

***BEACON PLANNING BOARD
ONE MUNICIPAL PLAZA - SUITE 1
BEACON, NEW YORK 12508
Phone (845) 838-5002 Fax (845) 838-5026
John Gunn, Chairman***

July 12, 2018

Mayor Casale & City Council Members
One Municipal Plaza - Suite One
Beacon, New York 12508

RE: Special Use Permit – Three Unit Residential
21 South Avenue

Applicant: Protestant Episcopal Diocese of New York

Dear Mayor Casale & Council Members:

At its June 12, 2018 and July 10, 2018 meetings, the Planning Board reviewed a Special Use Permit application from Protestant Episcopal Diocese of New York to rehabilitate their building 21 South Street into a three-unit residential dwelling. After careful review, Board members voted unanimously to recommend the City Council issue a Special Use Permit subject to the applicant returning to the Planning Board for Site Plan Approval. The Planning Board adopted an LWRP Consistency Determination at its July 10, 2018 meeting.

A copy of the application, LWRP Consistency Determination, and Plans are attached for your information. If you have any questions regarding the Planning Board's action, please call me.

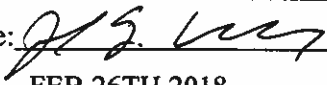
Yours truly,

John Gunn, Chairman

APPLICATION FOR SPECIAL USE PERMIT

Submit to Planning Board Secretary, One Municipal Plaza, Suite One, Beacon, New York 12508

IDENTIFICATION OF APPLICANT

Name: REV JOHN WILLIAMS
Address: 15 SOUTH AVE. BEACON NY
12508
Signature: 
Date: FEB 26TH 2018
Phone: 801 793 7376

(For Official Use Only)

Application & Fee Rec'd
Initial Review

Date Initials

5-10-18 JB
6-12-18

PB Public Hearing

Sent to City Council

City Council Workshop

City Council Public Hearing

City Council Approve/Disapprove

IDENTIFICATION OF REPRESENTATIVE / DESIGN PROFESSIONAL

Name: BARRY DONALDSON ARCHITECTS
Address: 14 KING STREET
CROTON ON HUDSON, NY, 10520

Phone: 914 827 8249

Fax: _____

Email address: BD@BARRYDONALDSONARCHITECTS.COM

IDENTIFICATION OF SUBJECT PROPERTY:

Property Address: 21 SOUTH AVE. BEACON, NY 12508

Tax Map Designation: Section 5954

Block 26 Lot(s) 724907

Land Area: 20, 327 SQ FT

Zoning District(s) R1-7.5/HISTORIC DISTRICT AND OVERLAY ZONE

DESCRIPTION OF PROPOSED DEVELOPMENT:

Proposed Use: 3 UNIT RESIDENTIAL

Gross Non-Residential Floor Space: Existing 0 Proposed 0

TOTAL: 0

Dwelling Units (by type): Existing 1 Proposed 3

TOTAL: 3

ITEMS TO ACCOMPANY THIS APPLICATION

- Five (5) **folded** copies and One (1) digital copy of a site location sketch showing the location of the subject property and the proposed development with respect to neighboring properties and developments.
- Five (5) **folded** copies and One (1) digital copy of the proposed site development plan, consisting of sheets, showing the required information as set forth on the back of this form and other such information as deemed necessary by the City Council or the Planning Board to determine and provide for the property enforcement of the Zoning Ordinance.
- Five (5) **folded** copies and One (1) digital copy of additional sketches, renderings or other information.
- An application fee, payable to the City of Beacon, computed per the attached fee schedule.
- An initial escrow amount, payable to the City of Beacon, as set forth in the attached fee schedule.

INFORMATION TO BE SHOWN ON SITE LOCATION SKETCH

- a. Property lines, zoning district boundaries and special district boundaries affecting all adjoining streets and properties, including properties located on the opposite sides of adjoining streets.
- b. Any reservations, easements or other areas of public or special use which affect the subject property.
- c. Section, block and lot numbers written on the subject property and all adjoining properties, including the names of the record owners of such adjoining properties.

INFORMATION TO BE SHOWN ON THE SITE DEVELOPMENT PLAN

- a. Title of development, date and revision dates if any, north point, scale, name and address of record owner of property, and of the licensed engineer, architect, landscape architect, or surveyor preparing the site plan.
- b. Existing and proposed contours at a maximum vertical interval of two (2) feet.
- c. Location and identification of natural features including rock outcrops, wooded areas, single trees with a caliper of six (6) or more inches measured four (4) feet above existing grade, water bodies, water courses, wetlands, soil types, etc.
- d. Location and dimensions of all existing and proposed buildings, retaining walls, fences, septic fields, etc.
- e. Finished floor level elevations and heights of all existing and proposed buildings.
- f. Location, design, elevations, and pavement and curbing specifications, including pavement markings, of all existing and proposed sidewalks, and parking and truck loading areas, including access and egress drives thereto.
- g. Existing pavement and elevations of abutting streets, and proposed modifications.
- h. Location, type and design of all existing and proposed storm drainage facilities, including computation of present and estimated future runoff of the entire tributary watershed, at a maximum density permitted under existing zoning, based on a 100 year storm.
- i. Location and design of all existing and proposed water supply and sewage disposal facilities.
- j. Location of all existing and proposed power and telephone lines and equipment, including that located within the adjoining street right-of-way. All such lines and equipment must be installed underground.
- k. Estimate of earth work, including type and quantities of material to be imported to or removed from the site.
- l. Detailed landscape plan, including the type, size, and location of materials to be used.
- m. Location, size, type, power, direction, shielding, and hours of operation of all existing and proposed lighting facilities.
- n. Location, size, type, and design of all existing and proposed business and directional signs.
- o. Written dimensions shall be used wherever possible.
- p. Signature and seal of licensed professional preparing the plan shall appear on each sheet.
- q. Statement of approval, in blank, as follows:

**Approved by Resolution of the Beacon Planning Board
on the _____ day of _____, 20_____
subject to all conditions as stated therein**

Chairman, City Planning Board

Date

APPLICATION PROCESSING RESTRICTION LAW

Affidavit of Property Owner

Property Owner: PROTESTANT EPISCOPAL DIOCESE OF NEW YORK

If owned by a corporation, partnership or organization, please list names of persons holding over 5% interest.

List all properties in the City of Beacon that you hold a 5% interest in:

Applicant Address: 15 SOUTH AVE. BEACON NY 12508

Project Address: 21 SOUTH AVE. BEACON, NY, 12508

Project Tax Grid # _____

Type of Application SPECIAL USE PERMIT

Please note that the property owner is the applicant. "Applicant" is defined as any individual who owns at least five percent (5%) interest in a corporation or partnership or other business.

I, JOHN WILLIAMS, the undersigned owner of the above referenced property, hereby affirm that I have reviewed my records and verify that the following information is true.

1. No violations are pending for ANY parcel owned by me situated within the City of Beacon X
2. Violations are pending on a parcel or parcels owned by me situated within the City of Beacon X
3. ALL tax payments due to the City of Beacon are current X
4. Tax delinquencies exist on a parcel or parcels owned by me within the City of Beacon X
5. Special Assessments are outstanding on a parcel or parcels owned by me in the City of Beacon X
6. ALL Special Assessments due to the City of Beacon on any parcel owned by me are current X

John Williams
Signature of Owner

Rector

Title if owner is corporation

Office Use Only:

Applicant has violations pending for ANY parcel owned within the City of Beacon (Building Dept.)

ALL taxes are current for properties in the City of Beacon are current (Tax Dept.)

