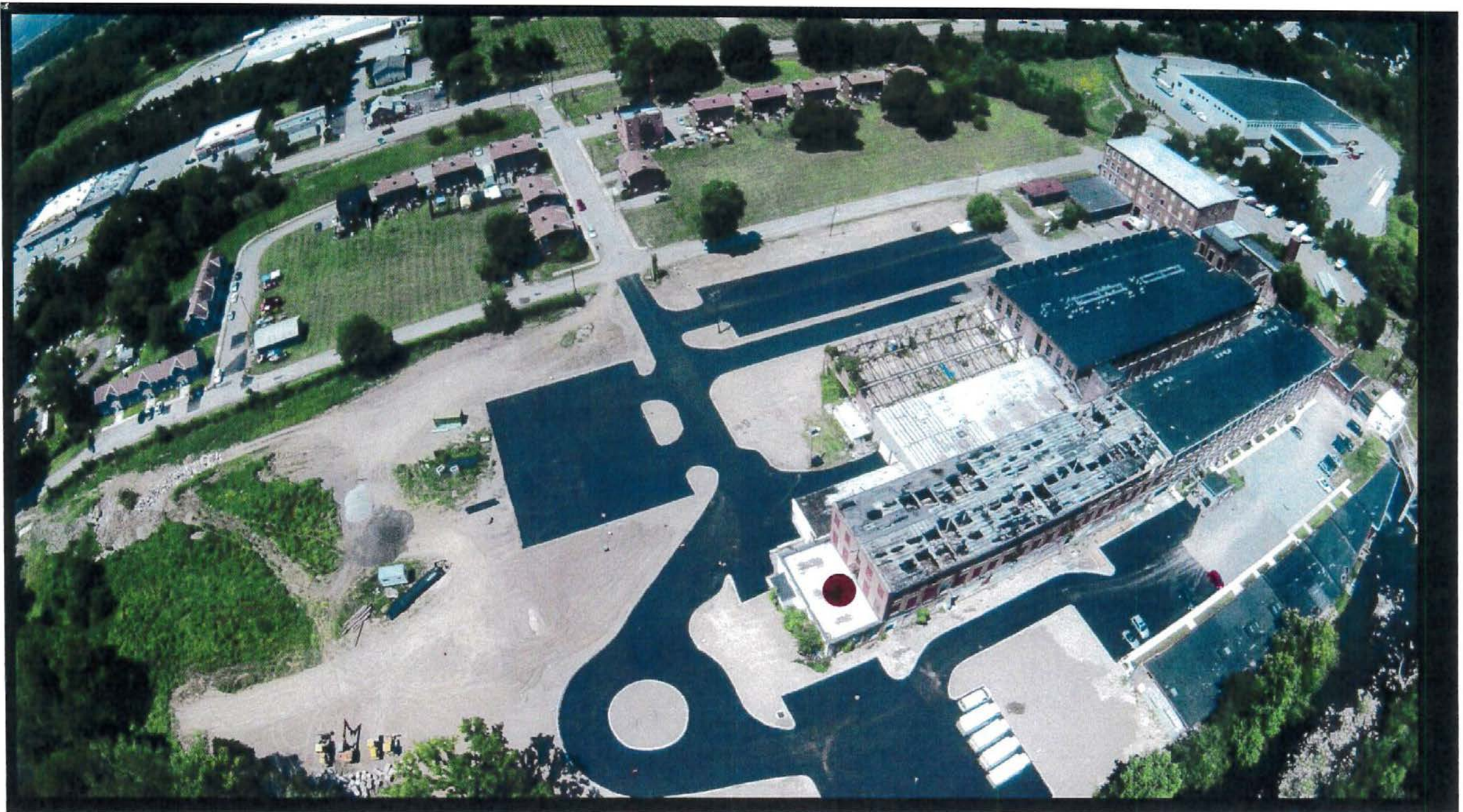


PREVIOUSLY APPROVED SITE PLAN











PROPOSED SITE PLAN

BEACON HIP LOFTS, LLC
174 Main Street
Beacon, NY 12508

Zoning Regulations Table

Proposed Building Height	Proposed Building Height					Proposed Building Height	Max. Floor Area	Max. Lot Coverage	Max. Setback	Total Proposed Floor Area
	10'	20'	30'	40'	50'					
Building Details	Building Details					Building Details	Max. Floor Area	Max. Lot Coverage	Max. Setback	Total Proposed Floor Area
	Building Details									
10'	20'	30'	40'	50'	60'	70'	80'	90'	100'	110'
* Building height shall be in whole number, in proposed building height, in feet, and shall not be less than one building										

1. ALL LOT COVERAGES ARE BASED ON THE TOTAL LOT AREA. LOT COVERAGES ARE NOT AVAILABLE FOR THE EXISTING ROOFTOP STRUCTURE. THE EXISTING ROOFTOP STRUCTURE SHALL NOT BE TAKEN INTO ACCOUNT FOR THE PURPOSES OF THIS APPLICATION. FOR REFERENCE ONLY.

2. THE TOTAL PROPOSED AREA OF BUILDING IS 10,000 SQ. FT. THE EXISTING ROOFTOP STRUCTURE IS 10,000 SQ. FT. THE TOTAL PROPOSED AREA OF BUILDING IS 20,000 SQ. FT.

3. THE TOTAL PROPOSED AREA OF BUILDING IS 20,000 SQ. FT. THE EXISTING ROOFTOP STRUCTURE IS 10,000 SQ. FT. THE TOTAL PROPOSED AREA OF BUILDING IS 30,000 SQ. FT.

4. THE TOTAL PROPOSED AREA OF BUILDING IS 30,000 SQ. FT. THE EXISTING ROOFTOP STRUCTURE IS 10,000 SQ. FT. THE TOTAL PROPOSED AREA OF BUILDING IS 40,000 SQ. FT.

5. THE TOTAL PROPOSED AREA OF BUILDING IS 40,000 SQ. FT. THE EXISTING ROOFTOP STRUCTURE IS 10,000 SQ. FT. THE TOTAL PROPOSED AREA OF BUILDING IS 50,000 SQ. FT.

6. THE TOTAL PROPOSED AREA OF BUILDING IS 50,000 SQ. FT. THE EXISTING ROOFTOP STRUCTURE IS 10,000 SQ. FT. THE TOTAL PROPOSED AREA OF BUILDING IS 60,000 SQ. FT.

7. THE TOTAL PROPOSED AREA OF BUILDING IS 60,000 SQ. FT. THE EXISTING ROOFTOP STRUCTURE IS 10,000 SQ. FT. THE TOTAL PROPOSED AREA OF BUILDING IS 70,000 SQ. FT.

8. THE TOTAL PROPOSED AREA OF BUILDING IS 70,000 SQ. FT. THE EXISTING ROOFTOP STRUCTURE IS 10,000 SQ. FT. THE TOTAL PROPOSED AREA OF BUILDING IS 80,000 SQ. FT.

9. THE TOTAL PROPOSED AREA OF BUILDING IS 80,000 SQ. FT. THE EXISTING ROOFTOP STRUCTURE IS 10,000 SQ. FT. THE TOTAL PROPOSED AREA OF BUILDING IS 90,000 SQ. FT.

10. THE TOTAL PROPOSED AREA OF BUILDING IS 90,000 SQ. FT. THE EXISTING ROOFTOP STRUCTURE IS 10,000 SQ. FT. THE TOTAL PROPOSED AREA OF BUILDING IS 100,000 SQ. FT.

- HATCHING LEGEND**
- CONCRETE SIDEWALK
 - ASPHALT PAVING
 - CONCRETE PAVING
 - STONE/GRASS DRIVE
 - GRASS
 - PERMEABLE CURB/DRIVEWAY
- BUILDING HATCHING LEGEND**
- EXISTING BUILDING FOOTPRINT
 - NEW CONSTRUCTION
 - ADJUNCTIVE EXISTING BUILDING

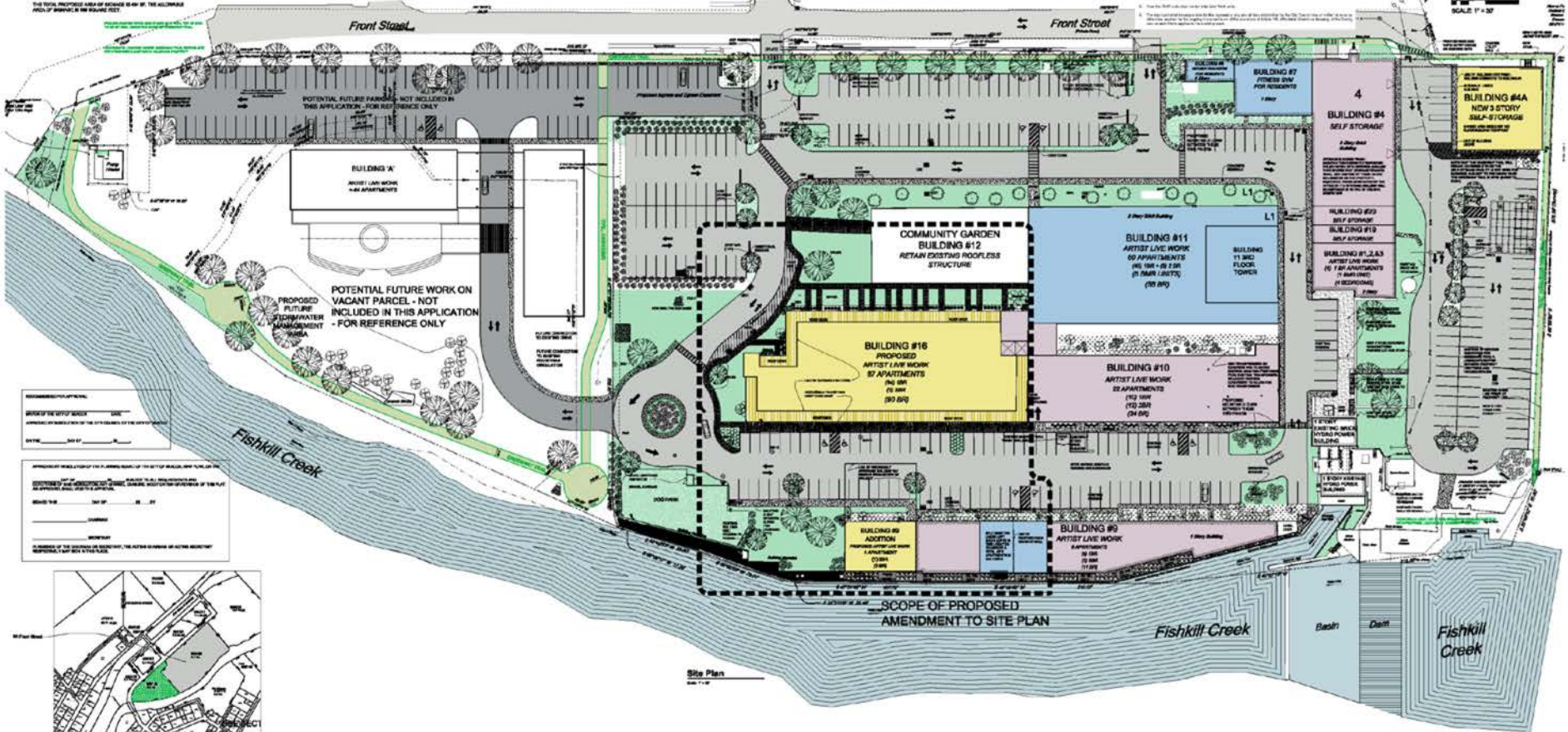
Beacon Community Development Corporation
174 Main Street
Beacon, NY 12508

Index of Drawings

- Sheet 1 of 10 Site Plan
- Sheet 2 of 10 Survey/Planning Conditions Plan
- Sheet 3 of 10 Landscaping Plan & Lighting
- Sheet 4 of 10 Building Plans
- Sheet 5 of 10 Elevations
- Sheet 6 of 10 Grading & Utility Plan
- Sheet 7 of 10 Erosion & Sediment Control Plan
- Sheet 8 of 10 Site Details
- Sheet 9 of 10 Stormwater Details
- Sheet 10 of 10 Water & Sewer Details

NOTE THAT SHEETS FROM THE PREVIOUSLY APPROVED SPECIAL USE PERMIT APPLICATION ARE INCLUDED IN THIS SET FOR REFERENCE.

NO.	DATE	REVISION	BY
1	08/01/2017	REVISED FOR PLANNING BOARD COMMENTS	AJB
2	08/01/2017	REVISED FOR PLANNING BOARD COMMENTS	AJB
3	08/01/2017	REVISED FOR PLANNING BOARD COMMENTS	AJB
4	08/01/2017	REVISED FOR PLANNING BOARD COMMENTS	AJB



1. THE TOTAL PROPOSED AREA OF BUILDING IS 10,000 SQ. FT. THE EXISTING ROOFTOP STRUCTURE IS 10,000 SQ. FT. THE TOTAL PROPOSED AREA OF BUILDING IS 20,000 SQ. FT.

2. THE TOTAL PROPOSED AREA OF BUILDING IS 20,000 SQ. FT. THE EXISTING ROOFTOP STRUCTURE IS 10,000 SQ. FT. THE TOTAL PROPOSED AREA OF BUILDING IS 30,000 SQ. FT.

3. THE TOTAL PROPOSED AREA OF BUILDING IS 30,000 SQ. FT. THE EXISTING ROOFTOP STRUCTURE IS 10,000 SQ. FT. THE TOTAL PROPOSED AREA OF BUILDING IS 40,000 SQ. FT.

4. THE TOTAL PROPOSED AREA OF BUILDING IS 40,000 SQ. FT. THE EXISTING ROOFTOP STRUCTURE IS 10,000 SQ. FT. THE TOTAL PROPOSED AREA OF BUILDING IS 50,000 SQ. FT.

5. THE TOTAL PROPOSED AREA OF BUILDING IS 50,000 SQ. FT. THE EXISTING ROOFTOP STRUCTURE IS 10,000 SQ. FT. THE TOTAL PROPOSED AREA OF BUILDING IS 60,000 SQ. FT.

6. THE TOTAL PROPOSED AREA OF BUILDING IS 60,000 SQ. FT. THE EXISTING ROOFTOP STRUCTURE IS 10,000 SQ. FT. THE TOTAL PROPOSED AREA OF BUILDING IS 70,000 SQ. FT.

7. THE TOTAL PROPOSED AREA OF BUILDING IS 70,000 SQ. FT. THE EXISTING ROOFTOP STRUCTURE IS 10,000 SQ. FT. THE TOTAL PROPOSED AREA OF BUILDING IS 80,000 SQ. FT.

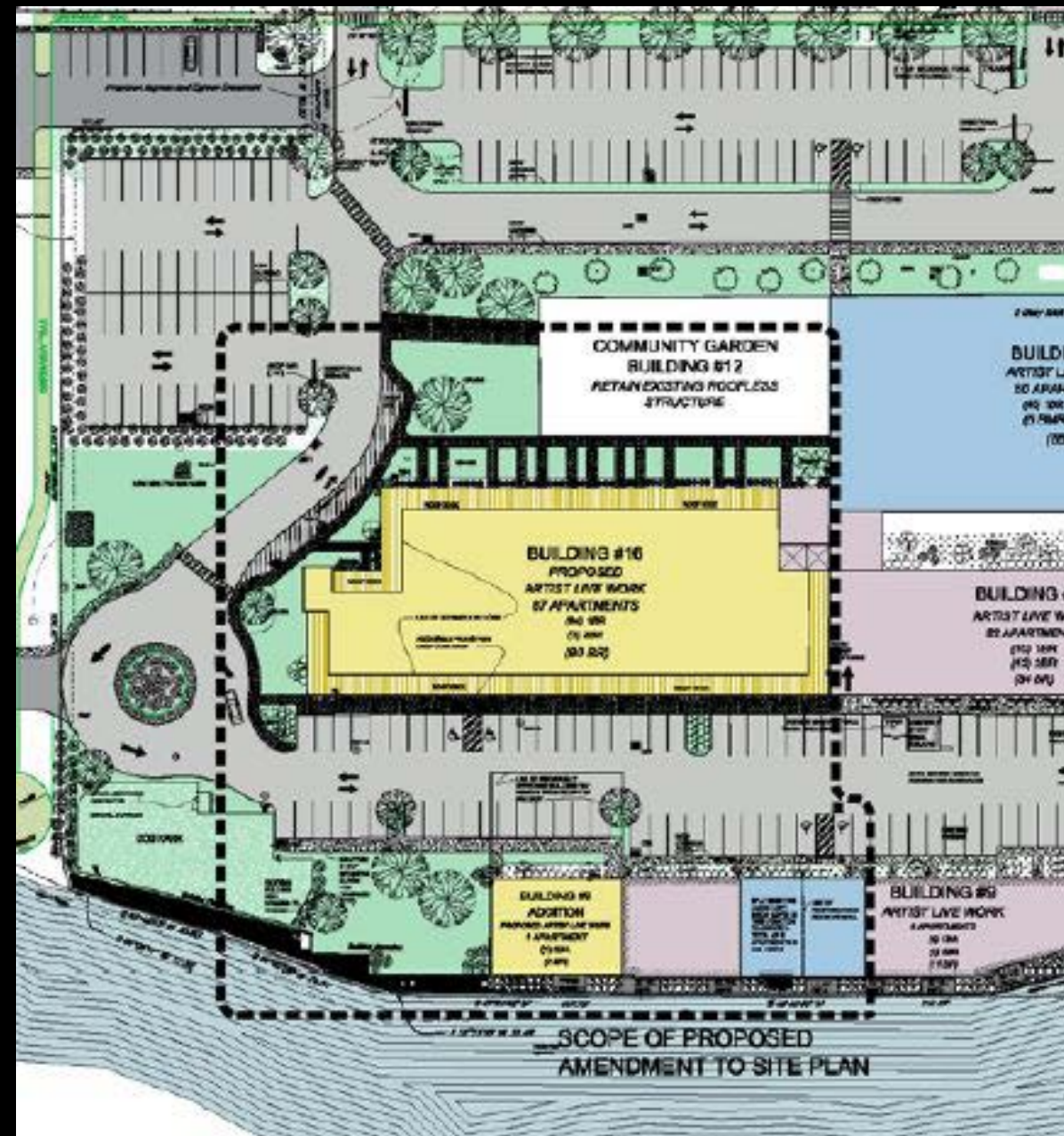
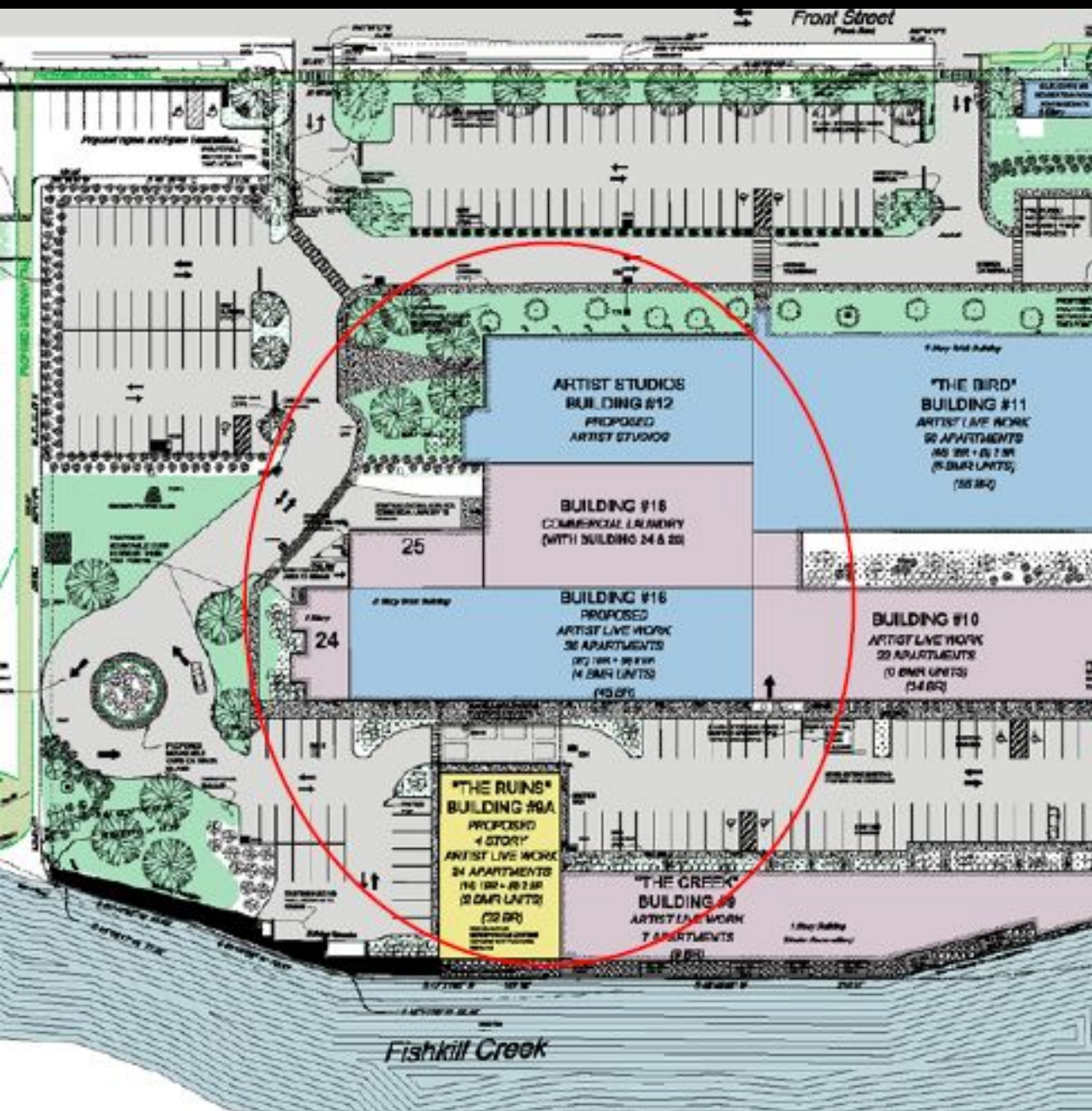
8. THE TOTAL PROPOSED AREA OF BUILDING IS 80,000 SQ. FT. THE EXISTING ROOFTOP STRUCTURE IS 10,000 SQ. FT. THE TOTAL PROPOSED AREA OF BUILDING IS 90,000 SQ. FT.