ALL Special Assessments, i.e. water, sewer, fines, etc. are current (Water Billing)

NO	YES	Initial
<input checked="" type="checkbox"/>	<input type="checkbox"/>	EW
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ST
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ST

**CITY OF BEACON
SITE PLAN SPECIFICATION FORM**

Name of Application: J. ; RENOVATION OF 21 SOUTH AVE

PLEASE INDICATE WHETHER THE SITE PLAN DRAWINGS SHOW THE SUBJECT INFORMATION BY PLACING A CHECK MARK IN THE APPROPRIATE BOXES BELOW.		
	YES	NO
The site plan shall be clearly marked "Site Plan", it shall be prepared by a legally certified individual or firm, such as a Registered Architect or Professional Engineer, and it shall contain the following information:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
LEGAL DATA		
Name and address of the owner of record.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Name and address of the applicant (if other than the owner).	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Name and address of person, firm or organization preparing the plan.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Date, north arrow, and written and graphic scale.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NATURAL FEATURES		
Existing contours with intervals of two (2) feet, referred to a datum satisfactory to the Planning Board.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Approximate boundaries of any areas subject to flooding or stormwater overflows.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Location of existing watercourses, wetlands, wooded areas, rock outcrops, isolated trees with a diameter of eight (8) inches or more measured three (3) feet above the base of the trunk, and any other significant existing natural features.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
EXISTING STRUCTURES, UTILITIES, ETC.		
Outlines of all structures and the location of all uses not requiring structures. Paved areas, sidewalks, and vehicular access between the site and public streets.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Locations, dimensions, grades, and flow direction of any existing sewers, culverts, water lines, as well as other underground and above ground utilities within and adjacent to the property.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Other existing development, including fences, retaining walls, landscaping, and screening.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Sufficient description or information to define precisely the boundaries of the property.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
The owners of all adjoining lands as shown on the latest tax records.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
The locations, names, and existing widths of adjacent streets and curb lines.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Location, width, and purpose of all existing and proposed easements, setbacks, reservations, and areas dedicated to private or public use within or adjacent to the properties.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

PROPOSED DEVELOPMENT	YES	NO
The location, use and design of proposed buildings or structural improvements.	X	
The location and design of all uses not requiring structures, such as outdoor storage (if permitted), and off-street parking and unloading areas.	X	
Any proposed division of buildings into units of separate occupancy.	X	
The location, direction, power, and time of use for any proposed outdoor lighting.	X	
The location and plans for any outdoor signs.	X	
The location, arrangement, size(s) and materials of proposed means of ingress and egress, including sidewalks, driveways, or other paved areas.	X	
Proposed screening and other landscaping including a planting plan and schedule prepared by a qualified individual or firm.	X	
The location, sizes and connection of all proposed water lines, valves, and hydrants and all storm drainage and sewer lines, culverts, drains, etc.	X	
Proposed easements, deed restrictions, or covenants and a notation of any areas to be dedicated to the City.	X	
Any contemplated public improvements on or adjoining the property.	X	
Any proposed new grades, indicating clearly how such grades will meet existing grades of adjacent properties or the street.	X	
Elevations of all proposed principal or accessory structures.	X	
Any proposed fences or retaining walls.	X	
MISCELLANEOUS	X	
A location map showing the applicant's entire property and adjacent properties and streets, at a convenient scale.	X	
Erosion and sedimentation control measures.	X	
A schedule indicating how the proposal complies with all pertinent zoning standards, including parking and loading requirements.	X	
An indication of proposed hours of operation.	X	
If the site plan only indicates a first stage, a supplementary plan shall indicate ultimate development.	X	

This image shows a single sheet of white paper with horizontal ruling lines. The lines are evenly spaced and run across the width of the page. There are no margins, text, or other markings on the paper.

Signature: Q.S. Waz.

Date: FEB 26 2018

FOR OFFICE USE ONLY

Application #

CITY OF BEACON**1 Municipal Plaza, Beacon, NY****Telephone (845) 838-5000 * <http://cityofbeacon.org/>****ENTITY DISCLOSURE FORM**

(This form must accompany every land use application and every application for a building permit or certificate of occupancy submitted by any person(s))

Disclosure of the names and addresses of all persons or entities owning any interest or controlling position of any Limited Liability Company, Partnership, Limited Partnership, Joint Venture, Corporation or other business entity (hereinafter referred to as the "Entity") filing a land-use application with the City is required pursuant to Section 223-62 of the City Code of the City of Beacon. Applicants shall submit supplemental sheets for any additional information that does not fit within the below sections, identifying the Section being supplemented.

SECTION AName of Applicant: REV JOHN WILLAIMSAddress of Applicant: 15 SOUTH AVE, BEACON NY 12508Telephone Contact Information: 801 793 7376**SECTION B. List all owners of record of the subject property or any part thereof.**

Name	Residence or Business Address	Telephone Number	Date and Manner title was acquired	Date and place where the deed or document of conveyance was recorded or filed.
EPISCOPAL DICESE	1047 AMSTERDAM AVE. NY, NY	212 316 7400		

SECTION B. Is any owner of record an officer, elected or appointed, or employee of the City of Beacon or related, by marriage or otherwise, to a City Council member, planning board member, zoning board of appeals member or employee of the City of Beacon ?

☐

YES

☒

NO

If yes, list every Board, Department, Office, agency or other position with the City of Beacon with which a party has a position, unpaid or paid, or relationship and identify the agency, title, and date of hire.

Agency	Title	Date of Hire, Date Elected, or Date Appointed	Position or Nature of Relationship

SECTION C. If the applicant is a contract vendee, a duplicate original or photocopy of the full and complete contract of purchase, including all riders, modification and amendments thereto, shall be submitted with the application.

SECTION D. Have the present owners entered into a contract for the sale of all or any part of the subject property and, if in the affirmative, please provide a duplicate original or photocopy of the fully and complete contract of sale, including all riders, modifications and amendments thereto.

☐

YES

☒

NO

I, REV JOHN WILLIAMS being first duly sworn, according to law, deposes and says that the statements made herein are true, accurate, and complete.

(Print) John F. Williams

(Signature)

[Handwritten Signature]



- 1. Property Profile**
- | | |
|-------------------------|--------------------------------|
| 1.1. Block No | 26 |
| 1.2. Lot No | 724907 |
| 1.3. Zoning District | R1-7.5 |
| 1.4. Overlay | Historic District and Landmark |
| 1.5. Lot Area | 20,790 SQ FT |
| 1.6. Building Footprint | 1,409 SQ FT |
| 1.7. No. Of Floors | 2.5 |
| 1.8. Owner of Record | |
- 1.9. Applicant:
REV JOHN WILLIAMS
15 SOUTH AVE.
BEACON, NY 10025
- 1.10. Prepared By:
BARRY DONALDSON ARCHITECTS
14 KING ST.
CROTON ON HUDSON, NY 10520
- 2. GENERAL NOTES**
- | | |
|------|--|
| 2.1. | Conversion of existing single family home into 3 unit apartment. |
| 2.2. | Existing contours to remain unchanged. |
| 2.3. | Existing building footprint to remain unchanged. |
| 2.4. | Property is not in a flood zone. |
| 2.5. | No new signage. |
| 2.6. | No new fences or retaining walls. |
- 3. LANDSCAPING NOTES**
- | | |
|------|-------------------------|
| 3.1. | No trees to be removed. |
|------|-------------------------|

WATERFRONT REVITALIZATION PROGRAM NOTE

WE CERTIFY THAT THIS PROJECT CONFORMS TO THE STANDARDS AND SPIRIT OF BEACON'S WATERFRONT REVITALIZATION PROGRAM. THE PROJECT WILL IMPROVE THE SCENIC AND HISTORIC QUALITY OF THE SITE, AS WELL AS IMPROVE DRAINAGE, AND LANDSCAPING.

INFLOW AND INFILTRATION NOTE

WE CERTIFY THAT THE SITE HAS NO ILLEGAL CROSS CONNECTION BETWEEN SEWER AND DRAINAGE. ROOF LEADERS DRAIN TO SURFACE. NO SLUMP PUMP OR SITE DRAINS. MAIN HOUSE DRAIN IS TIED DIRECTLY INTO CITY OF BEACON SEWER SYSTEM.

PARKING REQUIREMENTS SCHEDULE			
	CODE MIN.	CALCULATED AMOUNT	ACTUAL PROVIDED
SPACES PER UNIT	1	3	
ADDITIONAL SPACES PER BEDROOM	0.25	1.25	
		4.25	6

ZONING REGULATION SCHEDULE			
R1-7.5	MINIMUM	ACTUAL	NOTE
MINIMUM LOT SIZE	7,500 SQ FT	20,790 SQ	PASS
LOT AREA PER DWELLING UNIT	7,500 SQ FT	6,930 SQ FT	PASS
MINIMUM FRONT YARD	30 FT	20 FT	PRE-EXISTING
MINIMUM SIDE YARD	10 FT		PASS
MINIMUM REAR YARD	30 FT	N/A	
MAXIMUM HEIGHT	2.5 AND 35	32 FT	PASS
MAXIMUM BUILDING COVERAGE	30%	7%	PASS
MULTIPLE FAMILY	N/A		BY SPECIAL PERMIT



AREA MAP
NOT TO SCALE

- GRASS
- NEW TREE OR SHRUB
- ASPHALT
- CONCRETE
- REMOVALS
- OVERHEAD POWER LINES

03		
02	7/20/18	PLANNING DEPT. SUBMITTAL
01		DESIGN DEVELOPMENT
NO	DATE	ISSUE
ISSUE RECORD		
SEAL & SIGNATURE		

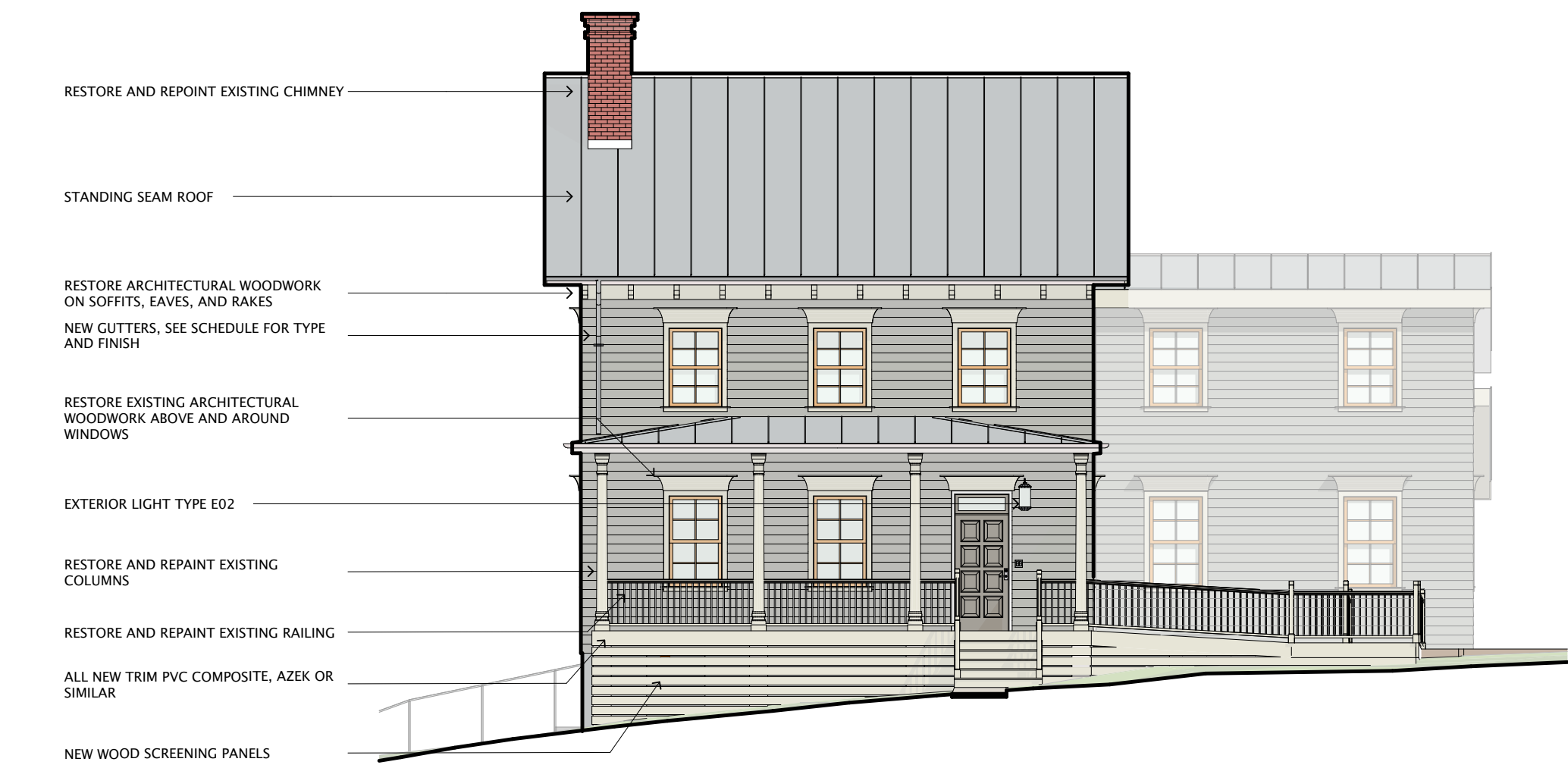
BARRY DONALDSON ARCHITECTS
14 KING STREET
CROTON ON HUDSON, NY 10520
TEL: 914-927-8240
EMAIL: BDB@BARRYDONALDSONARCHITECTS.COM