9. THE TOTAL PROPOSED AREA OF BUILDING IS 90,000 SQ. FT. THE EXISTING ROOFTOP STRUCTURE IS 10,000 SQ. FT. THE TOTAL PROPOSED AREA OF BUILDING IS 100,000 SQ. FT.

10. THE TOTAL PROPOSED AREA OF BUILDING IS 100,000 SQ. FT. THE EXISTING ROOFTOP STRUCTURE IS 10,000 SQ. FT. THE TOTAL PROPOSED AREA OF BUILDING IS 110,000 SQ. FT.



Amendment to Special Use Permit Application Site Plan - Sheet 1 of 10





View



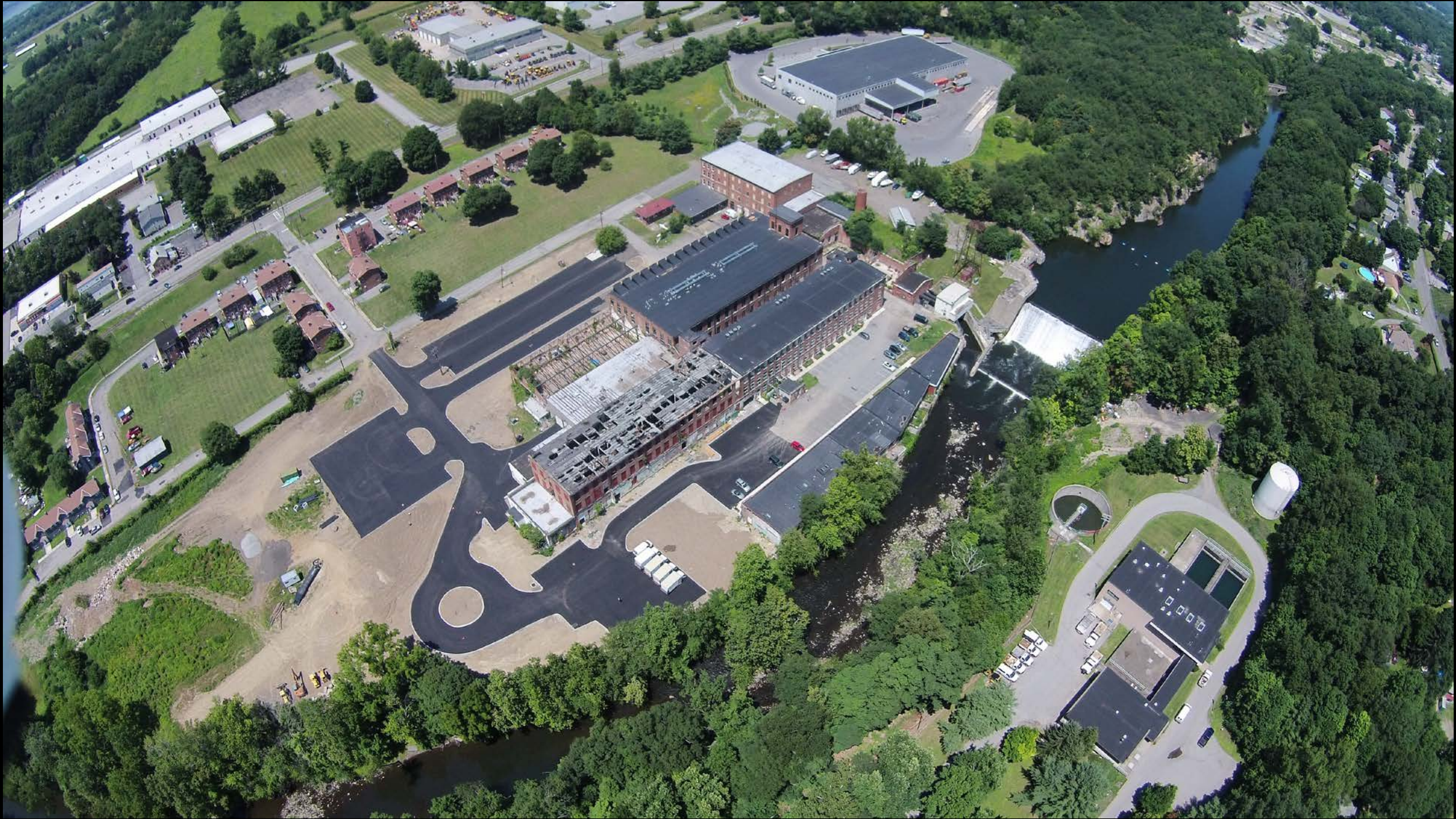
/iew



View



View





MECHTRONICS
584285
10.35 Ac.

542256
5 Ac. (d)

JESCO (TRACTORS)

RE COMMUNITY
(RECYCLE CENTER)
9.4 Ac. (c)

VACANT
594217
1.4 Ac. (c)

CHEMPRENE
503193
508186

1 FAM
APTS.
BAR

AUTO ZONE

FAMILY DOLLAR

CAR WASH

APTS.
564191
2.5 Ac. (c)

CITY OF BEACON
(VACANT LAND)

529161
1.4 Ac. (c)
APTS.

CITY OF BEACON
(WATER DEPT.)
590165
8.7 Ac.

VACANT
516113

535128
3.5 Ac. (c)
VACANT

502133
2.3 Ac. (c)







View

Groveville Mills, Matteawan N. Y.

6432



Groveville Mills, Matteawan N. Y.

6432

View



Groveville Historic Mill Complex

- A. Dubois operated a grist mill operating on Fishkill Creek, prior to 1820
- Samuel Upton, purchased the mill in 1820 from Abraham Dubois
 - Upton converted the grist mill to a fulling and carding mill
- The Glenham Company owned and operated the fulling and carding mill.
- The mill complex was expanded in 1858, due to the demand for uniforms during the Civil War.
- Tenements were constructed within the complex for worker housing
- The Glenham Company filed for Bankruptcy in 1876

Groveville Historic Mill Complex

- In 1876, A. T. Stewart acquired the mill complex, tenements and a nearby farm
- Stewart demolished the extant structures, and built an extensive carpet factory.
 - Stewart built Italianate-style worker housing to the north of the factory buildings, and constructed a bridge over Fishkill Creek
- Stewart's carpet mill closed in 1893
- By 1909, the machinery within the mill complex had been sold for scrap.

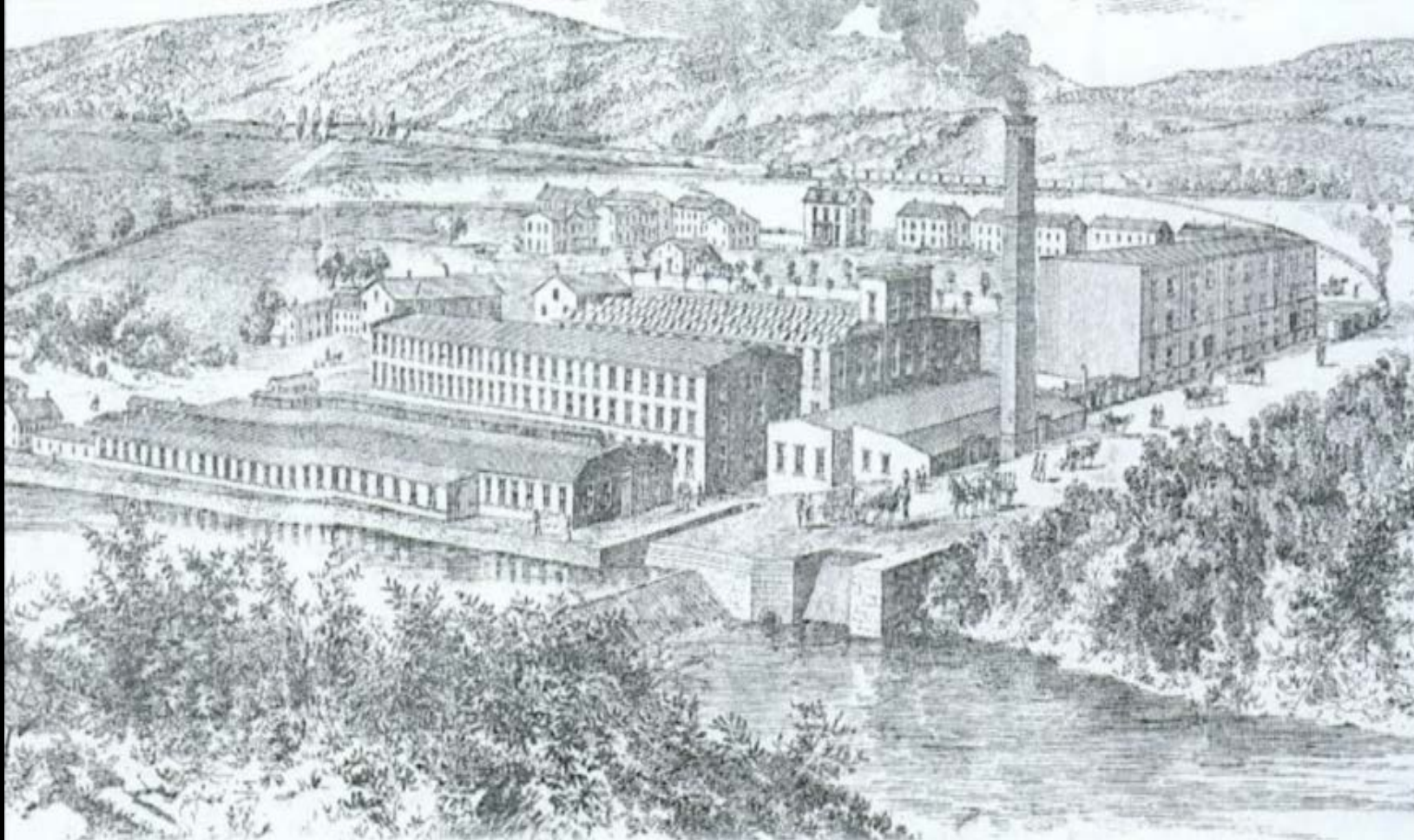
Groveville Historic Mill Complex

- Beacon Bronze Co. in 1922
- Beacon Rayon Fabrics Co. in 1935,
- Groveville Furniture Company in 1937
- Lewittes Furniture Company in 1939-1962
- By the 1970s the factory was manufacturing carpets
- In 1979, the property was owned by the Beacon Piece Dye Company, and that the factory buildings were vacant, but the residential properties were occupied.

Groveville Mill Historic Complex

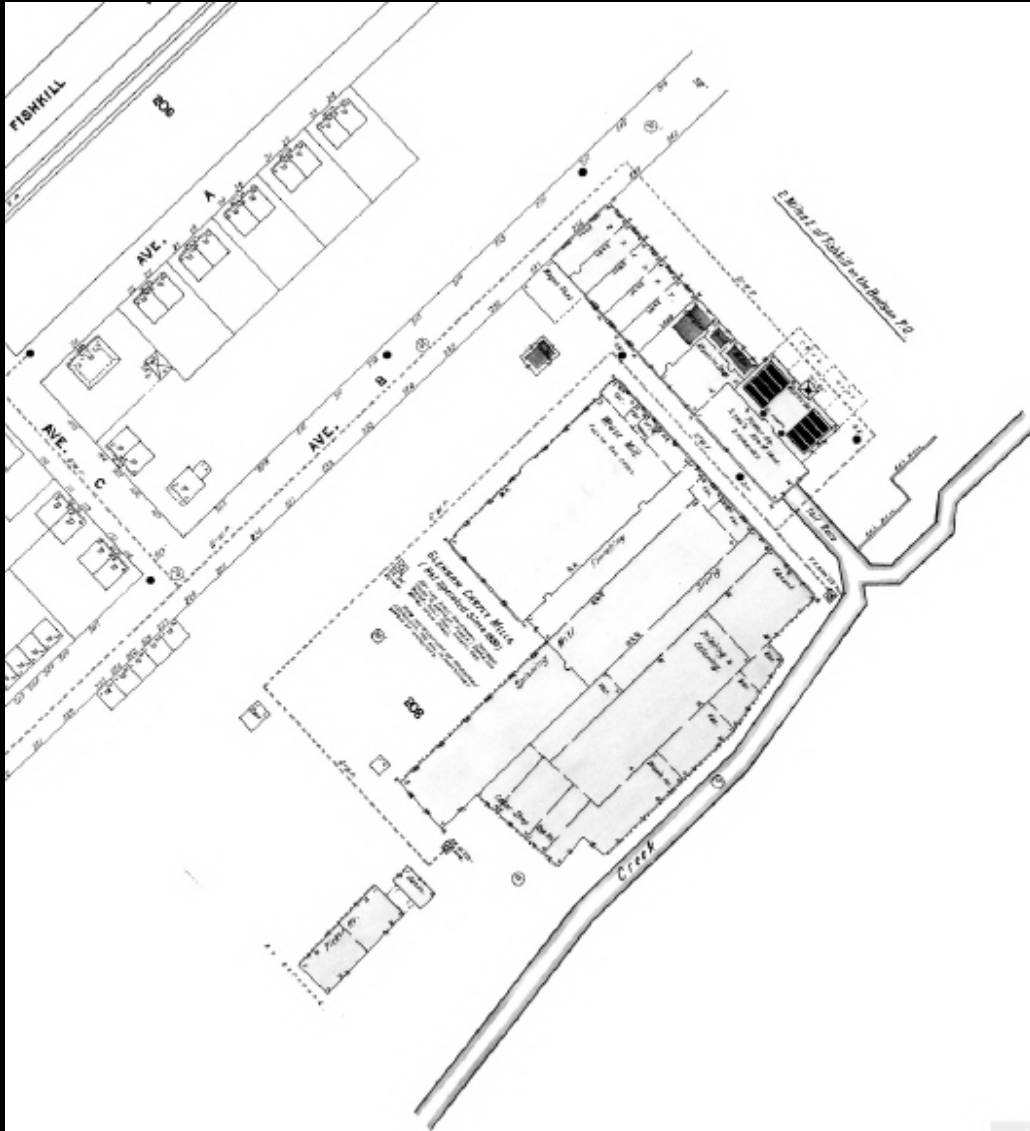
- is an important historical site
- It was one of the first factory complexes in the Hudson Valley Region to provide worker housing on the premises
- the buildings were occupied by local working class families through the twentieth century.
- The Beacon Lofts project has retained the integrity of the complex in the overall redevelopment concept, by maintaining the nineteenth century model of providing work space and housing within the same complex.

Groveville Mills, circa 1879.