PROJECT
Renovation of 21 South Ave.
21 South Ave.
Beacon, NY
12508

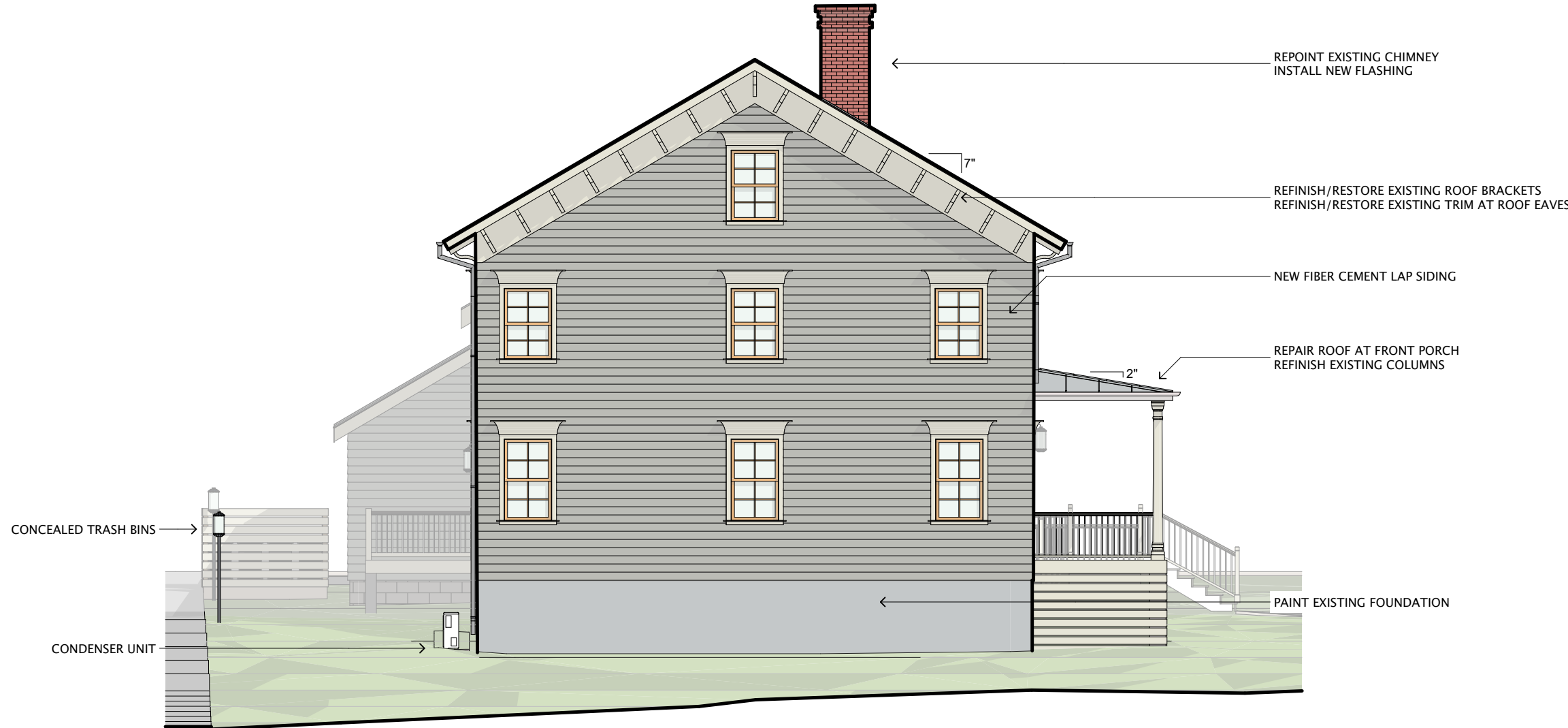
DRAWING TITLE
SITE PLAN

JOB NO.	DATE	SCALE
8032-01-01	7/20/18	1" = 10'

DRAWING NO.	01



C1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



C2 WEST ELEVATION
SCALE: 1/8" = 1'-0"



A1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



A2 EAST ELEVATION
SCALE: 1/8" = 1'-0"

WINDOW SCHEDULE

TYPE	DESCRIPTION	MANUFACTURER	MODEL	WIDTH	HEIGHT	EXTERIOR FINISH	EXTERIOR FINISH SWATCH	INTERIOR FINISH	DIVIDERS	AMOUNT	NOTES
1	DOWNSTAIRS DOUBLE HUNG	MARVIN	ULTIMATE DOUBLE HUNG NEXT GENERATION	3'	5'-0"	STONE WHITE		WHITE OAK	SIMULATED DIVIDED LITE WITH SPACE BAR 2X2	13	
2	UPSTAIRS DOUBLE HUNG	MARVIN	ULTIMATE DOUBLE HUNG NEXT GENERATION	3'	4'5"	STONE WHITE		WHITE OAK	SIMULATED DIVIDED LITE WITH SPACE BAR 2X2	13	

EXTERIOR LIGHTING SCHEDULE

ID		MANUFACTURER	MODEL	LUMENS	LIGHT COLOR	NOTES
EL-01		BAZZ	LED 410	800	3000 K	4.5" DIMMABLE
EL-02		PROGRESS LIGHTING	P560082-031 HOLLINGSWO 5TH WALL LANTERN		3000 K	
EL-03		PROGRESS LIGHTING	P540029-031 Hollingsworth Post Lantern		3000 K	

FINISH SCHEDULE

ID	DESCRIPTION	MANUFACTURER	MATERIAL	FINISH	COLOR	SWATCH	PANTONE EQUIVALENT
FN 01	CLABBARD SIDING		CEDAR	PAINTED	HARBOR GRAY BENJAMIN MOORE NUMBER: AC-25		427 C
FN 02	STANDING SEAM ROOF	MCELROY	STEEL		SLATE GRAY		424 C
FN 03	DECKING	TREX	FIBER CEMENT	TEXTURED	WOODLAND BROWN		4975 C
FN 04	TRIM AT WINDOWS	LOCAL SOURCE	PAINTED FIR	PAINTED	GLACIER WHITE BENJAMIN MOORE NUMBER: AC-40		663 C
FN 05	PROFILED TRIM AT TOP OF WINDOWS	LOCAL SOURCE	PAINTED FIR	PAINTED	GLACIER WHITE BENJAMIN MOORE NUMBER: AC-40		663 C
FN 06	REFINISHED AND PAINTED EXPOSED FOUNDATION FIELD STONE FOUNDATION	EXISTING REFINISHED		PAINTED	GRAYTINT BENJAMIN MOORE NUMBER: 1611		COOL GRAY 1 C
FN 07	EXISTING DECK RAILING - TOP RAIL	EXISTING REFINISHED		PAINTED	GLACIER WHITE BENJAMIN MOORE NUMBER: AC-40		663 C
FN 08	DECK RAILING - POSTS/BALUSTERS/BOTTOM RAIL	EXISTING REFINISHED		PAINTED	GLACIER WHITE BENJAMIN MOORE NUMBER: AC-40		663 C
FN 09	REFINISHED TRIM	EXISTING REFINISHED		PAINTED	GLACIER WHITE BENJAMIN MOORE NUMBER: AC-40		663 C
FN 10	NEW DECK RAILING	SITE BUILT	DOUGLOUS FIR	STAINED	DARK WALNUT BENJAMIN MOORE NIMBER: 1358		438 C
FN 11	RAILING AT CONCRETE WALKWAY	SITE BUILT	GALVANIZED STEEL	MATT PAINT	STORM SKY BENJAMIN MOORE NUMBER: 1616		COOL GRAY 10 C
FN 12	GUTTERS/DOWNSPOUTS		ALUMINUM		MANUFACTURER'S GREY CLOSEST TO NOTED PANTONE NUMBER		COOL GRAY 1 C

BARRY DONALDSON ARCHITECTS
14 KING STREET
CROTON ON HUDSON, NY 10520
TEL 914-827-8240
EMAIL BDB@BARRYDONALDSONARCHITECTS.COM