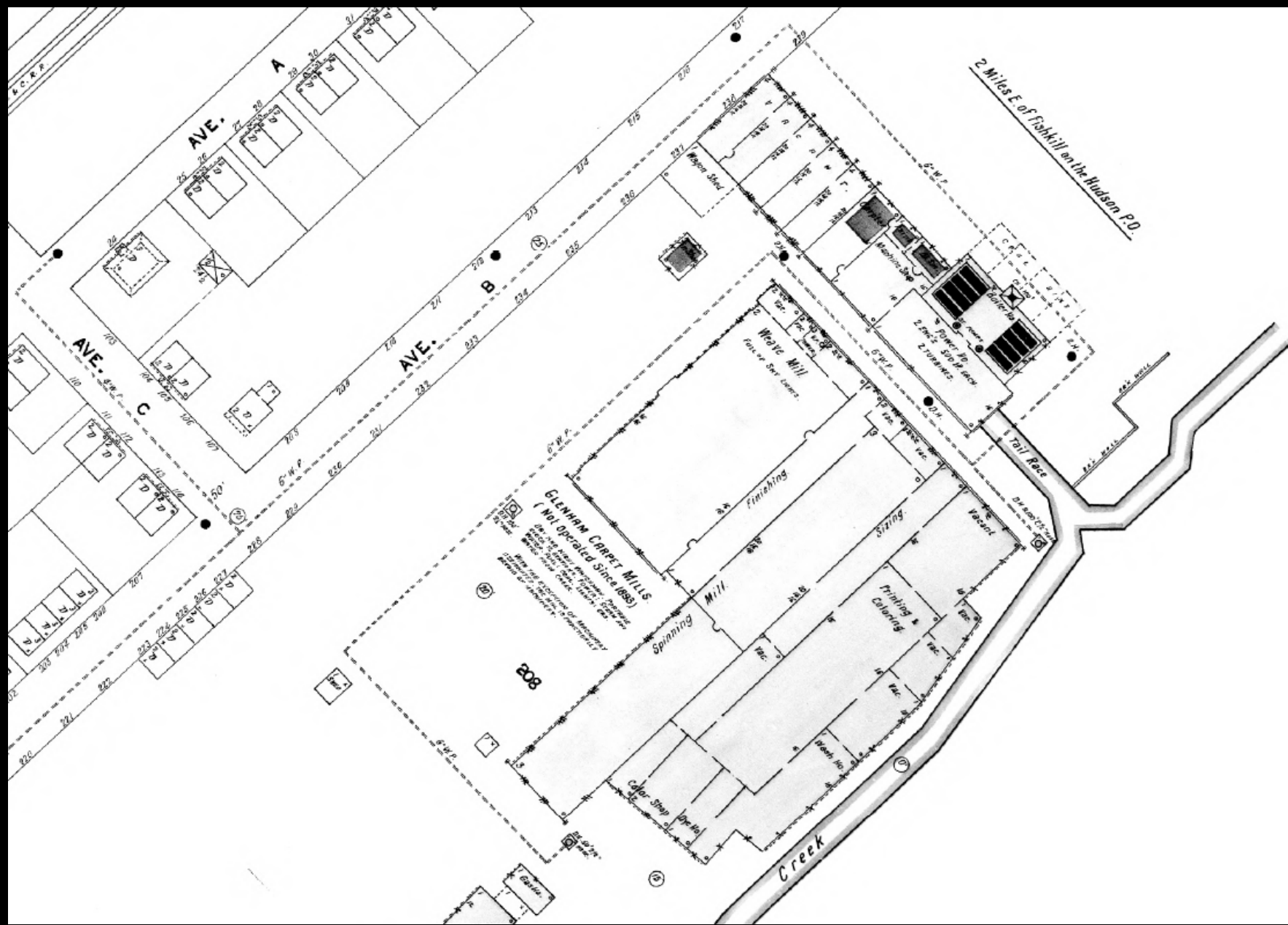


Robert Murphy, *History of Beacon* 1998

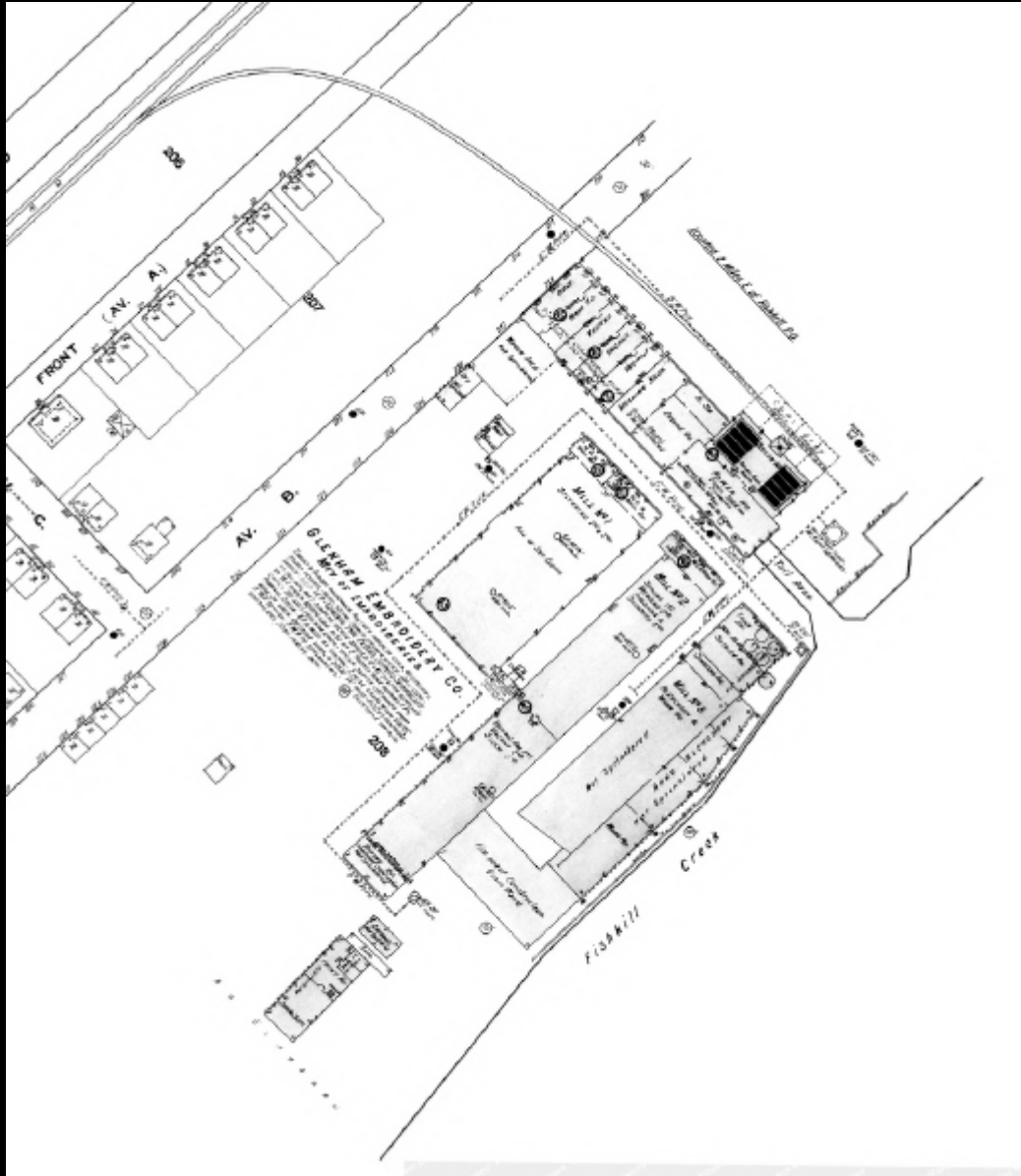
1904 Sanborn Fire Insurance Map



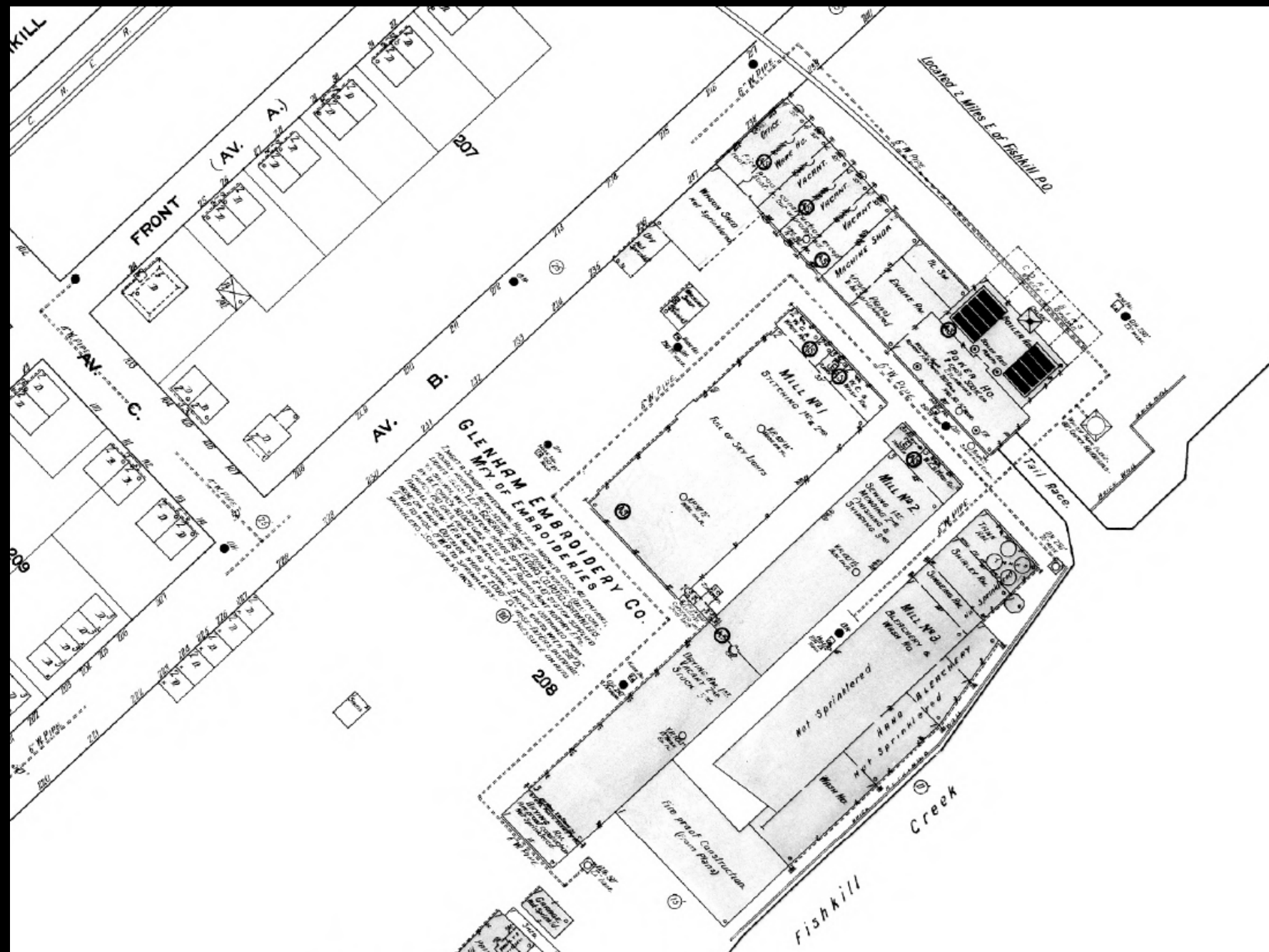
- the historic mill complex spanned the entire space between Building 16 and Building 9
- 100 foot tall chimney was located at the boiler house.
- Building 4, a series of conjoined small warehouses, was documented as four stories high, with an overall height of 55' above grade



1912 Sanborn Fire Insurance Map



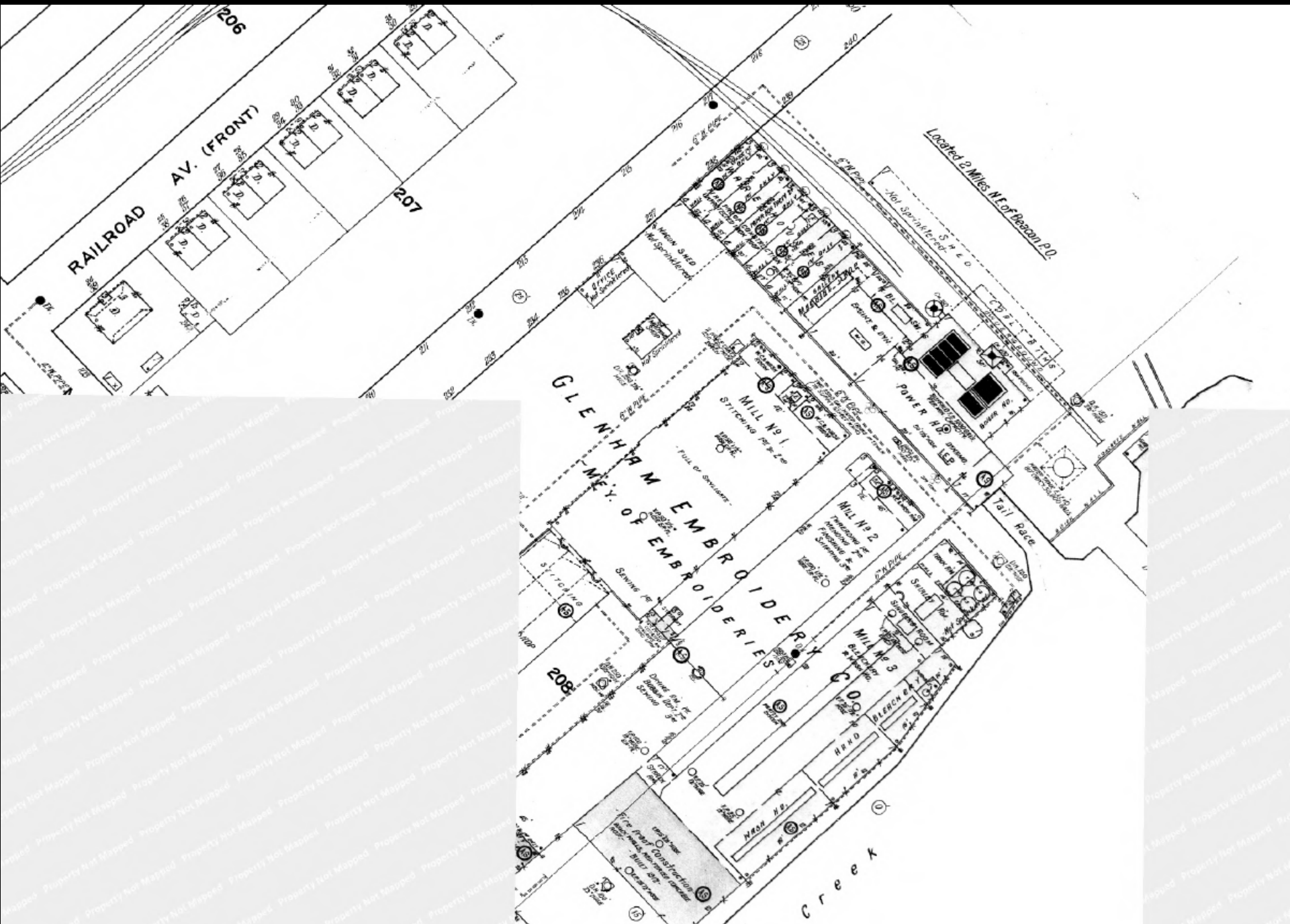
- The buildings between B. 16 and B.9 have been torn down, and a new building identified as the Mill No.3 Bleachery and Washhouse - constructed adjacent to the north side of Building 9.
- 80 foot high water tower, located near the boiler house
- 100 foot high chimney at the boiler house remains.



1919 Sanborn Fire Insurance Map



- the height of Building 4 was mapped between 43' and 57' above street level
- Bleachery building remains
- 80 foot high water tower, located near the boiler house remains
- 100 foot high chimney at the boiler house remains.





2000 Aerial Image. *Dutchess County Parcel Access*

Nineteenth Century Neighbors

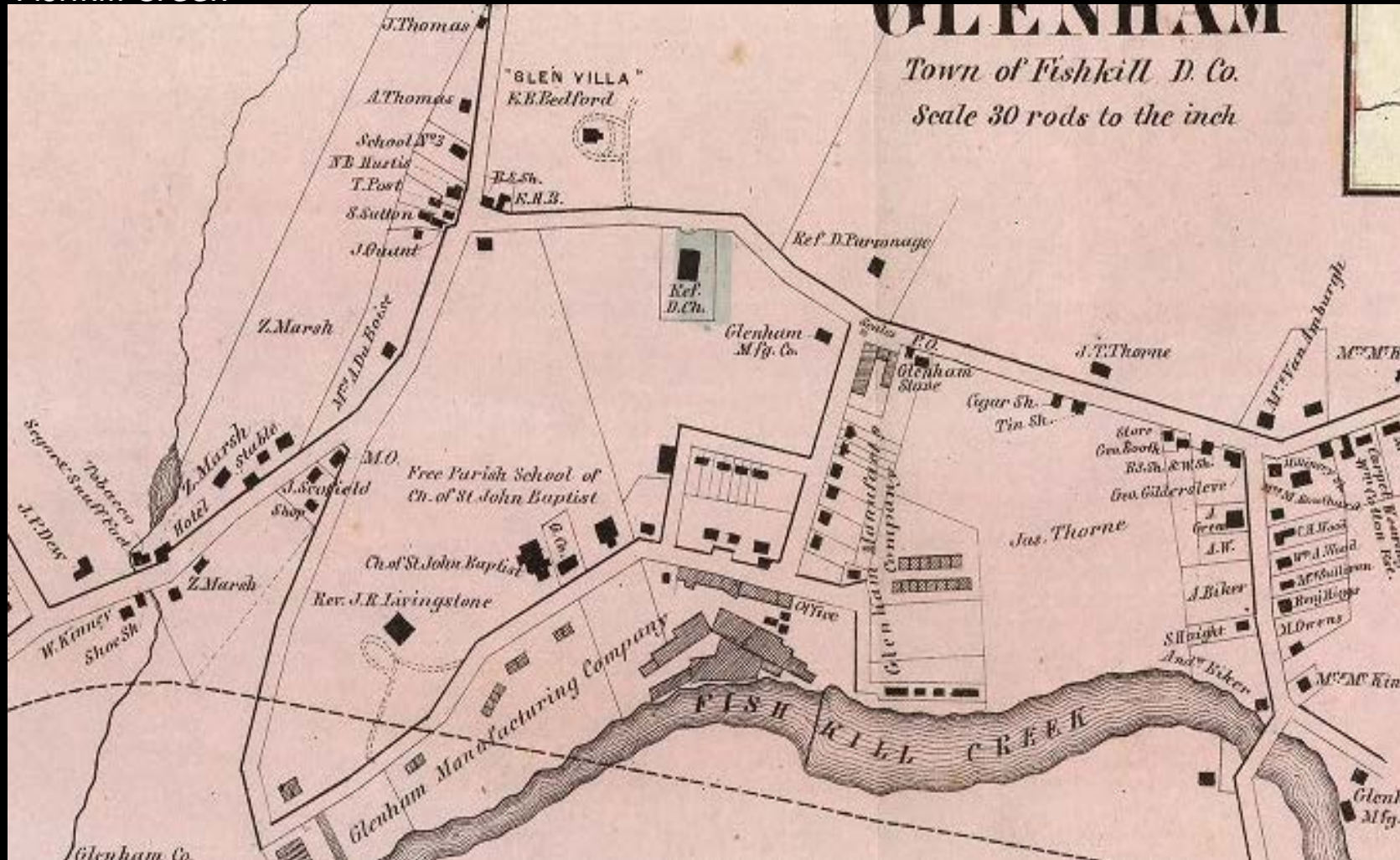
Matteawan Hatworks, Seamless clothing Manufactures, & Swift Machine Co.
Located south of Grovelille Mills, along Fishkill Creek



Historic Birds Eye View Matteawan NY, 1886

Nineteenth Century Neighbors

Glenham Manufacturing Company, located north of Groveville Mills, along Fishkill Creek



1867 F.W. Beers Fishkill, Dutchess County, New York.

Conclusion

- The layout, purpose and ownership of the Groveville Historic Complex buildings have changed dramatically over time, beginning at the close of the eighteenth and early nineteenth centuries
- The buildings within the historic complex have undergone almost continuous episodes of demolition and rebuilding
- the proposed Building 16 design is in keeping with the historic context of the complex
- the proposed height and massing will not negatively impact the historic context of the Groveville Mills Historic District



Proposed
Façade
Design



Alternate
Façade
with Piers

City of Beacon Workshop Agenda
10/9/2018

Title:

Linkage District local law

Subject:

Background:

ATTACHMENTS:

Description	Type
Linkage District LL	Local Law
Linkage District PB Memo	Backup Material

LOCAL LAW NO. ____ OF 2018

**CITY COUNCIL
CITY OF BEACON**

**LOCAL LAW AMENDING CHAPTER 223, Article IVE, Section 41.21
OF THE CODE OF THE CITY OF BEACON**

A LOCAL LAW to amend Chapter 223, Article IVE, Section 41.21 of the Code of the City of Beacon regarding the Linkage District Regulations for Uses that require a Special Permit.

BE IT ENACTED by the City Council of the City of Beacon as follows:

Section 1. Chapter 223 of the City Code, Article IVE entitled “Linkage District (L),” Section 41.21, Subsection B is hereby amended as follows:

§ 223-41.21 Regulations.

....

B. Uses by special permit.

- (1) The following uses are allowed in existing buildings as permitted uses. For newly constructed buildings, the following uses are allowed by special permit from the Planning Board, upon a finding that the proposed use is consistent with the City of Beacon Comprehensive Plan, will enhance the architectural character of the street, and will contribute to creating a more urban, pedestrian-friendly quality in the L District, and that the conditions and standards in § 223-18 B(1)(a) through (d) have been met:

- (a) Retail, personal services business or restaurant, coffee house, retail sales from trucks or trailers in accordance with § 223-26.3 or other establishment that serves food, with or without alcoholic beverages, provided that:

- [1] The floor area of each such establishment is not greater than 5,000 square feet;
- [2] The use is within 400 feet of the Route 9D-Beekman Street intersection, as identified on the Zoning Map, or located along the north side of West Main Street between Beekman Street and River Street; and

- [3] The Planning Board finds that there are no substantial detrimental effects on parking, traffic or on the character of surrounding neighborhoods or the community.
- (b) Office and manufacturing uses, including but not limited to microbreweries, microdistilleries, wineries and other food preparation businesses, with or without tasting rooms, that may also sell goods made on the site for consumption off the premises, provided that:
 - [1] The total office or manufacturing floor area of the building is no greater than 25,000 square feet;
 - [2] The use is on West Main Street or the use is within 400 feet of the Route 9D-Beekman Street intersection as identified on the Zoning Map; and
 - [3] The Planning Board finds that there are no substantial detrimental effects on parking, traffic or on the character of surrounding neighborhoods or the community.
- (2) In considering the appropriateness of the proposed use, the Planning Board shall consider impacts on shadows, traffic, and parking and may impose traffic and parking mitigation measures, including but not limited to provision of pedestrian walkways and stairways on site. When making a decision on a special permit, the Planning Board shall follow the procedures indicated in § 223-41.21 H(2) of this chapter.

Section 2. Ratification, Readoption and Confirmation

Except as specifically modified by the amendments contained herein, Chapter 223 of the City of Beacon is otherwise to remain in full force and effect and is otherwise ratified, readopted and confirmed.

Section 3. Severability

The provisions of this Local Law are separable and if any provision, clause, sentence, subsection, word or part thereof is held illegal, invalid or unconstitutional, or inapplicable to any person or circumstance, such illegality, invalidity or unconstitutionality, or inapplicability shall not affect or impair any of the remaining provisions, clauses, sentences, subsections, words or parts of this Local Law or their petition to other persons or circumstances. It is hereby declared to be the legislative intent that this Local law would have been adopted if such illegal, invalid or unconstitutional provision, clause, sentence, subsection, word or part had not been included therein, and if such person or circumstance to which the Local Law or part hereof is held inapplicable had been specifically exempt there from.

Section 4. Effective Date

This local law shall take effect immediately upon filing with the Office of the Secretary of State.