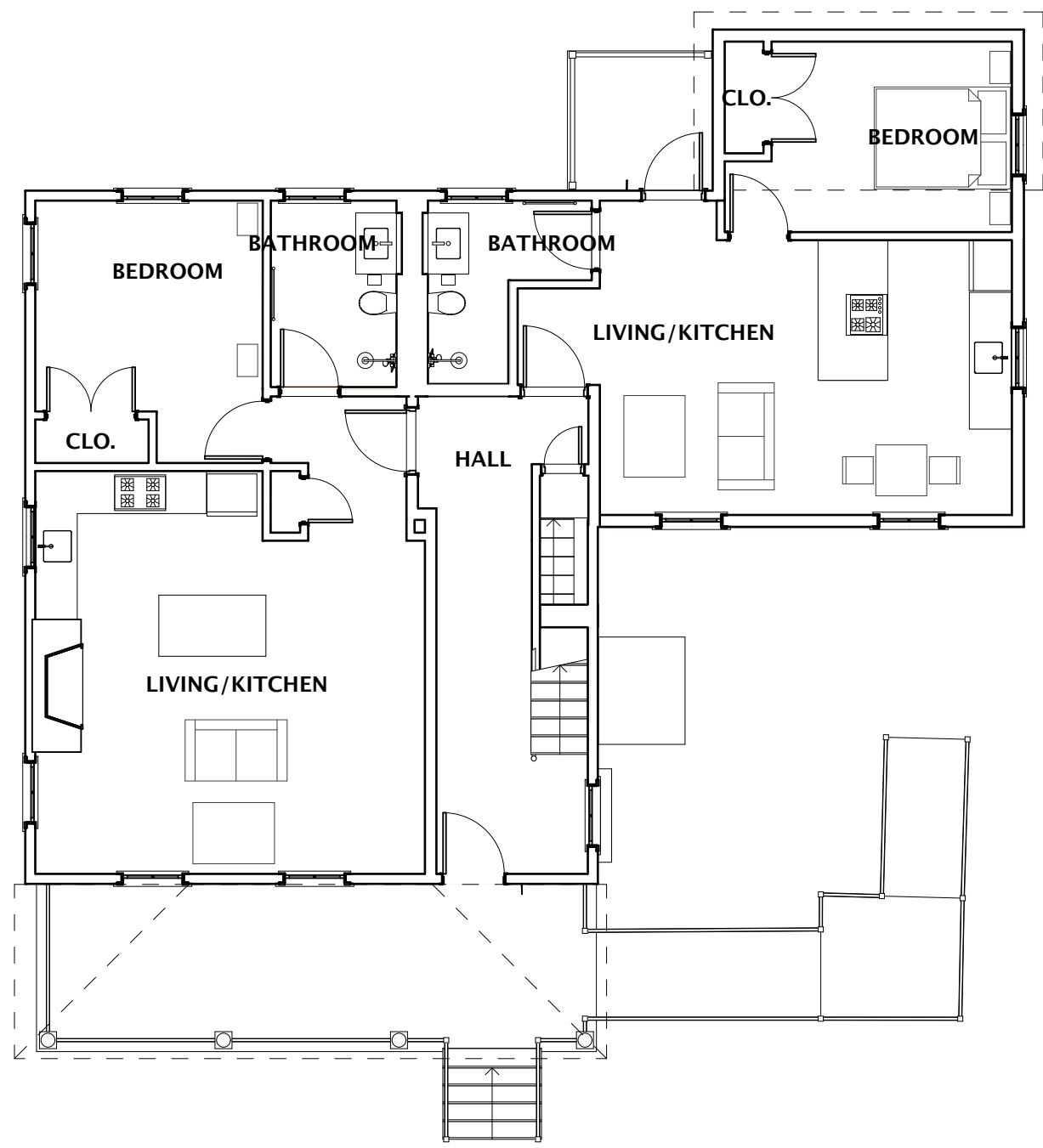
PROJECT
Renovation of 21 South Ave.
21 South Ave.
Beacon, NY
12508

DRAWING TITLE
ELEVATIONS

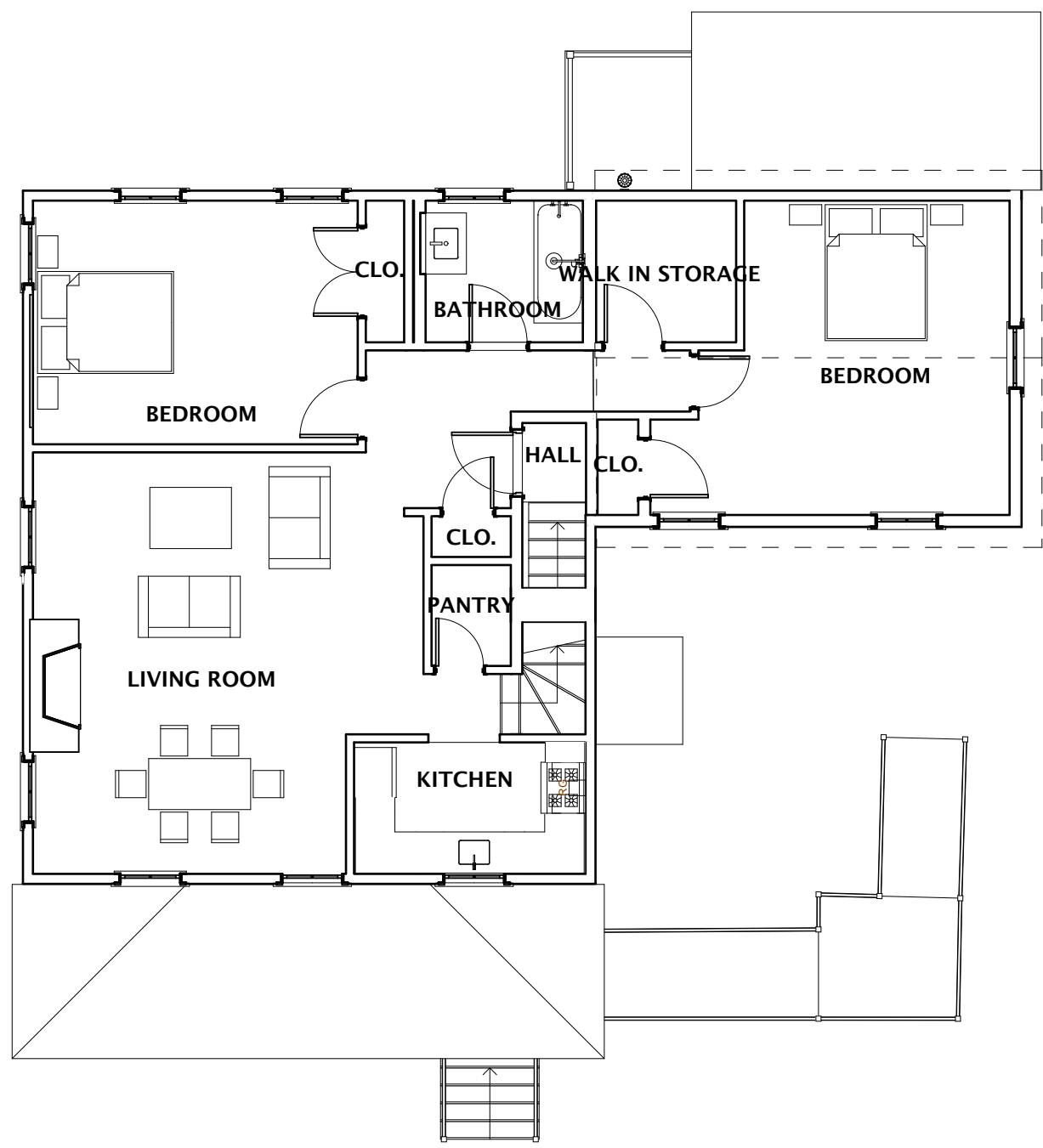
JOB NO. 8032-01-01
DATE 7/20/18
SCALE 1/8" = 1'-0"

DRAWING NO.

02



C1 1ST FLOOR APARTMENT 1 AND 2
SCALE: 1/8" = 1'-0"



C3 2ND FLOOR APARTMENT 03
SCALE: 1/8" = 1'-0"



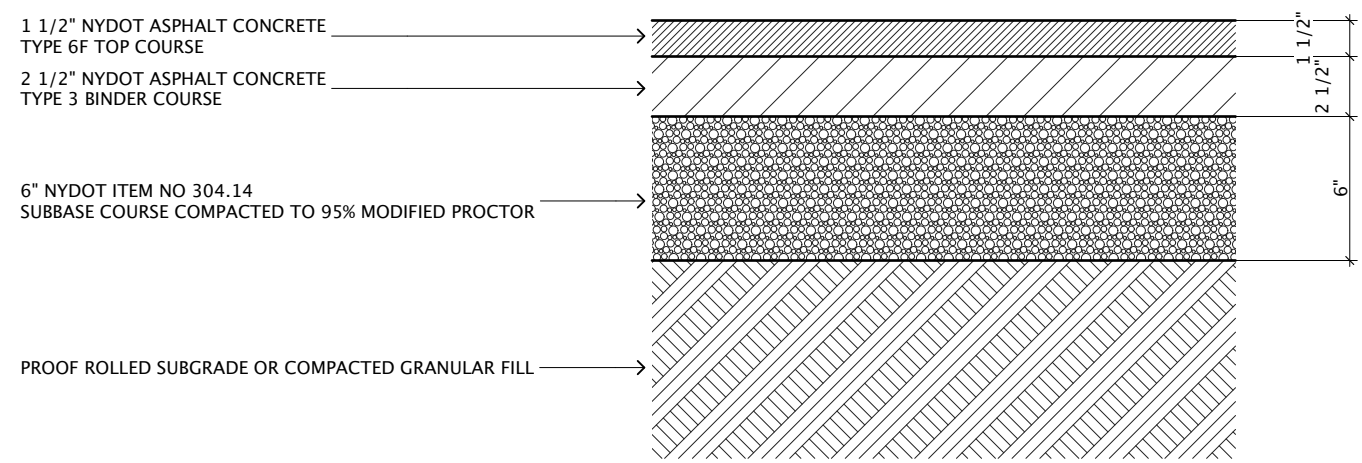
A1 3RD FLOOR APARTMENT 03 MASTER BEDROOM
SCALE: 1/8" = 1'-0"