Memorandum

Planning Board

TO: Mayor Randy Casale and City Council Members

FROM: Etha Grogan
for Planning Board Chairman Sheers and Planning Board Members

RE: Review Local Law Amending Chapter 223, Article IVE, Section 41.21 Regarding
Linkage (L) District Regulations

DATE: September 12, 2018

At the September 11, 2018 Planning Board meeting, members reviewed proposed amendments to Chapter 223, Article IVE, Section 41.21 regarding the Linkage District Regulations for uses that require a Special Use Permit as requested. A comprehensive review and lengthy discussion about the proposed amendments took place with City Attorney Jennifer Gray and Building Inspector Tim Dexter.

After careful consideration of the purpose of proposed amendments, members voted unanimously to recommend the City Council adopt the changes as presented as they make good planning sense. Should you have any questions or require additional information, please feel free to contact me.

City of Beacon Workshop Agenda
10/9/2018

Title:

Public Notice Signs

Subject:

Background:

ATTACHMENTS:

Description	Type
LL Public Notice Sign	Local Law
PB memo Pub Hearing Signs	Backup Material

DRAFT LOCAL LAW NO. ____ OF 2018

**CITY COUNCIL
CITY OF BEACON**

**PROPOSED LOCAL LAW TO AMEND
CHAPTER 223, SECTION 61.3 OF THE CODE OF THE
CITY OF BEACON**

A LOCAL LAW to
amend Chapter 223,
Section 61.3 of the
Code of the City of
Beacon concerning
Public Notice Signs.

BE IT ENACTED by the City Council of the City of Beacon as follows:

Section 1. Chapter 223, Section 61.2 entitled “Hearing Notice Requirements, Subsection C of the Code of the City of Beacon is hereby amended as follows:

§ 223-61.2 Hearing notice requirements.

...

C. Public notice signs.

- (1) The applicant shall post one notification sign on the subject property, or in the case of a corner lot post a notification sign on both abutting streets, no later than 14 days prior to the initial public hearing and any continued public hearing thereafter. The applicant shall update said sign at least 14 days prior to every public hearing which the applicant's matter will be heard. The Building Inspector may require, in his or her discretion, the applicant to post an additional public notice sign, based on topography of the surrounding land, parcel size and shape, or any other factors the Building Inspector, in his or her discretion, feels may impact effective public notice.
- (2) Such sign shall be at least three-two feet by four-three feet in size, consist of sturdy and serviceable material containing a white background with black letters and be placed in a location visible from the most commonly traveled street or highway upon which the property fronts, or in the case of a corner lot on both streets, but in no case more than 20 feet back from the front lot line. Such sign shall read as follows, in legible lettering with the heading at least five inches in height and the content at least two inches in height:

PUBLIC NOTICE
A PUBLIC HEARING FOR A [application type] APPLICATION WILL BE
HELD BY THE CITY OF BEACON [City Council, Planning Board, or Zoning
Board of Appeals]
ON [insert date] AT [insert time] P.M.
AT THE CITY OF BEACON CITY HALL,
1 MUNICIPAL PLAZA, BEACON, NY
ADDITIONAL INFORMATION IS AVAILABLE AT THE BEACON
BUILDING DEPARTMENT
(845) 838-5020

- (3) In the event that the applicant shall appear before more than one board, the sign shall be appropriately revised to reflect the time and place of each board's meeting. At least two working days before the public hearing, the applicant shall also submit to the secretary of the applicable board a signed affidavit certifying to the fact and date of said posting.
- (4) The applicant shall, in good faith, maintain the public notice sign in good condition throughout the posting period.
- (5) The applicant shall remove the notification sign within five days of the adoption of any resolution concerning the application.

Section 2. Ratification, Readoption and Confirmation

Except as specifically modified by the amendments contained herein, Chapter 223 of the City of Beacon is otherwise to remain in full force and effect and is otherwise ratified, readopted and confirmed.

Section 3. Numbering for Codification

It is the intention of the City of Beacon and it is hereby enacted that the provisions of this Local Law shall be included in the Code of the City of Beacon; that the sections and subsections of this Local Law may be re-numbered or re-lettered by the Codifier to accomplish such intention; that the Codifier shall make no substantive changes to this Local Law; that the word "Local Law" shall be changed to "Chapter," "Section" or other appropriate word as required for codification; and that any such rearranging of the numbering and editing shall not affect the validity of this Local Law or the provisions of the Code affected thereby.

Section 4. Severability

The provisions of this Local Law are separable and if any provision, clause, sentence, subsection, word or part thereof is held illegal, invalid or unconstitutional, or inapplicable to any person or circumstance, such illegality, invalidity or unconstitutionality, or inapplicability shall not affect or impair any of the remaining provisions, clauses, sentences, subsections, words or parts of this Local Law or their petition to other persons or circumstances. It is hereby declared to be the legislative intent that this Local law would have been adopted if such illegal, invalid or unconstitutional provision, clause, sentence, subsection, word or part had not been included therein, and if such

person or circumstance to which the Local Law or part hereof is held inapplicable had been specifically exempt there from.

Section 6. Effective Date

This local law shall take effect immediately upon filing with the Office of the Secretary of State.

DRAFT



Memorandum

Planning Board

TO: Mayor Randy Casale and City Council Members

FROM: Etha Grogan
for Planning Board Chairman Sheers and Planning Board Members

RE: Review Proposed Local Law Amending Chapter 223, Section 61.3 Concerning
Public Notice Signs

DATE: September 12, 2018

At the September 11, 2018 Planning Board meeting, members reviewed proposed amendments to Chapter 223, Section 61.3 concerning public notice signs as requested. A comprehensive review and discussion about the proposed amendments took place with City Attorney Jennifer Gray. Members agreed with posting notification signs on both sides of a property on a corner lot, however recommended signs be posted on all street frontages in the case a corner property abuts more than two streets. In this regard, it is recommended that the amended language read as follows, "...or in the case of a corner lot post a notification sign on all abutting streets..."

Should you have any questions or require additional information, please feel free to contact me.

City of Beacon Workshop Agenda
10/9/2018

Title:

Sign Ordinance

Subject:

Background:

ATTACHMENTS:

Description	Type
LL Signs	Local Law

DRAFT LOCAL LAW NO. ____ OF 2018

CITY COUNCIL
CITY OF BEACON

PROPOSED LOCAL LAW TO
DELETE CHAPTER 183 AND AMEND
CHAPTER 223 SECTIONS 15 AND 63 OF THE
CODE OF THE CITY OF BEACON

A LOCAL LAW to
deleted Chapter 183
entitled “Signs” and to
amend Chapter 223
Sections 15 and 63 of
Code of the City of
Beacon, concerning sign
regulations in the City of
Beacon.

BE IT ENACTED by the City Council of the City of Beacon as follows:

Section 1. Chapter 183 of the Code of the City of Beacon entitled “Signs” is hereby deleted in its entirety.

Section 2. Chapter 223, Section 63 of the Code of the City of Beacon entitled “Definitions” is hereby amended to add the following definitions:

SIGN

Any material, structure or device, or part thereof, composed of lettered or pictorial matter which is located out of doors, or on the exterior of any building, including window signs located within 18 inches of the window surface and intended to be viewed from the exterior of the building, displaying an advertisement, announcement notice or name, and includes sign frames, billboards, signboards, painted wall signs, hanging signs, illuminated signs, pennants, fluttering devices or projecting signs, and shall include any declaration, demonstration, display, illustration or insignia used to advertise or promote the interests of any person or business or cause when the same is placed in view of the general public. A sign for the purposes of this section does not include works of art, including murals or other works of art, approved by the Planning Board.

~~Any structure or part thereof, or any device attached thereto or painted thereon, or any material or thing, illuminated or otherwise, which displays or includes any numeral, letter, work, model, banner, emblem, light, device, trademark or other representation used as an announcement, designation, direction, display or advertisement of any person, firm, group, organization, commodity, service, profession or enterprise when placed in such~~

manner that it provides visual communication to the general public out of doors, but not including the following:

- ~~A. Signs maintained or required to be maintained by law or governmental order.~~
- ~~B. The flag or insignia of any government or governmental agency.~~
- ~~C. The flag of any civic, political, charitable, religious, fraternal or similar organization, which is hung on a flagpole or mast.~~
- ~~D. Religious or other seasonal holiday decorations which do not contain commercial lettering, wording, designs, symbols or other devices.~~

SIGN AREA

Where a sign consists of a single board or face with information on one or both sides, the area which results by including the outside dimensions of such sign, not including the vertical, horizontal or diagonal supports which may affix the sign to the ground or to a structure or building unless such supports are evidently designed to be part of the sign as defined herein. Where a sign consists of several individual faces, the area shall be the total of the area of all such faces which can be observed from any one point. Where the sign consists of individual letters or symbols attached to or painted on any building, window, or part thereof, the area shall be considered to be that of the smallest basic geometric shape (rectangle, triangle or circle) which encompasses all of the letters, symbols and/or any background of a different color than the color of the building.

SIGN, AWNING

Any visual message incorporated in an awning attached to a building. This sign type does not include canopies over gas pumps.

SIGN, BILLBOARD

Any sign, other than an exempt sign, which advertises or otherwise directs attention to a business, commodity, service, industry or other activity which is not, or is only incidentally, sold, offered or conducted at the real property at which such sign is located.

SIGN, FREESTANDING

Any sign independent of any building but permanently affixed, by any other means, to the ground.

SIGN, LAWN

Temporary freestanding signs placed or inserted on the ground.

SIGN, ROOF

A sign erected on a roof or extending in height above the cornice or projecting eave of the roofline of the building on which the sign is erected.

SIGN, SANDWICH BOARD

A two-sided hinged sign, portable in nature and capable of standing without support or attachment. The area of a sandwich board sign shall be the total area of one face of the sandwich board sign.

SIGN, TEMPORARY

A banner, pennant, poster or advertising display constructed of paper, cloth, canvas, plastic sheet, cardboard, wallboard, plywood or other like materials and that appears to be intended or is determined by the Building Inspector, or his or her designee, to be displayed for a limited period of time of no more than 60 days in a 120 day period.

SIGN, WALL

Any painted sign or poster or any surface or place that may be affixed to the front, side or rear walls of any building.

SIGN, WINDOW

A type of sign applied onto or attached to the inside or outside of a window or a transparent door or within 18 inches of the window or transparent door surface.

Section 3. Chapter 223, Section 15 of the Code of the City of Beacon entitled “Signs” is hereby amended as follows:

§ 223-15 Signs.

A. Purpose. The purpose of this section is to promote and protect the public health, safety and welfare by regulating signs of all types within the City of Beacon. This section is intended to protect property values, create a more attractive economic and business climate, ensure pedestrian and vehicular safety, enhance and protect the physical appearance of the community and preserve the scenic and natural beauty of the City.

B. Objectives. These regulations also serve to achieve the following objectives:

- (1) Ensure right to free speech as protected under the Constitution;
- (2) Protect property values, create a more attractive economic and business climate, and protect the physical appearance of the community;
- (3) Provide structures and uses with effective means of identification while reducing visual clutter through the prevention of excessive and confusing sign displays;
- (4) Reduce traffic conflicts or hazards by minimizing visual distractions or obstacles in or visible from the public rights-of-way;
- (5) Minimize the adverse effect of signs on nearby public and private property;
- (6) Avoid personal injury and property damage from unsafe or confusing signs;

and

(7) Establish a clear and impartial process for those seeking to install signs.

C. Conformity required. No sign or billboard shall be erected, constructed, displayed, maintained, moved, reconstructed, extended, enlarged or altered, except in conformity with and expressly authorized by the provisions of this chapter.

D. Permit required.

(1) Unless specifically exempted from obtaining a permit under the provisions of this section, no person shall erect, construct, replace, relocate or structurally alter any sign within the City without first obtaining a sign permit from the Building Inspector and paying the required fee to the City Clerk. The repainting, repairing, changing of parts or sign facing, and maintenance of signs shall not require the issuance of a sign permit provided such maintenance, change or alteration does not in any way alter the size, illumination or location of the sign on the property.

(2) Submission of a permit application shall be on a form issued by the Building Department and the application fee shall be set forth in the City of Beacon Fee Schedule. The application shall include plans and/or specification of the sign, including the dimensions, materials and details of construction of the proposed sign.

(3) If a sign is not erected within six months following the issuance of a sign permit for said sign, the sign permit will automatically become void.

~~A. Relationship to a permitted use. All signs must pertain to a use conducted on the same property on which they are located.~~

~~B. Signs in residence districts. In residence districts, the following signs are hereby authorized:~~

~~(1) One identification sign stating the name and address of the resident or property or the number of the lot, not exceeding one square foot in area.~~

~~(2) One identification sign announcing any profession or occupation permitted as an accessory use on the lot, not exceeding one square foot of area.~~

~~(3) For other permitted uses, one sign at each street frontage where the use has an access drive, provided that the total area of such sign does not exceed 50 square feet.~~

~~(4) Temporary signs in accordance with Subsection F below.~~

~~(5)(1) Interior signs displayed through windows shall not require a permit under this section, and said signs shall not count toward maximum number of signs~~

~~affixed to a building per establishment. However, interior window signs affixed to or placed so as to be visible through a window shall be limited to the windows of the structure within which the permitted use is situated, facing the principal street giving access to such structure. The total amount of signage shall not exceed 30% of the total glass area. All signs shall be maintained in a legible, neat and orderly fashion.~~

E. Prohibited Signs.

- (1) Signs that contain words or pictures of an obscene or pornographic nature.
- (2) Signs that emit audible sounds, odor or visible matter.
- (3) Signs placed on a curb, sidewalk, hydrant, utility pole, trees or other objects located on or over any public street, public property or within any public right-of-way, unless otherwise permitted. The City reserves the right to remove any sign placed on public property without notice.
- (4) Signs that are mounted on wheels or mounted on any structure on wheels.
- (5) Signs with mirrors or any other reflective material.
- (6) Roof signs.
- (7) Billboards.
- (8) Signs that are mechanically, digitally or electronically animated.

F. Signs exempt from permit requirements. The following signs are exempt from the permit requirements of this section. Unless otherwise limited below, such exempt sign shall not exceed four feet in height and shall not exceed six square feet in sign area per sign. Each exempt sign must comply with all other provisions of this section.

- (1) Any official sign, public notice, or warning sign prescribed by federal, state or local law, including but not limited to signs erected and maintained pursuant to and in discharge of any government functions. The sign must comply with the size restrictions set forth herein, unless otherwise prescribed by federal, state or local law.
- (2) One identification sign stating the name and address of the resident or property or the number of the lot, not exceeding two square feet in area.
- (3) One nonilluminated secondary window signs communicating accessory information such as hours of operation, "in" or "out" signs, and totaling no more than one square foot in size.
- (4) Temporary nonilluminated window signs in non-residential zoning districts. The total amount of signage shall not exceed 20% of the total window surface

area. Temporary window signs shall include signs that identify special events and sales.

- (5) Nonilluminated signs used for the purpose of selling, renting or leasing land or buildings, and displayed only on the premises for sale or lease. No such signs shall exceed four feet in height or six square feet in area, shall be limited to one per premises, and shall be removed immediately upon sale, rental or lease of the premises. The sign shall be placed at least five feet from all property lines and shall not be placed in such a way as to obstruct proper sight distance or otherwise interfere with pedestrian or traffic flow.
- (6) One nonilluminated construction sign not exceeding six square feet in area identifying the parties involved in the design, financing and/or provision of labor and materials associated with the labor on the premises where the sign is located, but not including the advertisement of any product. Such sign shall be removed prior to the issuance of a certificate of occupancy authorizing the initiation of intended use of the premises. The sign shall be placed at least five feet from all property lines and shall not be placed in such a way as to obstruct proper sight distance or otherwise interfere with pedestrian or traffic flow.
- (7) Flags of any nation or state, and seasonal flags shall not require a sign permit. Flags shall not exceed six square feet.
- (8) Historical markers, monuments or signs as recognized by local, state or federal authorities.
- (9) One nameplate not exceeding two square feet for customary home occupations.
- (10) Two lawn signs on any lot without a permit provided that the sign does not exceed three feet in height and three square feet in area. The sign shall be placed at least five feet from all property lines and shall not be placed in such a way as to obstruct proper sight distance or otherwise interfere with pedestrian or traffic flow. Such signs are to be nonilluminated and shall be displayed for a limited period of time of no more than 60 days in a 120 day period.
- (11) Signs within a building not legible from the public right-of-way or adjacent lots, or any sign within an enclosed outdoor space, such as an athletic field, where such sign is not legible beyond the property lines.

C.G. Sign regulations in ~~residence~~ all districts.

- (1) ~~Animation. No sign shall be mechanically animated, such as moving, rotating or revolving.~~
- (2) Setback. All signs shall be located within the setback lines of the lot or on the building, unless otherwise permitted.

- (3) Repair. All signs and components thereof shall be kept in good repair and in safe, neat, clean and attractive condition.-
- (4) Illumination. Permitted signs may be internally or externally illuminated, unless otherwise prohibited, except by means of a neon-type electric material, provided that such illumination shall not be twinkling, flashing, intermittent, or of changing degrees of intensity or projected outward from the property onto adjacent properties or public rights-of-way ~~and provided that the source of such illumination shall not be visible beyond the boundaries of the lot on which it is located~~. Notwithstanding the above, neon, LCD and LED signs shall not be permitted in any residential districts, but may be permitted in nonresidential districts, unless otherwise prohibited.
- (5) Placement. No sign shall be located so as to obscure any signs displayed by a public authority, nor shall any sign be placed in such a way as to obstruct proper sight distance or otherwise interfere with pedestrian or traffic flow.
- (6) No sign shall be placed in a location that would cause a violation of the provisions of the Americans with Disabilities Act.

H. Signs for residential uses.

- (1) The aggregate sign area of all signs, including signs permitted under § 223-15G, on any lot shall not exceed 16 square feet.
- (2) A subdivision, apartment or multi-family housing development consisting of more than 15 dwelling units may display a nonilluminated, freestanding identification sign at each street entrance to the development, designating only the name of the development, the address and name of the owner and the names of any buildings located therein, provided that the maximum sign area of said sign shall not exceed 24 square feet and shall not be more than six feet in height. Such sign shall maintain at least a five foot setback from all property lines.

D.I. Signs in for nonresidence districts nonresidential uses. In nonresidence districts, the following signs are hereby permitted for nonresidential uses: authorized:

- (1) Not more than one sign affixed to the outer wall of the structure within which the permitted use is situated, which outer wall faces the principal street giving access to such structure, provided that:
 - (a) The aggregate area of each such sign shall not exceed one square foot for each linear foot of building facing the street.
 - (b) The aggregate area of all signs, including signs permitted under § 223-15G, on any lot shall not exceed two square feet for each linear foot of a building facing the street.

- ~~(b)(c)~~ No such sign shall exceed two feet in height, except that a vertical projecting wall sign shall not exceed eight feet in height or ten square feet. A vertical projecting wall sign is defined as any sign which is attached to the building wall or structure which is perpendicular to the face of such wall or structure.
- ~~(e)(d)~~ No sign shall project above the eaves of the building on which it is affixed or, if no eaves exist thereon, the roof, nor shall any sign extend more than six inches into any required yard.
- ~~(d)~~ No sign shall face an abutting residential zoning district if located within 50 feet of such district.
- (e) Vertical projecting wall signs shall not have more than two faces.
- (f) The exterior edge of a vertical projecting wall sign shall not extend more than ~~five~~ six feet from the outer wall of the structure or ~~1/3 the width of the sidewalk, whichever is less.~~
- (g) No part of a vertical projecting wall sign shall extend into vehicular traffic areas, and any part over pedestrian areas shall have a minimum clearance of seven feet, six inches.
- (2) Not more than one freestanding sign facing each street on which the lot abuts, provided that:
 - (a) The building is set back ~~not less than~~ at least 50 feet from the street line, in which case the sign shall not exceed 20 square feet in area.
 - (b) The building is set back ~~not less than~~ at least 100 feet from the street line, in which case the sign shall not exceed 35 square feet in area.
 - (c) ~~No dimension shall exceed 12 feet. The top of the sign shall be no higher than 16 feet off the ground.~~
- (3) Permanent window signs. The total amount of signage shall not exceed 20% of the total window surface area and shall not exceed four feet in height and 16 square feet in area.
- (4) Awning signs. One sign for each premise shall be allowed. The area of such sign shall not exceed 20% of the area of the awning.
- (5) Sandwich board signs. A single sandwich board sign shall be permitted on any lot provided that such sign does not exceed three feet in height and six feet in area. All sandwich board signs shall be brought in each day at the close of business. Signs shall not be placed in such a way as to obstruct property sight distance or otherwise interfere with pedestrian or traffic flow.

~~(3)(6) One identification sign, not exceeding 10 square feet in area, to the outer wall of the structure facing upon a street or parking lot not faced by a sign as permitted in Subsection E(1) above.~~

~~(4)(7) In addition to other permitted signs, necessary small directional signs are permitted on access roads and parking areas, provided that the area of each sign shall not exceed two square feet.~~

~~(5)(8) Interior signs displayed through windows shall not require a permit under this section, and said signs shall not count toward maximum number of signs affixed to a building per establishment. However, interior window signs affixed to or placed so as to be visible through a window shall be limited to the windows of the structure within which the permitted use is situated, facing the principal street giving access to such structure. The total amount of signage shall not exceed 30% of the total glass area. All signs shall be maintained in a legible, neat and orderly fashion.~~

~~(6) Temporary signs in accordance with Subsection F below.~~

J. Signs in the Historic District and Landmark Overlay Zone. All signs in the Historic District and Landmark Overlay Zone shall be approved by the Planning Board pursuant to § 134-6.

E.K. Temporary signs.

(1) All signs of a temporary nature must receive permits before being displayed, except those specified in 123-15G. No more than one temporary sign may be permitted per lot or used at any given time.

(2) Requirements. Any proposed temporary sign shall conform to the following:

(a) Such sign shall not exceed four feet in height and 32 square feet in area in any non-residential district.

(b) Such sign shall not exceed four feet in height and 16 square feet in area in any residential district.

(c) Such sign shall not be displayed for more than 60 consecutive days in a 120 day period.

(d) Such sign shall not be illuminated.

(e) Such sign shall maintain at least a five foot setback from all property lines.

(f) Such sign shall be placed in such a way as to not obstruct proper sight distance or otherwise interfere with pedestrian or traffic flow.

(3) Banners or Pennants. Banners or pennants shall be permitted as temporary signs and shall be subject to the provisions set forth above. No banner shall be displayed over any sidewalk, City street or highway except upon approve by the City Council.

~~(i.) A temporary sign is a nonilluminated sign that is used in connection with a circumstance, situation or event that is designed, intended or expected to take place or to be completed within a reasonably short or definite period after the erection of such sign, such as signs displayed during campaigns, drives or events of civic, political, philanthropic, educational or religious institutions. If such sign display area is permanent but the message displayed is subject to periodic changes, that sign shall not be regarded as "temporary." Unless otherwise provided in this section, signs shall not be considered temporary if they are effectively displayed on an ongoing basis, interrupted by short intervals when they are not displayed. Temporary signs shall not require a permit under this section, unless located in the public right-of-way or on public property.~~

~~(2) Temporary signs must be removed by the individual or organization which posted, or caused to be posted, such temporary signs within seven calendar days after the event for which they are displayed, unless otherwise provided in this section.~~

~~(3) No temporary sign shall be located so as to obscure any signs displayed by a public authority, nor shall any sign be placed in such a way as to obstruct proper sight distance or otherwise interfere with pedestrian or traffic flow.~~

~~(4) The following temporary signs shall be permitted in all districts, unless otherwise provided in this section:~~

~~(a) Not more than one temporary sign for each street frontage of the lot, identifying the architect, engineer and/or contractor, and not exceeding 40 square feet in area in nonresidence districts and six square feet in residence districts, shall be permitted during the course of construction only.~~

~~(b) One "for sale" or one "to let" sign not exceeding six square feet in area for a single lot, or 50 square feet in area for a real estate subdivision, and set back at least 15 feet along the frontage of the street upon which the property is located. A "sold" sign shall not be displayed for more than 30 calendar days.~~

~~(c) Signs indicating that a special event such as a grand opening, fair, carnival, circus, festival or similar event is taking place on the lot where the sign is located, not exceeding 40 square feet in area in nonresidence districts and six square feet in residence districts, and limited to one sign for each street frontage of the lot. The sign shall not be posted sooner than two weeks prior to the special event and~~

~~shall be removed by the individual or organization which posted, or caused to be posted, such sign within three calendar days following the special event.~~

~~(d) Sidewalk signs with no more than two faces, including but not limited to sandwich boards, in nonresidence districts, or in any other district provided the sign is located on Route 52 (Fishkill Avenue and Teller Avenue) or Route 9D (North Avenue and Wolcott Avenue), not exceeding one sign per business and not exceeding two feet in width and three feet in height. Sidewalk signs may be displayed on an ongoing basis, but shall not be displayed between the hours of 11:00 p.m. and 6:00 a.m., shall not include banners, and shall not be tethered. Sidewalk signs shall be located in the front of the business for which the sign is displayed, unless the business is located on a corner lot in which case the sign may be located to the side of the business, or unless the business maintains a rear entrance in which case the sign may be located to the rear of the business.~~

~~(e) Signs for tag, garage or yard sales, not exceeding six square feet.~~

~~(f) Signs conveying a nonpolitical, noncommercial message, not exceeding 40 square feet in area in nonresidence districts and six square feet in residence districts and limited to one sign for each street frontage of the lot.~~

~~(g)(a) Political posters, banners, promotional devices and similar political signs.~~

~~F. Sign regulations in nonresidence districts.~~

~~(1) Illumination. Permitted signs may be internally or externally illuminated, provided that such illumination shall not be twinkling, flashing, intermittent, of changing degrees of intensity or projected outward from the property onto adjacent properties or public rights-of-way and provided that the source of such illumination shall not be visible beyond the boundaries of the lot on which it is located. Notwithstanding the above, neon, LCD and LED signs may be permitted.~~

~~(2) Placement. No sign shall be located so as to obscure any signs displayed by public authority, nor shall any sign be placed in such a way as to obstruct proper sight distance or otherwise interfere with pedestrian or traffic flow.~~

~~(3) Setback. Unless otherwise specified, all signs shall be located within the setback lines of the lot or on the building.~~

~~(4) Repair. All signs and components thereof shall be kept in good repair and in safe, neat, clean and attractive condition.~~

- ~~(5)(1) Animation. No sign shall be mechanically animated, such as moving, rotating or revolving.~~

~~G. Temporary signs in the public right-of-way and on public property.~~

- ~~(1) Permit required. In all districts, no temporary signs shall be erected in the public right-of-way or on public property without a permit, unless specifically exempted below.~~
- ~~(2) Exceptions. The following signs shall not be subject to the issuance of a permit:~~
- ~~(a) Public signs erected by or on behalf of a governmental body to post legal notices, identify public property, convey public information, and direct or regulate pedestrian or vehicular traffic.~~
 - ~~(b) Temporary emergency warning signs erected by a governmental body, public utility company or contractor doing authorized or permitted work within the public right-of-way, provided that such signs shall be located outside of the public vehicular and pedestrian travel ways and shall be placed so as not to create any nuisance or threat to public safety.~~
 - ~~(c) Bus stops erected by a public transit company.~~
 - ~~(d) Informational signs of a public utility regarding its poles, lines, pipes or facilities.~~
- ~~(3) Permit standards. The Building Inspector or his duly authorized designee shall issue a permit within a reasonable period of time following receipt of a complete permit application for the placement of a temporary sign in the right-of-way or on public property, provided the following conditions are satisfied:~~
- ~~(a) Submission of a permit application on a form issued by the Building Department and payment of the application fee as set forth in the City of Beacon Fee Schedule.~~
 - ~~(b) No sign shall be placed in a location that would cause a violation of the provisions of the Americans with Disabilities Act, as may be amended from time to time.~~
 - ~~(c) All signs must comply with the provisions of Subsection F, above.~~
 - ~~(d) No sign shall be located so as to obscure any signs displayed by a public authority, nor shall any sign be placed in such a way as to obstruct proper sight distance or otherwise interfere with pedestrian or traffic flow or means of egress.~~

- ~~(e) The necessity of surety bonds and/or insurance shall be determined by the Building Inspector or his duly authorized designee. If it is determined that such surety bond and/or insurance is necessary, the amount of such surety bond and/or insurance shall be determined by the Building Inspector or his duly authorized designee, in his/her sole discretion, as may be necessary to defray any expense of liability from the City. Surety bonds and/or insurance policies shall be approved as to form by the City Attorney.~~
- ~~(f) Permits for sidewalk signs shall be valid for one year from the date of issuance and shall not be transferrable.~~

L. Nonconforming signs.

- (1) All nonconforming signs shall be removed or brought into compliance within three years of the adoption date of this section.
- (2) Any nonconforming sign that is removed from its position or siting and not replaced in-kind within 30 days shall be presumed to be abandoned and discontinued and may not be restored or re-erected except in compliance with this section.
- (3) No nonconforming sign may be altered in any way that would increase its nonconformity with the regulations of this section, including but not limited to area, height, setback and illumination.
- (4) Nothing herein shall be deemed to prevent maintaining a nonconforming sign in good repair and safe condition.

H.M. Violations.

- (1) Noncompliance with any of the foregoing provisions shall constitute an offense, punishable as provided for in § 1-3, General penalty. When a person has received written notice from the Building Inspector or has been served with a summons and complaint in an action to enjoin continuance of any violation, each day in excess of 10 days thereafter that he shall continue to be guilty of such violation shall constitute an additional, separate and distinct offense.
- (2) Any temporary sign installed or placed, except in conformance with the requirements of this section, shall be subject to removal. In addition to other remedies hereunder, the City shall have the right to recover from the owner or person placing such sign the full costs of removal and disposal of such signs in accordance with the administrative fee set forth in the City of Beacon Schedule of Fees. The fee shall be paid by the individual or entity retrieving the signs from the City. The City shall dispose of the sign(s) after five calendar days from the removal of the sign(s) by the City.

- (3) The display of any sign at a location containing the name or address of a person or entity and a commercial message relating to such person or address shall be presumptive evidence that such person installed, created, erected and maintained the sign at the location where it was displayed. This presumption shall be subject to rebuttal by competent evidence.

Section 4. Ratification, Readoption and Confirmation

Except as specifically modified by the amendments contained herein, Chapter 223 of the City of Beacon Code is otherwise to remain in full force and effect and is otherwise ratified, readopted and confirmed.

Section 5. Severability

The provisions of this Local Law are separable and if any provision, clause, sentence, subsection, word or part thereof is held illegal, invalid or unconstitutional, or inapplicable to any person or circumstance, such illegality, invalidity or unconstitutionality, or inapplicability shall not affect or impair any of the remaining provisions, clauses, sentences, subsections, words or parts of this Local Law or their petition to other persons or circumstances. It is hereby declared to be the legislative intent that this Local law would have been adopted if such illegal, invalid or unconstitutional provision, clause, sentence, subsection, word or part had not been included therein, and if such person or circumstance to which the Local Law or part hereof is held inapplicable had been specifically exempt therefrom.

Section 6. Effective Date

This local law shall take effect immediately upon filing with the Office of the Secretary of State.

City of Beacon Workshop Agenda
10/9/2018

Title:

123 Rombout stormwater agreement

Subject:

Background:

ATTACHMENTS:

Description

Type

Reso_123 Rombout

Resolution

123 Rombout

Agreement

CITY OF BEACON

CITY COUNCIL

Resolution No. _____ of 2018

**RESOLUTION AUTHORIZING A STORMWATER MANAGEMENT FACILITY
INSPECTION AND MAINTENANCE EASEMENT AGREEMENT
REGARDING 123 ROMBOUT AVENUE**

WHEREAS, My Four Dghtr's Realty Corp. obtained approval from the City of Beacon Planning Board on October 11, 2017 for an 10-unit residential development at 123 Rombout Avenue pursuant to certain plans generally entitled, "123 Rombout Avenue," prepared by Aryeh Siegel, Architect, and Hudson Land Design, dated July 25, 2017, last revised September 26, 2017 (the "Project"); and

WHEREAS, a Drainage Report for 123 Rombout Avenue, and a Stormwater Management System Operation and Maintenance Plan, both prepared by Hudson Land Design, have been approved in connection with the Project; and

WHEREAS, the purpose of the proposed Stormwater Management Facility Inspection and Maintenance Easement Agreement is to provide for and ensure the long term maintenance and continuation of the stormwater control measures required by the approved plans, Drainage Report and Stormwater Management System Operation and Maintenance Plan.

NOW THEREFORE, BE IT RESOLVED THAT, the City Council hereby authorizes the Mayor and/or City Administrator to sign the Stormwater Management Facility Inspection and Maintenance Easement Agreement for said purpose, along with all documents as may be necessary for the recording of such Agreement, subject to review and approval by the City Attorney and City Engineer.

**STORMWATER CONTROL FACILITY
MAINTENANCE AGREEMENT AND EASEMENT**

WHEREAS, the **CITY OF BEACON** ("Municipality") and **MY FOUR DGHTR'S REALTY CORP.** ("Facility Owner") desire to enter into this agreement (the "Agreement"), dated this ____ day of _____, 2018, to provide for the long term maintenance and continuation of stormwater control measures approved by the Municipality for certain real property located at 123 Rombout Avenue, Beacon, New York, identified as tax parcel 5954-35-794799, more fully shown on a the site plans consisting of eight (8) sheets generally entitled "123 Rombout Avenue", prepared by Aryeh Siegel, Architect, and Hudson Land Design, dated July 25, 2017, last revised September 26, 2017 and filed in the City of Beacon Building Department (the "Approved Project Plans"), and further described by metes and bounds in Schedule A annexed hereto (the "Premises"); and

WHEREAS, this Agreement is provided in connection with a residential development project known as Site Plan Approval for 123 Rombout Avenue, which received a Use Variance to allow ten (10) multi-family apartments (10 units) from the Zoning Board of Appeals on May 16, 2017, and Site Plan Approval from the City of Beacon Planning Board on October 11, 2017, based on the Approved Project Plans, which include certain stormwater management facilities and control measures (collectively, the "Facility") required to be constructed and maintained in accordance with the Approved Project Plans, as well as in the approved Drainage Report for 123 Rombout Avenue, prepared by Hudson Land Design Professional Engineering, P.C., dated July 25, 2017 (the "Drainage Report"), and the Stormwater Management System Operation and Maintenance Plan (the "SWMSOMP") prepared by Hudson Land Design Professional Engineering, P.C., dated August 23, 2018; and

WHEREAS, the Municipality and the Facility Owner desire that the Facility be built in accordance with the Approved Project Plans and thereafter be maintained, cleaned, repaired, replaced and continued in perpetuity in order to ensure optimum performance of the Facility;

NOW, THEREFORE, IN WITNESS WHEREOF, the Municipality and the Facility Owner agree as follows:

1. This Agreement binds the Municipality and the Facility Owner, its successors and assigns, to the maintenance provisions depicted in the Approved Project Plans and described in the SWMSOMP, which are included in Schedule B of this Agreement.
2. The Facility Owner shall maintain, clean, repair, and replace the Facility and keep the Facility in continuous operation in accordance with the in the Approved Project Plans and the SWMSOMP as necessary to ensure optimum performance of the stormwater control measures to design specifications. The stormwater control measures shall include, if applicable, but shall not be limited to, the following items located at the Premises: drainage ditches, swales, dry wells, infiltrators, drop inlets, pipes, culverts, soil absorption devices, detention ponds and retention

ponds. The maintenance schedule of the SWMSOMP is included in Schedule B of this Agreement.

3. The Facility Owner hereby grants unto the Municipality, its successors and assigns a perpetual easement and right-of-way to enter upon the Premises in order to access the Facility at reasonable times and in a reasonable manner for periodic inspection by the Municipality to ensure that the Facility is maintained in proper working condition and meets the design standards established by the SWMSOMP.

4. The Facility Owner shall be responsible for all expenses related to the maintenance of the Facility and shall establish a means for the collection and distribution of expenses among parties for any commonly owned facilities, as applicable, except as otherwise set forth hereinafter.

5. The Facility Owner shall provide for the periodic inspection of the Facility in accordance with the SWMSOMP, and shall have the facilities inspected on a yearly basis by a Professional Engineer licensed by the State of New York, to determine the condition and integrity of the stormwater control measures. The inspecting professional shall prepare and submit to the Municipality within 30 days of the inspection but not later than June 1 of each year, a written report of the findings including recommendations for those actions necessary for the continuation of the stormwater control measures.

6. The Facility Owner shall not authorize, undertake or permit alteration, abandonment, modification or discontinuation of the Facility except in accordance with written approval of the Municipality which approval shall not be unreasonably withheld, delayed or conditioned.

7. The Facility Owner shall promptly undertake necessary repairs and replacement of the Facility at the direction of the Municipality or in accordance with the recommendations of the inspecting professional.

8. The Facility Owner hereby covenants that it is seized of the Premises in fee simple and has full authority to execute this Agreement; shall do nothing in the Premises which would prevent, impede or disturb the full use and intended purpose of this Agreement; and shall execute and deliver any further documents reasonably necessary to assure the benefits of this Agreement to the Municipality.

9. This Agreement shall not confer unto the Municipality any duty or obligation to repair or maintain the Facility. Further, the Municipality's acceptance of any rights pursuant to this Agreement shall not be deemed as the acceptance of any duty or obligation to repair or maintain the Facility, except that any damage to the Facility caused by the Municipality's negligence during inspections or otherwise shall be restored, repaired or otherwise remedied by the Municipality at the Municipality's sole cost.

10. This Agreement shall be recorded in the Office of the County Clerk, County of Dutchess as a condition of final site plan approval and as a condition to the issuance of a building permit.

11. If ever the Municipality determines that the Facility Owner has failed to construct or maintain the Facility in accordance with the Approved Project Plans or SWMSOMP, or has

failed to undertake corrective action specified by the Municipality or by the inspecting engineer, the Municipality shall provide the Facility Owner with written notice via certified mail, return receipt requested, specifying such failure. Copies of any written notices to the Facility Owner shall be contemporaneously provided to the Fee Owner, if different from the Facility Owner, via certified mail, return receipt requested. The written notice shall provide that the Facility Owner has fifteen (15) days to cure any defect and/or failure specified therein. In the event the failure cannot be cured within fifteen (15) days, the Facility Owner shall advise the Municipality as to same in writing within fifteen (15) days of receipt of the Municipality's notice to cure. The Facility Owner shall be afforded the opportunity to request a reasonable time frame to cure said failure/defect if the Facility Owner so desires. If the Facility Owner fails to provide written notice requesting an extension of time to cure a failure/defect and the Facility Owner does not cure said failure/defect, the Municipality is authorized to undertake such steps as are reasonably necessary for the preservation, continuation or maintenance of the Facility and to affix the expenses thereof as a lien against the Premises.

12. In the event the Municipality exercises its rights hereunder, it shall return the Premises to a reasonably similar condition as it existed prior to the exercise of such rights.

13. All notice and demands shall be made in writing and delivered by certified mail, return receipt requested, with postage pre-paid thereon, addressed as follows:

City of Beacon:
City Administrator
City Hall
1 Municipal Plaza
Beacon, New York 12508

Facility Owner:
My Four Daughters Realty Corp.
5-44 47th Avenue
Long Island City, New York 11101
Attn: Michael Angeliades

With a copy to:
Keane & Beane, P.C.
445 Hamilton Avenue, Ste 1500
White Plains, New York 10601
Attn: Nicholas M. Ward-Willis, Esq.

With a copy to:
Cuddy & Feder LLP
445 Hamilton Avenue, 14th Floor
White Plains, New York 10601
Attn: Taylor M. Palmer, Esq.

14. This Agreement may be executed in one or more counterparts, each of which shall be deemed an original, and all of which, when taken together, shall constitute one and the same instrument.

Signature pages follow.

IN WITNESS WHEREOF, the Facility Owner and the Municipality have each executed this Agreement as of the date first herein above set forth.

CITY OF BEACON

By: _____
Name:
Title:

MY FOUR DGHTR'S REALTY CORP.

By: _____
Name:
Title:

STATE OF NEW YORK)
)
COUNTY OF _____) SS.:

On the ____ day of _____, 2018, before me, the undersigned, a Notary Public in and for said State, personally appeared _____ personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his capacity, and that by his signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.

Notary Public – State of New York

COUNTY OF _____) SS.:
)

Notary Public – State of New York

Keane & Beane, P.C.
445 Hamilton Avenue, Ste 1500
White Plains, New York 10601
Attn: Nicholas M. Ward-Willis, Esq.