03		
02	7/20/18	PLANNING DEPT. SUBMITTAL
01		DESIGN DEVELOPMENT
NO	DATE	ISSUE
ISSUE RECORD		
SEAL & SIGNATURE		
BARRY DONALDSON ARCHITECTS 14 KING STREET CROTON ON HUDSON, NY 10520 TEL 914-827-8240 EMAIL BDB@BARRYDONALDSONARCHITECTS.COM		
PROJECT Renovation of 21 South Ave. 21 South Ave. Beacon, NY 12508		
DRAWING TITLE SCHEMATIC PLANS		
JOB NO. 8032-01-01	DATE 7/20/18	SCALE 1/8" = 1'-0"
	DRAWING NO. 03	



D1 SITE RAILING ELEVATION

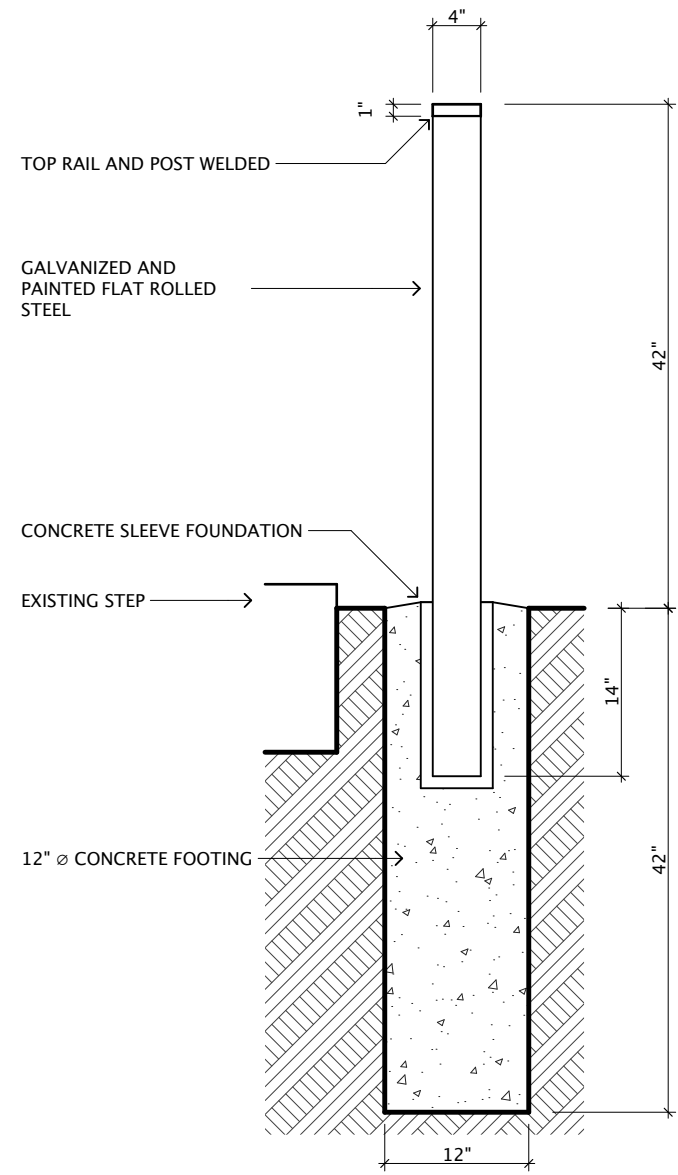
SCALE: 3/4" = 1'-0"



- NOTES:
1. MATERIALS AND METHODS SHALL CONFORM TO NYS DOT STANDARDS.
 2. SUBGRADE SHALL NOT INCLUDE FROZEN MATERIALS, DEBRIS, ORGANIC MATERIALS, LARGE STONES OR OTHER UNSUITABLE MATERIALS.
 3. TACK COAT WHEN SPECIFIED OR CALLED OUT IN THESE DRAWINGS OR REQUIRED BY THE REFERENCED SPECIFICATIONS SHALL CONFORM WITH SECTION 407 - TACK COAT OF THE ABOVE REFERENCED NYS DOT STANDARD SPECIFICATIONS.
 4. WHERE IT IS NECESSARY TO PLACE FILL FOR PURPOSES OF BRINGING THE SUBGRADE ELEVATION UP TO A SPECIFIED GRADE, THE FILL MATERIAL PLACED SHALL BE IN CONFORMANCE WITH SECTION 203-SCAVENAGE AND EMBANKMENT OF THE ABOVE REFERENCED NYS DOT STANDARD SPECIFICATIONS.