5102/15/646193v1 9/26/18

Schedule A

Legal Description – TAX ID: 5954-35-794799

All that certain plot, piece, or parcel of land situate, lying and being in the city of Beacon, County of Dutchess and State of New York bounded and described as follows:

Beginning at a drill hole found on the South side of Rombout Avenue, said point being the Northerly corner of parcel herein described; thence along Rombout Avenue South 59°56'50" East a distance of 151.94 feet to a point; thence along the lands now or formerly of Unlimited Properties of Beacon South 30°04'24" West a distance of 232.75 feet to a point; thence along lands of now or formerly of Schaeufele & Mosher North 58°34'18" West a distance of 63.16 feet to a point; thence continuing along the lands of Schaeufele & Mosher and along lands now or formerly of Keeler & Mayen-Keeler South 30°54'54" West a distance of 156.11 feet to a point; thence along the lands now or formerly of Lapine North 76°10'50" West a distance of 86.72 feet to the lands now or formerly of Crossix, LLC; thence North 18°52'10" East a distance of 288.74 feet to a point; thence South 64°05'10" East a distance of 4.27 feet; thence along the lands now or formerly of Demattei South 87°36'40" East a distance of 49.78 feet to a point and North 32°44'00" East a distance of 105.00 feet to point of beginning.

Containing 57,822 square feet or 1.327 acres.

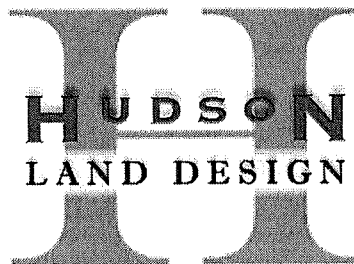
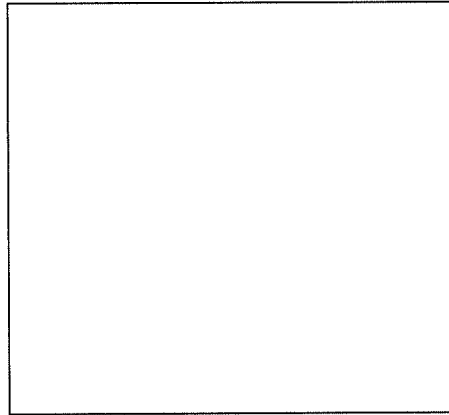
SCHEDULE B

Stormwater Management System Operation Maintenance Plan (SWMSOMP)

***Stormwater Management System
Operation and Maintenance Plan:
for
123 Rombout Avenue Site Plan***

Prepared for:
My Four Dghtr's Realty Corp.
5-44 74th Avenue
Long Island City, NY 11101

August 23, 2018



Prepared by:
Hudson Land Design Professional Engineering, P.C.
174 Main Street
Beacon, NY 12508
Ph: 845-440-6926

TABLE OF CONTENTS

TABLE OF CONTENTS..... 1

1.0 INTRODUCTION 1

 1.1 Summary of Stormwater Management System..... 1

2.0 STORMWATER SYSTEM COMPONENTS 1

 2.1 Catch Basins..... 1

 2.2 Yard Drains 1

 2.3 Stormwater Manholes 2

 2.4 Trench Drains..... 2

 2.5 Culvert Piping 2

3.0 MAINTENANCE..... 2

 3.1 Responsibility for Maintenance 2

 3.2 Maintenance Requirements 2

 3.2.1 Catch Basins, Yard Drains, Stormwater Manhole, Trench Drain and Culvert
 Piping 3

4.0 LOG BOOK..... 3

APPENDICES

APPENDIX A: OPERATION AND MAINTENANCE PLAN

1.0 INTRODUCTION

1.1 Summary of Stormwater Management System

The 123 Rombout Avenue project is located on the south side of Rombout Avenue in the City of Beacon, Dutchess County, New York. The total parcel area consists of ± 1.3 acres, and contains an office building, a parking lot, and a warehouse building that used to serve as lumber yard. The parcel is located within the R1-5 zoning district and has a tax map designation of 5954-35-794799.

The proposed project consists of repurposing the existing warehouse into a residential apartment building. A portion of the existing warehouse will be demolished and re-built. As such, and in accordance with City and State standards, a stormwater management system is being incorporated into the plan. The calculations and details associated with the proposed stormwater management system are within the Drainage Analysis Report dated July 25, 2017; Latest Revision March 5, 2018, and the Site Plan Set dated March 28, 2017; Latest Revision May 01, 2018. The latest version of both the Drainage Analysis Report and Site Plan Set as approved by the City of Beacon Planning Board shall be referred to.

The stormwater management system consists of several series of structures and culvert pipes that convey the stormwater runoff offsite through an existing closed drainage system, and ultimately to an existing catch basin that is a part of the City of Beacon's Municipal Stormwater Management System located in School Street. The O&M plan in Appendix A provides a general overview of the layout of the onsite stormwater management system.

2.0 STORMWATER SYSTEM COMPONENTS

2.1 Catch Basins

Several catch basins are located throughout the site. Catch basins are pre-cast concrete structures located below grade that collect site runoff from the surface via a grate inlet, or from other portions of the site via pipe inlet. There are 7 catch basins located on the site identified as CB 1&2 and EX CB 1-5. Catch basins are equipped with a sump to capture sediment. All catch basins have an outlet culvert pipe that conveys the runoff to its designed outlet. All culvert pipes on the site associated with the proposed catch basins are 15" diameter corrugated high density polyethylene (HDPE) and the pipes associated with the existing catch basins are 15" corrugated metal pipe (CMP). The ultimate discharge point from the site is identified as EX 5 and flows offsite through a closed pipe system to a City owned and maintained catch basin located in School Street.

2.2 Yard Drains

Two yard drains are located throughout the site. Yard drains are pre-cast concrete structures located below grade that collect site runoff from the surface via a grate inlet, or from other portions of the site via pipe inlet. There are two yard drains located on the site identified as YD 3 & 4. Yard drains are equipped with a sump to capture sediment. All yard drains have an outlet culvert pipe that conveys the runoff to its designed outlet. All culvert pipes on the site associated with the yard drains are 15" diameter corrugated HDPE.

2.3 Stormwater Manholes

Stormwater manholes are pre-cast concrete structures located below grade that act as changes in culvert pipe direction or as junctions for multiple culvert pipes being combined. There is one stormwater manhole located on the site identified as EX. STMH 1. Stormwater manholes are equipped with a sump to capture sediment. The stormwater manhole has an outlet culvert pipe that conveys the runoff to a downstream catch basin.

2.4 Trench Drains

Trench drains are HDPE or pre-cast reinforced concrete channels located below grade with surface grates that capture sheet flow drainage. There is one trench drain located on the site that serve to collect stormwater runoff for the existing 3-story brick building located on the eastern side of the site. The trench drain has an 8" culvert pipe at the outlet that conveys the runoff to PLAN

2.5 Culvert Piping

Proposed culvert piping consists of smooth interior corrugated HPDE pipe. The culvert pipes are 15" in diameter.

3.0 MAINTENANCE

3.1 Responsibility for Maintenance

The My Four Dghtr's Realty Corporation. (hereinafter referred to as the Owner) will be responsible for maintaining the private drainage system as identified in this Operation and Maintenance Plan. Any major maintenance (such as re-grading, drain replacement, or similar effort) should only be conducted by a competent professional, such as a licensed contractor. The Owner itself, and contractors retained by the Owner must familiarize themselves with the purposes, design specifications, features, and operation of the stormwater management system. Site maintenance service providers (e.g., landscape maintenance and other maintenance companies), need to be informed of the specific maintenance requirements for the stormwater management system and should review the Site Plan Set, Drainage Analysis Report and the Stormwater Management System Operation and Maintenance Plan (this document). Any earth disturbing activities must implement erosion and sediment control measures to prevent transport of sediment to the stormwater management system.

3.2 Maintenance Requirements

The Owner shall provide for the periodic inspection of the stormwater facilities in accordance with this Operations and Maintenance Report and shall have the facilities inspected on a yearly basis by a Professional Engineer licensed by the State of New York, to determine the condition and integrity of the stormwater control measures. The inspecting professional shall prepare and submit to the City of Beacon within 30 days of the inspection but not later than June 1 of each year, a written report of the findings including recommendations for those actions necessary for the continuation of the stormwater control measures.

3.2.1 Catch Basins, Yard Drains, Stormwater Manhole, Trench Drain and Culvert Piping

In addition to standard periodic inspection following larger storm events, the following is a mandatory inspection schedule.

Frequency	Observation	Maintenance Activity
Spring and Fall	Inspect all catch basins, yard drains, stormwater manholes, trench drains and their associated piping. Look for obstructions, vegetation, debris, litter, sediment, etc. blocking the structures or pipes. Inspect the trench drain for siltation. Utilize vacuum truck if necessary. Observe the flow of water after a rainfall event. Any evidence of ponding in the structure indicates a potential blockage.	Remove obstructions, remove sediment accumulations, etc. via vacuum truck or other acceptable method

4.0 LOG BOOK

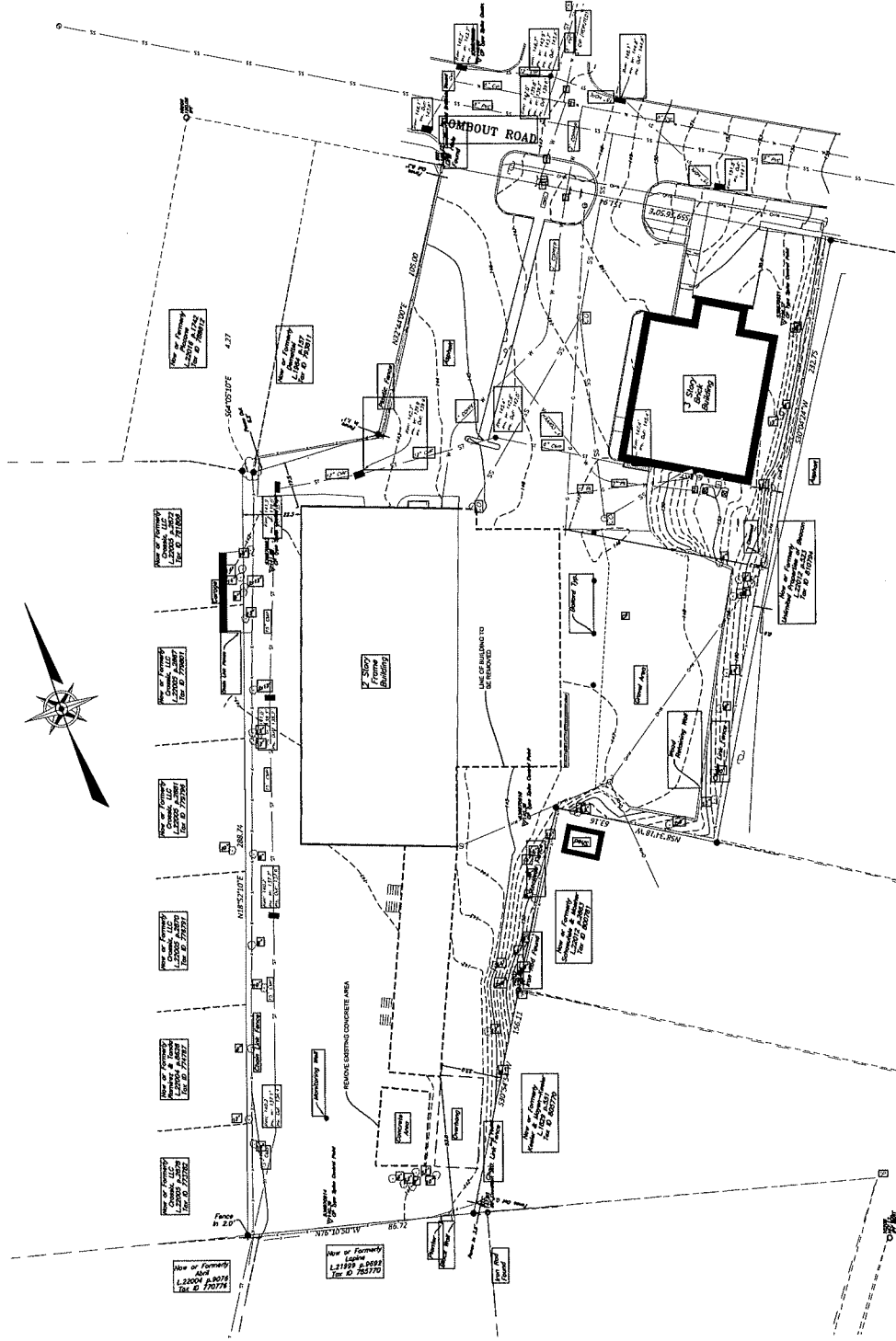
All inspection reports shall include the date, weather conditions on the day of the inspection and leading up to the inspection, a list of the stormwater management system components that were inspected, the results of the inspection, and the maintenance performed. The inspection reports shall be kept within a log book for long term monitoring. Additional notes and significant repairs should be noted with applicable dates and also kept within the log book. In addition to the required reporting noted in Section 3.1, a copy of all inspection reports shall be made available to the City of Beacon Building Department upon request.

APPENDIX A

Operation & Maintenance Plan

SCHEDULE B

Approved Project Plans



Existing Conditions / Demolition Plan
Scale: 1" = 20'

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE _____ DAY OF _____, 20____, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF ANY RESOLUTIONS AND ORDINANCES, EXISTING, ENACTED OR HEREINAFTER ENACTED, AND TO THE PLANNING BOARD COMMENTS AND REVISIONS THEREON.

SIGNED THIS _____ DAY OF _____, 20____, BY _____

CHAIRMAN

SECRETARY

A MEMBER OF THE PLANNING BOARD, SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY, RESPECTIVELY, MAY SIGN IN THIS PLACE.

REVISIONS			
NO.	DATE	REVISION	BY
1	10/15/17	REVISED PER PLANNING BOARD COMMENTS	AS
2	10/27/17	REVISED PER PLANNING BOARD COMMENTS	AS

Site Plan Application Sheet 2 of 8 - Existing Conditions Survey / Demolition Plan

123 Rombout Avenue
Beacon, New York
Scale: 1" = 20'
July 25, 2017

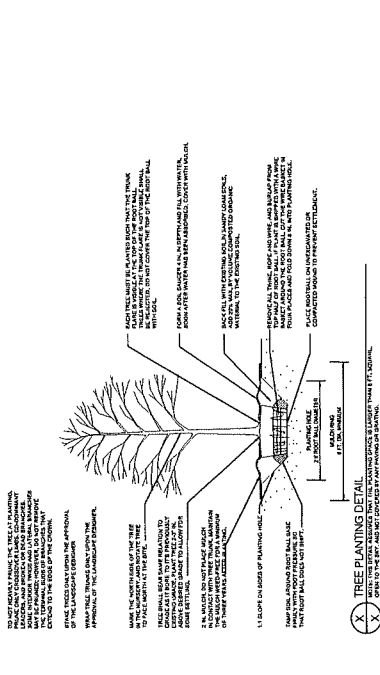
Surveyor:
TEC Surveying
150 Ticonderoga Avenue
Beacon, New York 12508

Civil Engineer:
Hudson Land Design
174 Main Street
Beacon, New York 12508

Architect:
Aryeh Siegel, Architect
84 Main Circle
Beacon, New York 12508

Owner:
My Four Daughter's Realty Corp.
5-44 74th Ave.
Long Island City, New York 11101

PLANT SCHEDULE					
KEY	BOTANICAL NAME	QTY.	SIZE	PROT.	SPACING COMMENTS
TREES					
CC	CECILEA CANADENSIS	1	12" x 12"	SEE DRAWING	SEE DRAWING
CC	CECILEA CANADENSIS	1	6" x 6"	SEE DRAWING	SEE DRAWING
MA	MAHONIA REPENS	2	34"	SEE DRAWING	MULTI-STEM FORM
SR	STYRAX RETICULATA	3	70-82"	SEE DRAWING	SEE DRAWING
SHRUBS					
VA	VIBURNUM VAMBELE	20	3 GAL.	CONT.	
VA	VIBURNUM VAMBELE	2	5 GAL.	CONT.	
VA	VIBURNUM VAMBELE	3	3 GAL.	CONT.	
VA	VIBURNUM VAMBELE	25	5 GAL.	CONT.	
VA	VIBURNUM VAMBELE	65	5 GAL.	CONT.	
HERBACEOUS					
AS	ALLIUM SPHENOCYPHALON	110	8-10"	TRAY	
CF	CHARYBDEA BLUE ENIGMA	270	PLUG	TRAY	
DC	DESMONDIA CERIFOLIA GOLDEN	68	PLUG	TRAY	
SN	SAULIA EMPERORIA LARGO	260	PLUG	TRAY	



Site Lighting & Landscaping Plan
Scale: 1" = 20'

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE _____ DAY OF _____, 20____.

BY: _____

CHIEF OF PLANNING

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE _____ DAY OF _____, 20____.

BY: _____

CHIEF OF PLANNING

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE _____ DAY OF _____, 20____.

BY: _____

CHIEF OF PLANNING

NO.	DATE	DESCRIPTION	BY
1	02/21/17	REVISED PER PLANNING BOARD COMMENTS	AS
2	02/21/17	REVISED PER PLANNING BOARD COMMENTS	AS

Site Plan Application

Sheet 3 of 8 - Site Lighting & Landscaping Plan

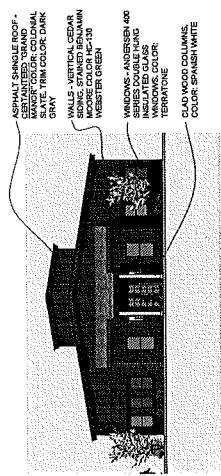
123 Rombout Avenue
Beacon, New York
Scale: 1" = 20'
July 25, 2017

Surveyor
TEC Surveying
150 Tiononda Avenue
Beacon, New York 12508

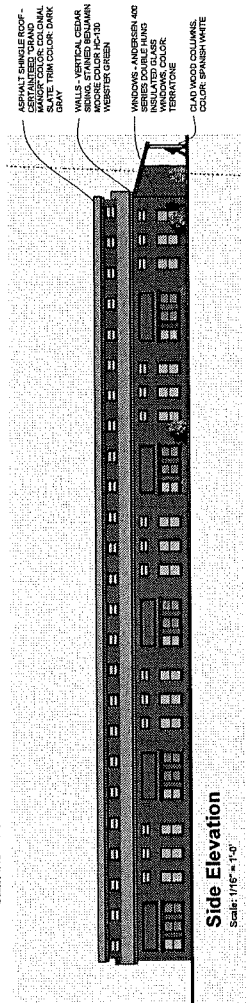
Civil Engineer
Hudson Land Design
174 Main Street
Beacon, New York 12508

Architect
Aryeh Siegel, Architect
84 Mason Circle
Beacon, New York 12508

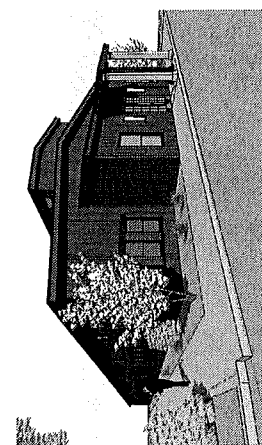
Owner:
My Four Daughter's Realty Corp.
544 7th Ave.
Long Island City, New York 11101



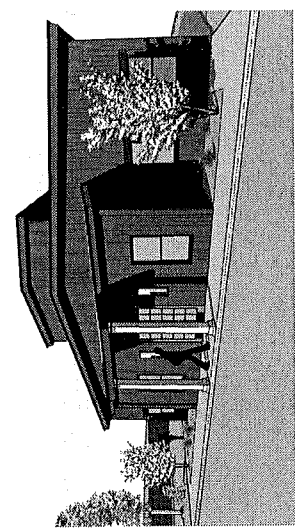
Front Elevation
Scale: 1/16" = 1'-0"



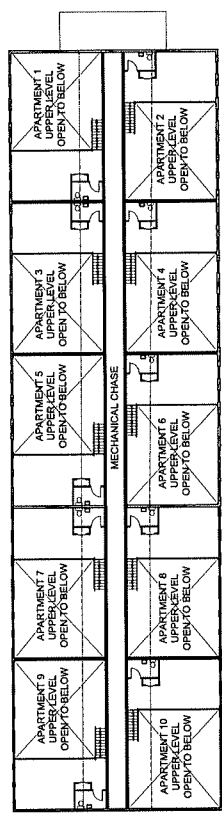
Side Elevation
Scale: 1/16" = 1'-0"



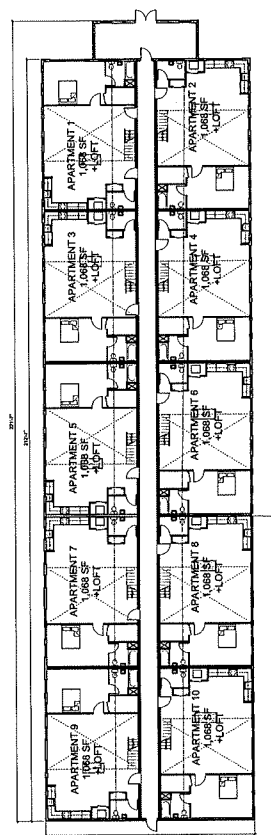
View
Not to Scale



View
Not to Scale



Loft Level Plan
Scale: 1/16" = 1'-0"



First Floor Plan
Scale: 1/16" = 1'-0"

NO.	DATE	REVISIONS	DESCRIPTION	BY
1	02/27/17	REVISED PER PLANNING BOARD COMMENTS	ASB	
2	02/27/17	REVISED PER PLANNING BOARD COMMENTS	ASB	

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, IN THE PRESENCE OF THE CHAIRMAN AND SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY, AS APPROVED, SMALL VOTER'S APPROVAL.