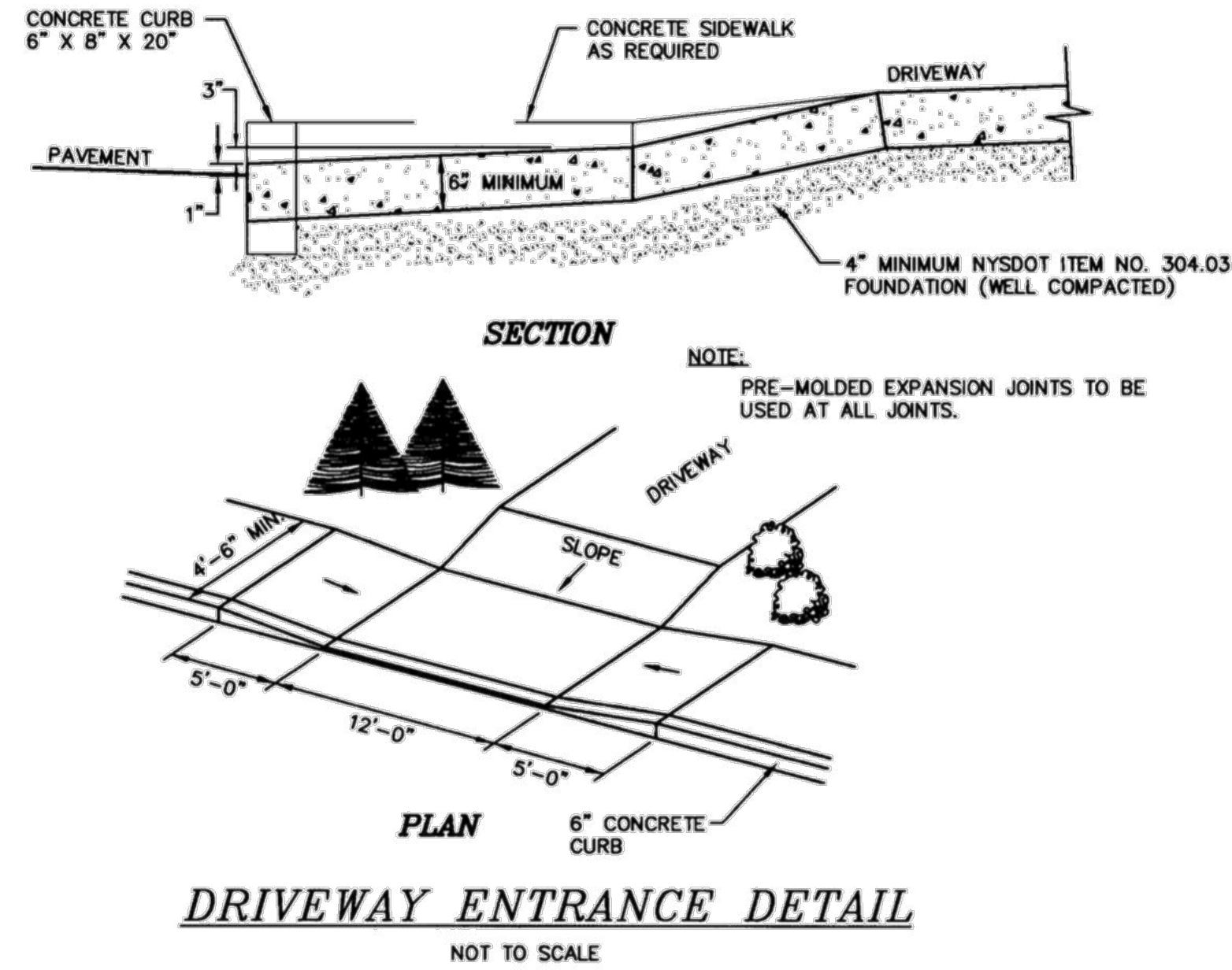
C1 NEW PAVING DETAIL

SCALE: 1 1/2" = 1'-0"



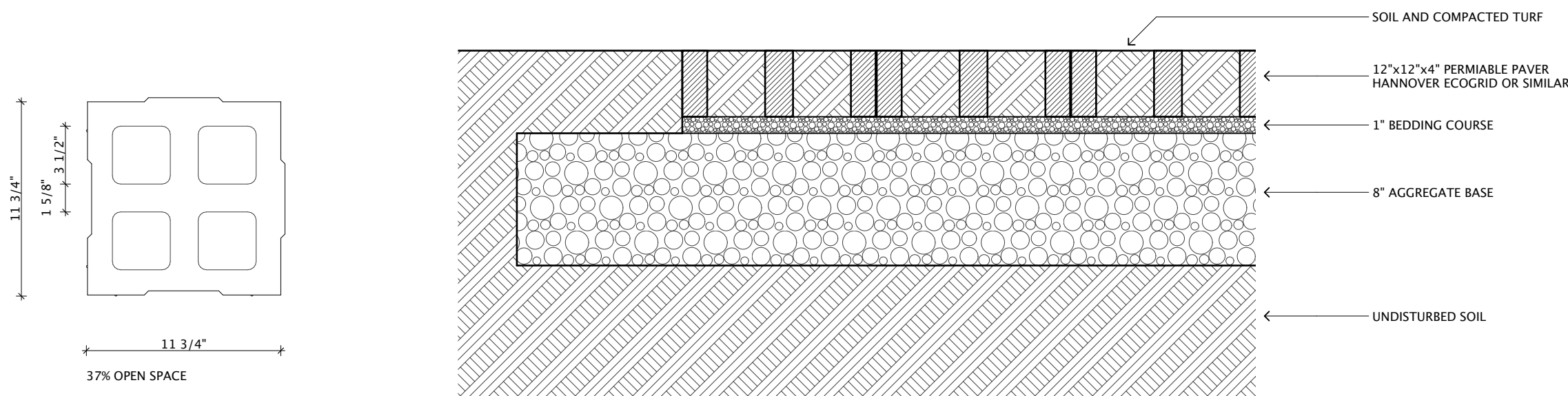
C3 SITE RAILING DETAIL

SCALE: 3/4" = 1'-0"



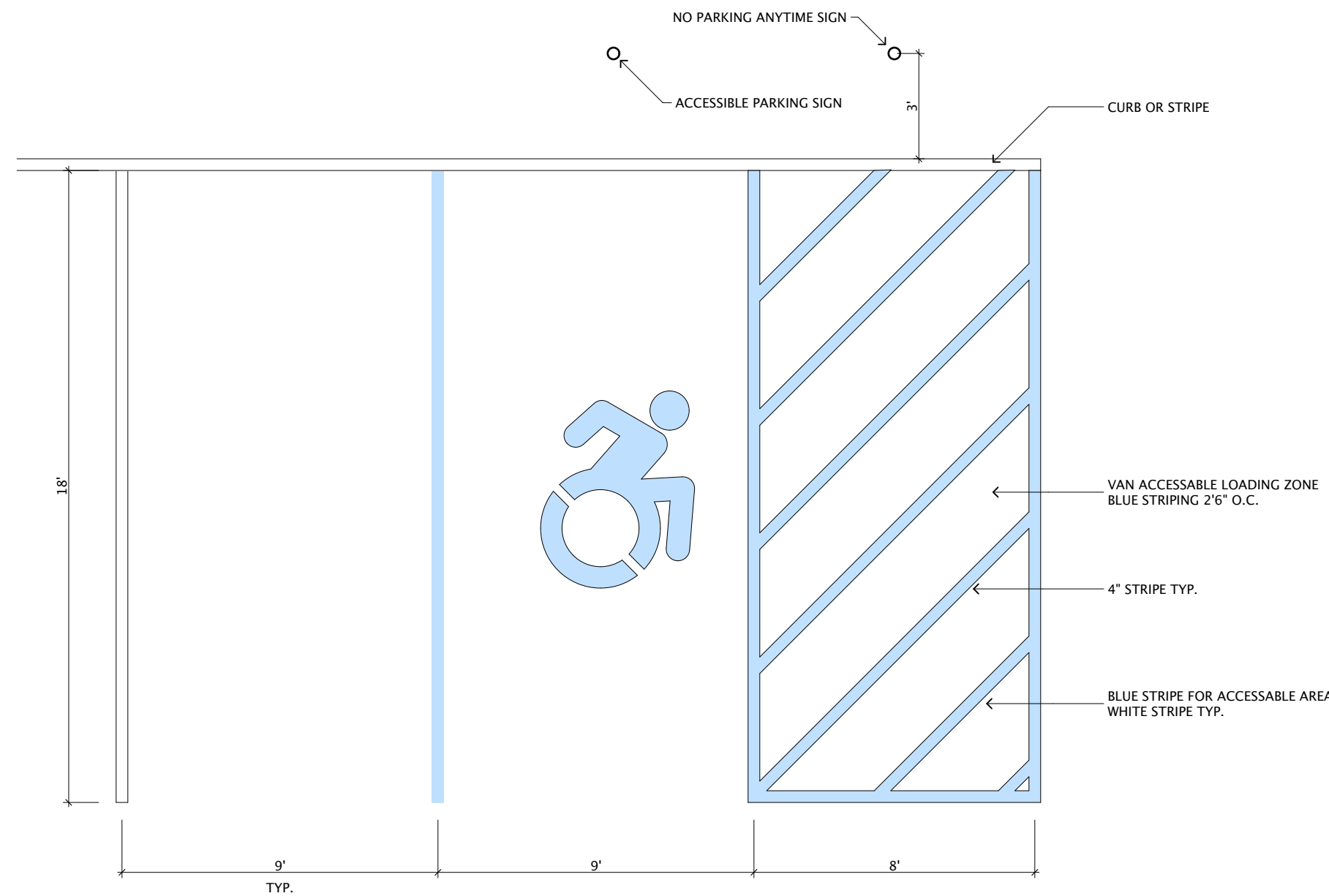
C4 DRIVEWAY ENTRANCE DETAIL

SCALE: 1" = 10'



B1 PERMIABLE PAVER DETAIL

SCALE: 1 1/2" = 1'-0"



A4 PARKING DETAIL

SCALE: 1/4" = 1'-0"

03		
02	7/20/18	PLANNING DEPT. SUBMITTAL
01		DESIGN DEVELOPMENT
NO	DATE	ISSUE

ISSUE RECORD

SEAL & SIGNATURE

BARRY DONALDSON ARCHITECTS
14 KING STREET
CROTON ON HUDSON, NY 10520
TEL 914-827-8240
EMAIL BDB@BARRYDONALDSONARCHITECTS.COM

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PROJECT
Renovation of 21 South Ave.
21 South Ave.
Beacon, NY
12508

DRAWING TITLE

DETAILS

JOB NO.