EXHIBIT THIS PLAN OF THE CITY OF BEACON, NEW YORK, IN THE PRESENCE OF THE CHAIRMAN AND SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY, AS APPROVED, SMALL VOTER'S APPROVAL.

DATE: _____ BY: _____

CHAIRMAN

SECRETARY

The image contains three technical drawings of landscape curbs, each with a title and a list of notes.

MOUNTABLE CURB
 ABUTTING GRASS OR LANDSCAPE

NOTES:
 1. CURB SHALL BE 4" HIGH TO CURB FINISH AND 4" DEEPER WITH INTERIOR FINISHES SPECIFICATION SECTION 05110.
 2. EXPOSED JOINTS OF 1/2" COLLARLESS OR 3/4" COLLARLESS JOINTS SHALL BE PLACED AT 10 FOOT INTERVALS.
 3. TOP ADJACENT CURBS ABUTTING SHALL BE PLACED AT 10 FOOT INTERVALS.

ABUTTING SIDEWALK
 ABUTTING GRASS OR LANDSCAPE

NOTES:
 1. CURB SHALL BE 4" HIGH TO CURB FINISH AND 4" DEEPER WITH INTERIOR FINISHES SPECIFICATION SECTION 05110.
 2. EXPOSED JOINTS OF 1/2" COLLARLESS OR 3/4" COLLARLESS JOINTS SHALL BE PLACED AT 10 FOOT INTERVALS.
 3. TOP ADJACENT CURBS ABUTTING SHALL BE PLACED AT 10 FOOT INTERVALS.

CAST-IN-PLACE CONCRETE CURB DETAIL
 NOT TO SCALE

NOTES:
 1. CURB SHALL BE 4" HIGH TO CURB FINISH AND 4" DEEPER WITH INTERIOR FINISHES SPECIFICATION SECTION 05110.
 2. EXPOSED JOINTS OF 1/2" COLLARLESS OR 3/4" COLLARLESS JOINTS SHALL BE PLACED AT 10 FOOT INTERVALS.
 3. TOP ADJACENT CURBS ABUTTING SHALL BE PLACED AT 10 FOOT INTERVALS.

CAST-IN-PLACE CONCRETE CURB DETAIL
NOT TO SCALE

ABUTTING SIDEWALK

MOUNTABLE CURB
ARBITTING GRASS OR LANDSCAPE

PAVEMENT SECTION DETAIL

PAVEMENT RESTORATION DETAIL

PARKING AND STRIPING DETAIL

CONCRETE SIDEWALK DETAIL

PEDESTRIAN RAMP WITH DROP CURB DETAIL

PAINTED CROSSWALK DETAIL

CONCRETE MODULAR RETAINING WALL DETAIL

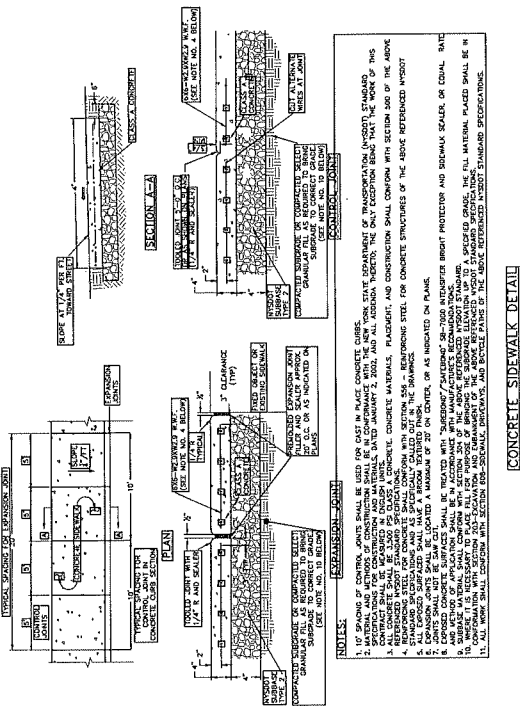
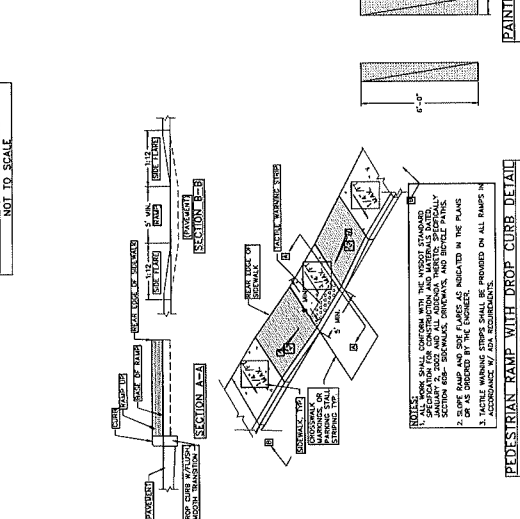
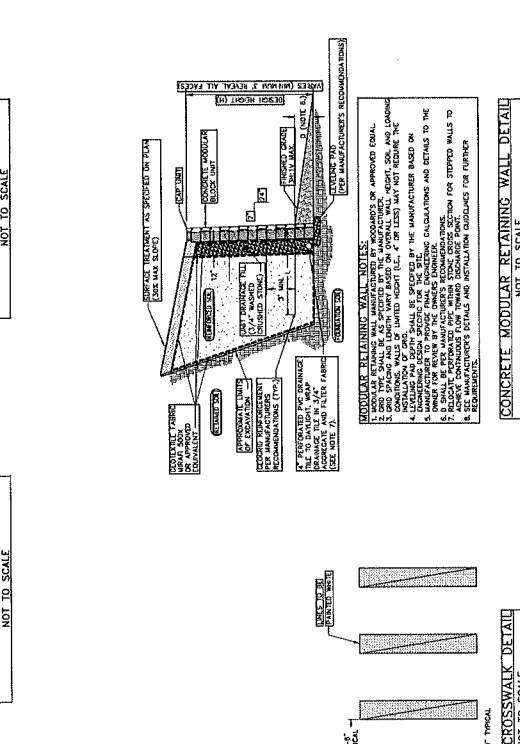
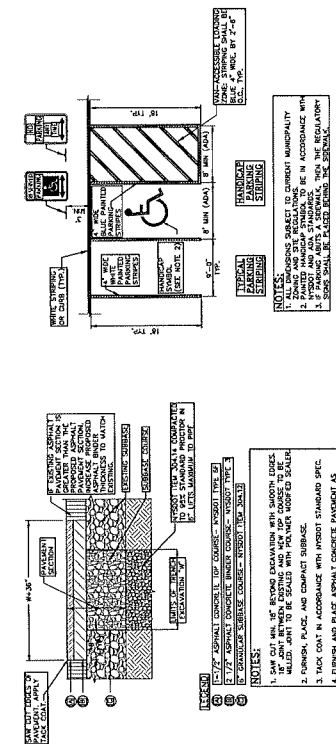
REVISIONS:			BY
NO.	DATE	DESCRIPTION	
1	7/25/17	ADDED SHEET	CMB
2	8/28/17	REVISED PER PLANNING BOARD COMMENTS	CMB
3	9/26/17	NO CHANGE THIS SHEET	CMB
4	3/5/18	REVISED PER PLANNING BOARD COMMENTS	CMB

Site Details

Architect:
Aryeh Siegel, Architect
84 Mason Circle
Beacon, New York 12508

Site / Civil Engineer:
Hudson Land Design
174 Main Street
Beacon, New York 12508

123 Rombout Avenue
Beacon, New York
Scale: As Noted
March 28, 2017

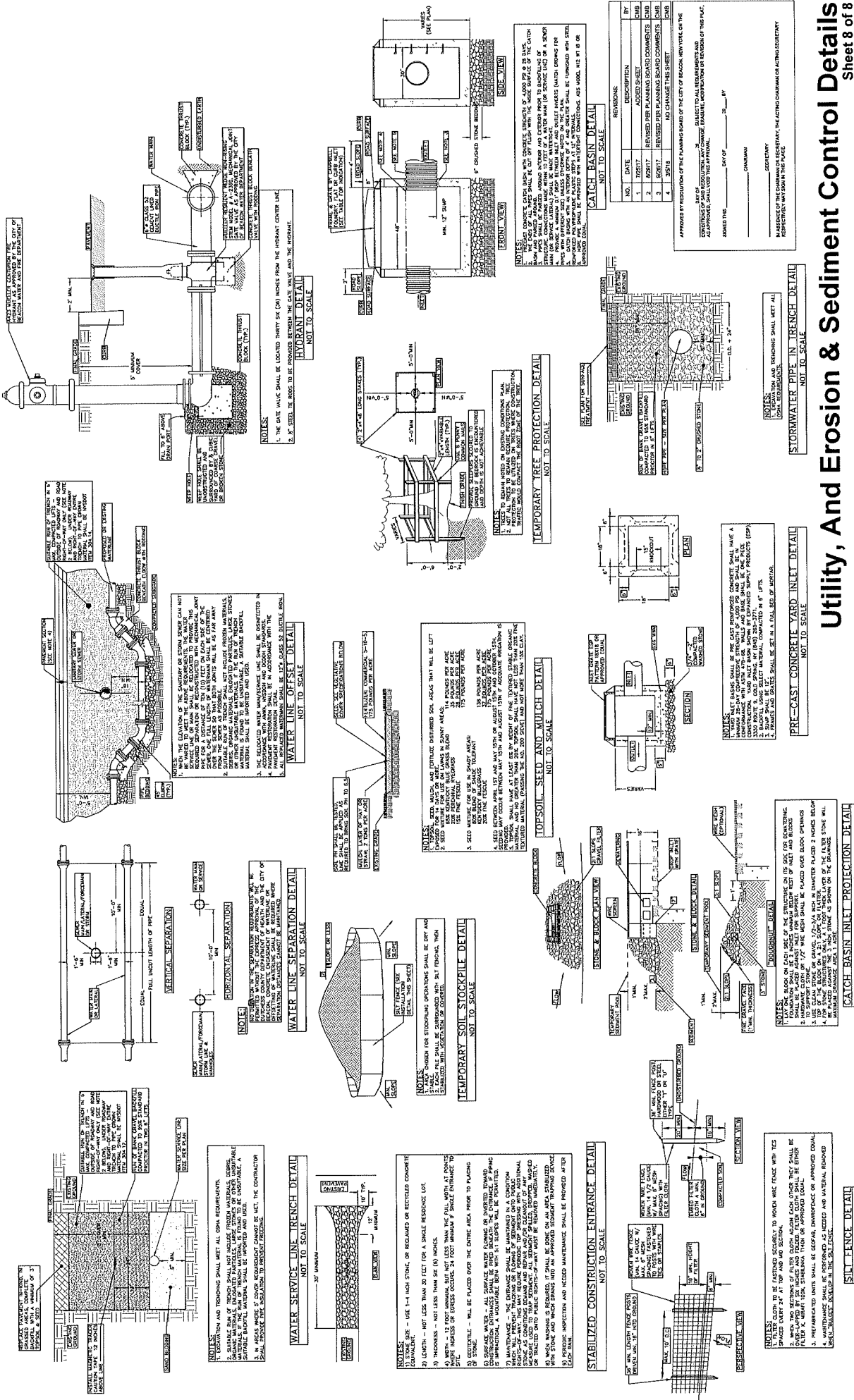


APPROVED IN RESOLUTION OF THE FINANCING BOARD OF THE CITY OF SEACON, NEW JERSEY, ON THE _____ DAY OF _____, 20____, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF THE CITY OF SEACON, NEW JERSEY, AND TO ALL APPLICABLE ORDINANCES, RESOLUTIONS AND ORDINANCES OF THE CITY OF SEACON, NEW JERSEY, AND TO ALL APPLICABLE LAWS AND THE CONSTITUTION OF THE UNITED STATES OF AMERICA.

SIGNED THIS _____ DAY OF _____, 20____, BY _____ CHAIRMAN _____ SECRETARY _____ IN PRESENCE OF THE CHAIRMAN AND SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THE PLACE.

Utility, And Erosion & Sediment Control Details

Sheet 8 of 8



City of Beacon Workshop Agenda
10/9/2018

Title:

Central Hudson easement agreement

Subject:

Background:

ATTACHMENTS:

Description

CenHud easement

Exhibit A

Type

Backup Material

Backup Material

In consideration of the sum of \$1.00 and other valuable considerations, the receipt whereof from Central Hudson Gas & Electric Corporation, a domestic corporation having its principal office (residence) at 284 South Avenue, Poughkeepsie, New York and **Verizon New York, Inc.**, a domestic corporation having its principal office (residence) at **140 West Street, New York, NY** is hereby acknowledged, the undersigned hereby grant(s) and convey(s) unto said corporation(s), and each of them, their respective successors, assigns and lessees (hereinafter collectively referred to as the “Corporations”), an easement for any use relating to the electric or communication industry, including, but not limited to, the installation, operation and maintenance of overhead and/or underground electric or communication facilities which easement shall be 10 feet in width throughout its extent, in, upon, under, over and across the lands of the undersigned, including roads and highways thereon and adjacent thereto, situated in the City of Beacon, County of Dutchess, State of New York.

Said easement shall begin in the southernmost corner of parcel # 130200-5954-27-787978-0000 and extend in a northwesterly direction a distance of 86.9 feet. This easement is for the entire length of the property boundary that the above-mentioned parcel shares with parcel # 130200-5954-27-781973-0000. See Exhibit A: Parcel 787978 Sketch for reference.

Together with the permanent right at all times to have access thereto within the easement and across the remaining premise(s) of the undersigned, and to enter thereon, and to construct, excavate, place, relocate, extend, operate, maintain and to protect, repair, replace and remove, in, over and under the property covered by said easement, such facilities, including, but not limited to, lines or poles, cables, crossarms, wires, guys, braces, underground conduits, and all other appurtenances and fixtures adaptable to the present and future needs, uses and purposes of said corporations, their respective successors, assigns and lessees, and provided that physical damage to the property owned by the undersigned caused solely by said corporations, their respective successors, assigns or lessees, shall be adjusted at the expense of the person or entity so causing such damage.

Together with the permanent right to also trim, cut, clear cut to ground level and at the election of either Corporation remove at any time such brush, trees and other objects, thereon or on adjacent property of the undersigned, including trees, brush and other objects located outside the easement, as in the sole judgment of either Corporation may fall upon or come in contact with the facilities or may interfere with, obstruct or endanger the construction, operation or maintenance of said rights, facilities and other appurtenances and fixtures or any thereof, which may hereafter be constructed in, over, or across said easement. Said right shall include the right to use chemical means of brush and vegetation control within the limits of the easement and rights of way where applicable. Any chemical use shall be in accordance with all Federal and State regulations pertaining to utility right-of-way maintenance.

The exact location of said easement and lines is to be as determined by said corporations having regard to the origin, general direction and destination of said facilities and the requirements of said corporations.

Reserving unto the undersigned the right to only plant and cultivate lawn grass and low growing ornamental shrubs within said easement, and the right to cross and recross said easement, provided that any such cultivation and/or use of said easement shall not in the sole judgment of said Corporations interfere with, obstruct or endanger any of the rights granted as aforesaid and provided that no house, shed, garage, outbuilding, pool, road, driveway or other structures or above or in ground improvements shall be erected, constructed placed, installed, or located and no excavating, mining or blasting shall be undertaken or performed within the limits of said easement without the prior written consent of said Corporations.

This easement and the provisions hereof shall be binding upon and inure to the benefit of the heirs, legal representatives, successors, assigns and lessees of the undersigned and said Corporations, respectively.

Signed, sealed and delivered, on,

In the presence of: *Subscribing Witness Only*

(Sign & Print Name)

(Business Name)

(L.S)

(Sign Name)

(Print Name and Title)

(Sign Name) (L.S)

(Print Name and Title)

Residing at
Number Street

.....
Town, City or Village State

.....
County

On theday of..... in the year before me, the undersigned, a Notary Public in and for said State, personally appeared, personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.

NEW YORK ALL-PURPOSE ACKNOWLEDGMENT

On theday of.....in the year before me, the undersigned, a Notary Public in and for said state, personally appeared, personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.

CERTIFICATE OF SUBSCRIBING WITNESS

On theday of in the year, before me, the undersigned, a Notary Public in and for said State, personally appeared....., the subscribing witness to the foregoing instrument, with whom I am personally acquainted, who, being by me duly sworn, did depose and say that he/she/they resides in.....;that he/she/theyknow(s).....
.....to be the individual described in and who executed the foregoing instrument; that said subscribing witness was present and saw said
..... execute the same; and that said witness at the same time subscribed his/her/their name(s) as a witness thereto.

RIGHT OF WAY

Granted by

Date: _____

Pole No: _____

SBL: _____

Address of ROW:

Central Hudson Gas & Electric Corporation
284 South Avenue
Poughkeepsie, NY 12601
Attn: Real Property Services

EXHIBIT A: PARCEL 787978 SKETCH



City of Beacon Workshop Agenda
10/9/2018

Title:

Sexual Harassment Law

Subject:

Background:

ATTACHMENTS:

Description	Type
Sexual harassment policy	Backup Material
Sexual harassment complaint form	Backup Material
Resolution of complaint form	Backup Material

Sexual Harassment Policy for THE CITY OF BEACON

Introduction

The City of Beacon (the “City”) is committed to maintaining a workplace free from sexual harassment. Sexual harassment is a form of workplace discrimination. All employees are required to work in a manner that prevents sexual harassment in the workplace. This Policy is one component of the City’s commitment to a discrimination-free work environment. Sexual harassment is against the law¹ and all employees have a legal right to a workplace free from sexual harassment and employees are urged to report sexual harassment by filing a complaint internally with the City. Employees can also file a complaint with a government agency or in court under federal, state or local antidiscrimination laws.

Policy:

1. The City’s policy applies to all employees, applicants for employment, interns, whether paid or unpaid, contractors and persons conducting business, regardless of immigration status, with the City. In the remainder of this document, the term “employees” refers to this collective group.
2. Sexual harassment will not be tolerated. Any employee or individual covered by this policy who engages in sexual harassment or retaliation will be subject to remedial and/or disciplinary action, consistent with any state law and/or collective bargaining agreement, to the extent applicable (e.g., counseling, suspension, termination).
3. Retaliation Prohibition: No person covered by this Policy shall be subject to adverse action because the employee reports an incident of sexual harassment, provides information, or otherwise assists in any investigation of a sexual harassment complaint. The City will not tolerate such retaliation against anyone who, in good faith, reports or provides information about suspected sexual harassment. Any employee of the City who retaliates against anyone involved in a sexual harassment investigation will be subjected to disciplinary action, up to and including termination. All employees, paid or unpaid interns, or non-employees² working in the workplace who believe they have been subject to such retaliation should inform a supervisor, manager, or the City

¹ While this policy specifically addresses sexual harassment, harassment because of and discrimination against persons of all protected classes is prohibited. In New York State, such classes include age, race, creed, color, national origin, sexual orientation, military status, sex, disability, marital status, domestic violence victim status, gender identity and criminal history.

² A non-employee is someone who is (or is employed by) a contractor, subcontractor, vendor, consultant, or anyone providing services in the workplace. Protected non-employees include persons commonly referred to as independent contractors, “gig” workers and temporary workers. Also included are persons providing equipment repair, cleaning services or any other services provided pursuant to a contract with the employer.

Administrator. All employees, paid or unpaid interns or non-employees who believe they have been a target of such retaliation may also seek relief in other available forums, as explained below in the section on Legal Protections.

4. Sexual harassment is offensive, is a violation of our policies, is unlawful, and may subject the City to liability for harm to targets of sexual harassment. Harassers may also be individually subject to liability. Employees of every level who engage in sexual harassment, including managers and supervisors who engage in sexual harassment or who allow such behavior to continue, will be penalized for such misconduct, consistent with any state law and/or collective bargaining agreement, to the extent applicable.
5. The City will conduct a prompt and thorough investigation that ensures due process for all parties, whenever management receives a complaint about sexual harassment, or otherwise knows of possible sexual harassment occurring. The City will keep the investigation confidential to the extent possible. Effective corrective action will be taken whenever sexual harassment is found to have occurred. All employees, including managers and supervisors, are required to cooperate with any internal investigation of sexual harassment.
6. All employees are encouraged to report any harassment or behaviors that violate this policy. The City will provide all employees a complaint form for employees to report harassment and file complaints.
7. Managers and supervisors are **required** to report any complaint that they receive, or any harassment that they observe or become aware of, to the City Administrator.
8. This policy applies to all employees, paid or unpaid interns, and non-employees and all must follow and uphold this policy. This policy must be provided to all employees and should be posted prominently in all work locations to the extent practicable and be provided to employees upon hiring.

What Is “Sexual Harassment”?

Sexual harassment is a form of sex discrimination and is unlawful under federal, state, and local law. Sexual harassment includes harassment on the basis of sex, sexual orientation, self-identified or perceived sex, gender expression, gender identity and the status of being transgender.

Sexual harassment includes unwelcome conduct which is either of a sexual nature, or which is directed at an individual because of that individual’s sex when:

- Such conduct has the purpose or effect of unreasonably interfering with an individual’s work performance or creating an intimidating, hostile or offensive work environment, even if the reporting individual is not the intended target of the sexual harassment;

- Such conduct is made either explicitly or implicitly a term or condition of employment; or
- Submission to or rejection of such conduct is used as the basis for employment decisions affecting an individual's employment.

A sexually harassing hostile work environment includes, but is not limited to, words, signs, jokes, pranks, intimidation or physical violence which are of a sexual nature, or which are directed at an individual because of that individual's sex. Sexual harassment also consists of any unwanted verbal or physical advances, sexually explicit derogatory statements or sexually discriminatory remarks made by someone which are offensive or objectionable to the recipient, which cause the recipient discomfort or humiliation, which interfere with the recipient's job performance.

Sexual harassment also occurs when a person in authority tries to trade job benefits for sexual favors. This can include hiring, promotion, continued employment or any other terms, conditions or privileges of employment. This is also called "quid pro quo" harassment.

Any employee who feels harassed should report so that any violation of this policy can be corrected promptly. Any harassing conduct, even a single incident, can be addressed under this policy.

Examples of sexual harassment

The following describes some of the types of acts that may be unlawful sexual harassment and that are strictly prohibited:

- Physical acts of a sexual nature, such as:
 - Touching, pinching, patting, kissing, hugging, grabbing, brushing against another employee's body or poking another employee's body;
 - Rape, sexual battery, molestation or attempts to commit these assaults.
- Unwanted sexual advances or propositions, such as:
 - Requests for sexual favors accompanied by implied or overt threats concerning the target's job performance evaluation, a promotion or other job benefits or detriments;
 - Subtle or obvious pressure for unwelcome sexual activities.
- Sexually oriented gestures, noises, remarks or jokes, or comments about a person's sexuality or sexual experience, which create a hostile work environment.

- Sex stereotyping occurs when conduct or personality traits are considered inappropriate simply because they may not conform to other people's ideas or perceptions about how individuals of a particular sex should act or look.
- Sexual or discriminatory displays or publications anywhere in the workplace, such as:
 - Displaying pictures, posters, calendars, graffiti, objects, promotional material, reading materials or other materials that are sexually demeaning or pornographic. This includes such sexual displays on workplace computers or cell phones and sharing such displays while in the workplace.
- Hostile actions taken against an individual because of that individual's sex, sexual orientation, gender identity and the status of being transgender, such as:
 - Interfering with, destroying or damaging a person's workstation, tools or equipment, or otherwise interfering with the individual's ability to perform the job;
 - Sabotaging an individual's work;
 - Bullying, yelling, name-calling.

Who can be a target of sexual harassment?

Sexual harassment can occur between any individuals, regardless of their sex or gender. New York Law protects employees, paid or unpaid interns, and non-employees, including independent contractors, and those employed by companies contracting to provide services in the workplace. Harassers can be a superior, a subordinate, a coworker or anyone in the workplace including an independent contractor, contract worker, vendor, client, customer or visitor.

Where can sexual harassment occur?

Unlawful sexual harassment is not limited to the physical workplace itself. It can occur while employees are traveling for business or at employer sponsored events or parties. Calls, texts, emails, and social media usage by employees can constitute unlawful workplace harassment, even if they occur away from the workplace premises, on personal devices or during non-work hours.

Retaliation

Unlawful retaliation can be any action that could discourage a worker from coming forward to make or support a sexual harassment claim. Adverse action need not be job-related or occur in the workplace to constitute unlawful retaliation (e.g., threats of physical violence outside of work hours).

Such retaliation is unlawful under federal, state, and local law. The New York State Human Rights Law protects any individual who has engaged in “protected activity.” Protected activity occurs when a person has:

- made a complaint of sexual harassment, either internally or with any anti-discrimination agency;
- testified or assisted in a proceeding involving sexual harassment under the Human Rights Law or other anti-discrimination law;
- opposed sexual harassment by making a verbal or informal complaint to management, or by simply informing a supervisor or manager of harassment;
- reported that another employee has been sexually harassed; or
- encouraged a fellow employee to report harassment.

Even if the alleged harassment does not turn out to rise to the level of a violation of law, the individual is protected from retaliation if the person had a good faith belief that the practices were unlawful. However, the retaliation provision is not intended to protect persons making intentionally false charges of harassment.

Reporting Sexual Harassment

Preventing sexual harassment is everyone’s responsibility. The City cannot prevent or remedy sexual harassment unless it knows about it. Any employee, paid or unpaid intern or non-employee who has been subjected to behavior that may constitute sexual harassment is encouraged to report such behavior to a supervisor, manager or the City Administrator. Anyone who witnesses or becomes aware of potential instances of sexual harassment should report such behavior to a supervisor, manager or the City Administrator.

Reports of sexual harassment may be made verbally or in writing. A form for submission of a written complaint is attached to this Policy, and all employees are encouraged to use this complaint form. Employees who are reporting sexual harassment on behalf of other employees should use the complaint form and note that it is on another employee’s behalf.

Employees, paid or unpaid interns or non-employees who believe they have been a target of sexual harassment may also seek assistance in other available forums, as explained below in the section on Legal Protections.

Supervisory Responsibilities

All supervisors and managers who receive a complaint or information about suspected sexual harassment, observe what may be sexually harassing behavior or for any reason suspect that sexual harassment is occurring, **are required** to report such suspected sexual harassment to the City Administrator.

In addition to being subject to discipline if they engaged in sexually harassing conduct themselves, supervisors and managers will be subject to discipline for failing to report suspected sexual harassment or otherwise knowingly allowing sexual harassment to continue.

Supervisors and managers will also be subject to discipline for engaging in any retaliation.

Complaint and Investigation of Sexual Harassment

All complaints or information about sexual harassment will be investigated, whether that information was reported in verbal or written form. Investigations will be conducted in a timely manner, and will be confidential to the extent possible.

An investigation of any complaint, information or knowledge of suspected sexual harassment will be prompt and thorough, commenced immediately and completed as soon as possible. The investigation will be kept confidential to the extent possible. All persons involved, including complainants, witnesses and alleged harassers will be accorded due process, as outlined below, to protect their rights to a fair and impartial investigation.

Any employee may be required to cooperate as needed in an investigation of suspected sexual harassment. The City will not tolerate retaliation against employees who file complaints, support another's complaint or participate in an investigation regarding a violation of this policy.

While the process may vary from case to case, investigations should be done in accordance with the following steps:

- Upon receipt of complaint, the City Administrator, or his/her designee, will conduct an immediate review of the allegations, and take any interim actions (e.g., instructing the respondent to refrain from communications with the complainant), as appropriate. If complaint is verbal, encourage the individual to complete the "Complaint Form" in writing. If he or she refuses, prepare a Complaint Form based on the verbal reporting.
- If documents, emails or phone records are relevant to the investigation, take steps to obtain and preserve them.
- Request and review all relevant documents, including all electronic communications.

- Interview all parties involved, including any relevant witnesses;
- Create a written documentation of the investigation (such as a letter, memo or email), which contains the following:
 - A list of all documents reviewed, along with a detailed summary of relevant documents;
 - A list of names of those interviewed, along with a detailed summary of their statements;
 - A timeline of events;
 - A summary of prior relevant incidents, reported or unreported; and
 - The basis for the decision and final resolution of the complaint, together with any corrective action(s).
- Keep the written documentation and associated documents in a secure and confidential location.
- Promptly notify the individual who reported and the individual(s) about whom the complaint was made of the final determination and implement any corrective actions identified in the written document.
- Inform the individual who reported of the right to file a complaint or charge externally as outlined in the next section.

Legal Protections And External Remedies

Sexual harassment is not only prohibited by the City but is also prohibited by state, federal, and local law.

Aside from the internal process at the City, employees may also choose to pursue legal remedies with the following governmental entities. While a private attorney is not required to file a complaint with a governmental agency, you may seek the legal advice of an attorney.

State Human Rights Law (HRL)

The Human Rights Law (HRL), codified as N.Y. Executive Law, art. 15, § 290, *et seq.*, applies to all employers in New York State with regard to sexual harassment, and protects employees, paid or unpaid interns and non-employees, regardless of immigration status. A complaint alleging violation of the Human Rights Law may be filed either with the Division of Human Rights (DHR) or in New York State Supreme Court.

Complaints with DHR may be filed any time **within one year** of the harassment. If an individual did not file at DHR, they can sue directly in state court under the HRL, **within three years** of the alleged sexual harassment. An individual may not file with DHR if they have already filed a HRL complaint in state court.

Complaining internally to the City does not extend your time to file with DHR or in court. The one year or three years is counted from date of the most recent incident of harassment.

You do not need an attorney to file a complaint with DHR, and there is no cost to file with DHR.

DHR will investigate your complaint and determine whether there is probable cause to believe that sexual harassment has occurred. Probable cause cases are forwarded to a public hearing before an administrative law judge. If sexual harassment is found after a hearing, DHR has the power to award relief, which varies but may include requiring your employer to take action to stop the harassment, or redress the damage caused, including paying of monetary damages, attorney's fees and civil fines.

DHR's main office contact information is: NYS Division of Human Rights, One Fordham Plaza, Fourth Floor, Bronx, New York 10458. You may call (718) 741-8400 or visit: www.dhr.ny.gov.

Contact DHR at (888) 392-3644 or visit dhr.ny.gov/complaint for more information about filing a complaint. The website has a complaint form that can be downloaded, filled out, notarized and mailed to DHR. The website also contains contact information for DHR's regional offices across New York State.

Civil Rights Act of 1964

The United States Equal Employment Opportunity Commission (EEOC) enforces federal anti-discrimination laws, including Title VII of the 1964 federal Civil Rights Act (codified as 42 U.S.C. § 2000e et seq.). An individual can file a complaint with the EEOC anytime within 300 days from the harassment. There is no cost to file a complaint with the EEOC. The EEOC will investigate the complaint, and determine whether there is reasonable cause to believe that discrimination has occurred, at which point the EEOC will issue a Right to Sue letter permitting the individual to file a complaint in federal court.

The EEOC does not hold hearings or award relief, but may take other action including pursuing cases in federal court on behalf of complaining parties. Federal courts may award remedies if discrimination is found to have occurred. In general, private employers must have at least 15 employees to come within the jurisdiction of the EEOC.

An employee alleging discrimination at work can file a "Charge of Discrimination." The EEOC has district, area, and field offices where complaints can be filed. Contact the EEOC

by calling 1-800-669-4000 (TTY: 1-800-669-6820), visiting their website at www.eeoc.gov or via email at info@eeoc.gov.

If an individual filed an administrative complaint with DHR, DHR will file the complaint with the EEOC to preserve the right to proceed in federal court.

Local Protections

Many localities enforce laws protecting individuals from sexual harassment and discrimination. An individual should contact the county, city or town in which they live to find out if such a law exists.

For example, the Dutchess County Commission on Human Rights (CCR) has the power to report complaints alleging unlawful discriminatory practices under Article 15 of the Executive Law to the State Division of Human Rights. If you believe you have a human rights issue, the CCR can review the issue with you and, as needed, assist you with preparing and filing a complaint with the New York State Division of Human Rights. Contact the Dutchess County Human Rights Commission / EEO Officer Jody Miller at 22 Market Street, Poughkeepsie, New York 12601, 845-486-2169 or email dchumanrights@dutchessny.gov.

Contact the Local Police Department

If the harassment involves unwanted physical touching, coerced physical confinement or coerced sex acts, the conduct may constitute a crime. Contact the local police department.

THE CITY OF BEACON

New York State Labor Law requires all employers to adopt a sexual harassment prevention policy that includes a complaint form to report alleged incidents of sexual harassment.

If you believe that you have been subjected to sexual harassment, you are encouraged to complete this form and submit it to the City Administrator, One Municipal Plaza, Beacon, NY 12508 in person or by mail. You will not be retaliated against for filing a complaint.

If you are more comfortable reporting verbally or in another manner, your employer should complete this form, provide you with a copy and follow its sexual harassment prevention policy by investigating the claims as outlined at the end of this form.

For additional resources, visit: ny.gov/programs/combating-sexual-harassment-workplace

COMPLAINANT INFORMATION

Name:

Work Address:

Work Phone:

Job Title:

Email:

Select Preferred Communication Method:

☐ Email ☐ Phone ☐ In person

SUPERVISORY INFORMATION

Immediate Supervisor's Name:

Title:

Work Phone:

Work Address:

COMPLAINT INFORMATION

1. Your complaint of Sexual Harassment is made about:

Name:

Title:

Work Address:

Work Phone:

Relationship to you: ☐ Supervisor ☐ Subordinate ☐ Co-Worker ☐ Other

2. Please describe what happened and how it is affecting you and your work. Please use additional sheets of paper if necessary and attach any relevant documents or evidence.

3. Date(s) sexual harassment occurred:

Is the sexual harassment continuing? ☐ Yes ☐ No

4. Please list the name and contact information of any witnesses or individuals who may have information related to your complaint:

The last question is optional, but may help the investigation.

5. Have you previously complained or provided information (verbal or written) about related incidents? If yes, when and to whom did you complain or provide information?

If you have retained legal counsel and would like us to work with them, please provide their contact information.

Signature: _____

Date: _____

Instructions for Employers

If you receive a complaint about alleged sexual harassment, follow your sexual harassment prevention policy.

An investigation involves:

- Speaking with the employee
- Speaking with the alleged harasser
- Interviewing witnesses
- Collecting and reviewing any related documents

While the process may vary from case to case, all allegations should be investigated promptly and resolved as quickly as possible. The investigation should be kept confidential to the extent possible.

Document the findings of the investigation and basis for your decision along with any corrective actions taken and notify the employee and the individual(s) against whom the complaint was made. This may be done via email.

CITY OF BEACON

NOTICE OF RESOLUTION OF COMPLAINT OF DISCRIMINATORY HARASSMENT

COMPLAINANT'S NAME: _____

WORK SITE: _____

DATE COMPLAINT FILED: _____

PERSON COMPLAINED OF: _____

TITLE AND DEPARTMENT: _____

FINAL DETERMINATION: _____

Your signature serves as an acknowledgement that you have received a copy of this Notice of Resolution Form.

Acknowledged by:

Complainant's Signature: _____ Date: _____

Person Complained of's Signature: _____ Date: _____

City of Beacon Workshop Agenda
10/9/2018

Title:

Fairview tank replacement award

Subject:

Background:

ATTACHMENTS:

Description	Type
Fairview tank	Backup Material

LANC & TULLY
ENGINEERING AND SURVEYING, P.C.

John J. O'Rourke, P.E., Principal
David E. Higgins, P.E., Principal
John Queenan, P.E., Principal

Rodney C. Knowlton, L.S., Principal
Jerry A. Woods, L.S., Principal

John D. Russo, P.E., Principal
John Lane, P.E., L.S.
Arthur R. Tully, P.E.

October 4, 2018

Mr. Edward Balicki
Water & Sewer Superintendent
City of Beacon City Hall
1 Municipal Plaza
Beacon, NY 12508

RE: Fairview Tank Replacement
City of Beacon
Award Recommendation

Dear Mr. Balicki:

A total of one (1) bid proposal was submitted and opened on October 3, 2018 for the **Fairview Tank Replacement** project. The proposal was carefully reviewed; all multiplication between estimated quantities and unit prices checked; and addition of total prices checked against the total contract amount. The proposal submitted was found to be complete.

The following tabulation shows the order from lowest bidder, the name of the bidder, and the total contract amount. The engineer's estimate for the project was approximately \$1,470,000.00.

NAME OF BIDDER	TOTAL CONTRACT AMOUNT
Statewide Aquastore, Inc. East Syracuse, NY	\$1,427,445.00

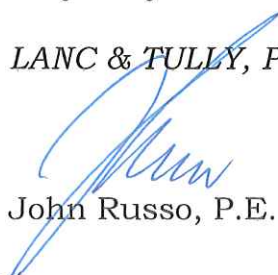
The lowest bidder is Statewide Aquastore, Inc., with the total base bid amount of \$1,427,445.00. Statewide Aquastore, Inc. has submitted information related to several projects in which they have completed the work as outlined within the proposed project. References supplied were called and checked to verify the work completed by the prospective low bidder and were found to be acceptable. In our opinion, Statewide Aquastore, inc. should be considered the lowest responsible bidder based upon the submitted information and Chapter 53 of the City Code. Along with the bid, the contractor has submitted a Non-Collusive Bidding Certificate, and a Bid Bond.

It is our recommendation to the City Council to award the **Fairview Tank Replacement** project to Statewide Aquastore, Inc.

If you have any questions, or need any further information, please do not hesitate to contact our office.

Very truly

LANC & TULLY, P.C.



John Russo, P.E.

Cc: Anthony Ruggiero, City Administrator
Nick Ward-Willis, City Attorney

City of Beacon Workshop Agenda
10/9/2018

Title:

Removal and disposal of sludge from a digester wastewater treatment plant contract award

Subject:

Background:

ATTACHMENTS:

Description

Sludge removal award

Type

Backup Material

BIPIN GANDHI, P.C.

Consulting Engineer

P.O. BOX 38
ROUTE 207
GOSHEN, N.Y. 10924

(845) 294-5404
FAX (845) 294-3857

September 26, 2018

Mr. Anthony Ruggiero
City Administrator
City of Beacon City Hall
1 Municipal Plaza
Beacon, NY 12508

Re: Removal and Disposal of Sludge
From a Digester
Wastewater Treatment Plant
City of Beacon
Award Recommendation

Dear Mr. Ruggiero:

Two (2) bid proposals were submitted and opened on September 25, 2018 for the Removal and Disposal of Sludge From a Digester. The proposals were reviewed and found to be complete. Along with the bid, the contractors have submitted a Non-Collusive Bidding Certificate, and a bid bond in the amount 5% of bid for bid security.

The following tabulation shows the order from lowest bidder, the name of the bidder and the contract amount.

<u>Name of Bidder</u>	<u>Total Contract Amount</u>
Spectraserv	\$197,600.00
Tam Enterprises	\$389,000.00

The low bidder is Spectraserv with a bid price of \$197,600.00. The bid price is below the estimate and below the 2018 budgeted and approved Capital Improvement cost of \$250,000.00. Spectraserv had successfully completed a number of projects at the City's wastewater treatment plant.

In our opinion, Spectra Serve should be considered the lowest responsible bidder, based upon submitted information.

If you have any questions, or need any further information, please do not hesitate to contact our office.

Very truly yours,

BIPIN GANDHI, P.C.



Bipin Gandhi, P.E.

cc: Ed Balicki, Water and Sewer Superintendent
Nick Ward-Willis, City Attorney
John Russo, P.E.

City of Beacon Workshop Agenda
10/9/2018

Title:

Executive Session: Litigation

Subject:

Background:

ATTACHMENTS:

Description
Tax Cert

Type
Backup Material