8032-01-01

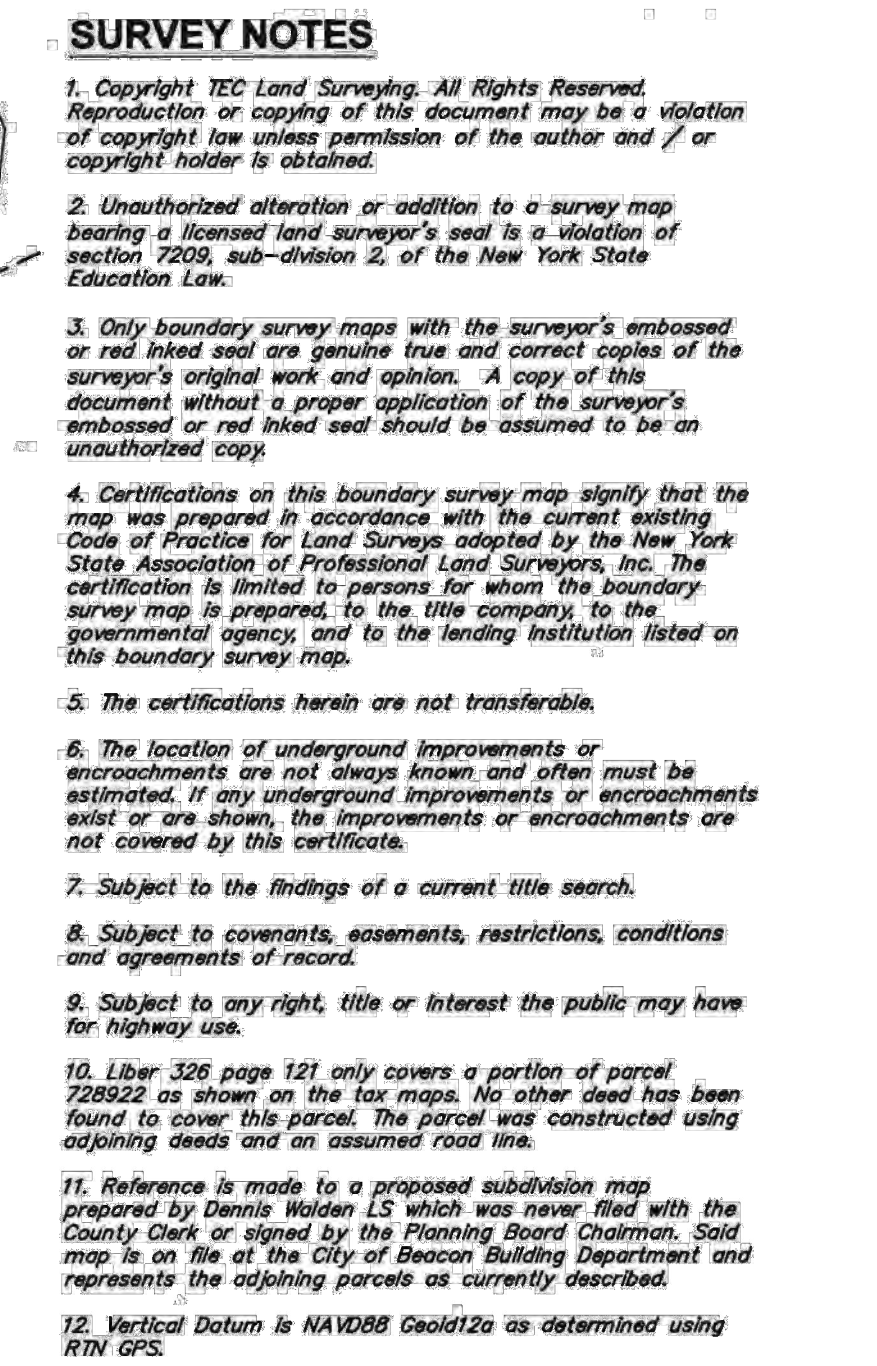
DATE

7/20/18

SCALE

DRAWING NO.

04



TEC | LAND SURVEYING
156 TIOGANDA AVE. BEACON, NY 12508
PH: 845.445.6590 FX: 845.445.6591

19 SOUTH AVE - BEACON

**TOPOGRAPHIC SURVEY
PREPARED FOR
ST. ANDREWS CHURCH**

CITY OF BEACON, COUNTY OF DUTCHESS, STATE OF NEW YORK

tax id	
address 19 South Ave	
date 9/16/2015	drawn RA
scale 1" = 20'	checked TC
project no. 15-052	
project name 19 South Ave - Beacon	
sheet 1 OF 1	

RESOLUTION

**PLANNING BOARD
BEACON, NEW YORK**

**LOCAL WATERFRONT REVITALIZATION
PROGRAM (LWRP) CONSISTENCY DETERMINATION
21 SOUTH AVENUE**

WHEREAS, the Beacon Planning Board received applications for Special Permit and Site Plan Approvals from Reverend John Williams on behalf of property owner, Protestant Episcopal Diocese of New York, (the "Applicant") to renovate an existing building, creating three apartments (the "Project" or "Proposed Action"); and

WHEREAS, the subject property is located at 21 South Avenue and designated on the City tax maps as Parcel No. 5954-26-724907; and

WHEREAS, the subject property is located in the R1-7.5 Zoning District, the Historic District and Landmark Overlay Zone, and the Coastal Management Zone as defined by the City's Local Waterfront Revitalization Program (LWRP) and the Proposed Action includes a request for an LWRP Consistency Determination; and

WHEREAS, the Site Plan is shown on the drawings entitled, "Renovation of 21 South Avenue - Site Plan," last revised June 19, 2018, prepared by Barry Donaldson Architects; and

WHEREAS, the application also consists of application forms, correspondence, the Environmental Assessment Form (EAF) and professional studies and reports submitted to the Planning Board; and

WHEREAS, the Proposed Action is a Type II action pursuant to 6 NYCRR 617.5(c)(9) of the State Environmental Quality Review Act (SEQRA); and

WHEREAS, in accordance with Section 220-6 of Chapter 220, Waterfront Consistency Review, of the City Code, all "actions to be undertaken within the City's Coastal Management Zone shall be evaluated for consistency in accordance with the.....LWRP policy standards...."

NOW, THEREFORE BE IT RESOLVED, that the Planning Board hereby finds that there are a number of LWRP policies which do not apply to the Project which policies are those that are contained in the LWRP but not listed below, and also hereby makes the following consistency findings with respect to the LWRP policies which apply to the Project:

Local Waterfront Revitalization Program (LWRP) Consistency Determination
21 South Avenue

POLICY 23

Protect, enhance and restore structures, districts, areas or sites that are of significance in the history, architecture, archeology or culture of the state, its communities or the nation.

The subject sits is within the Historic District and Landmark Overlay District. The renovation of the existing building has been designed with consideration to the historic nature of the subject building and buildings in the vicinity, including colors, architectural features and site improvements that will enhance and restore the historic nature of the building.

POLICY 25

Protect, restore and enhance natural and manmade resources which are not identified as being of state-wide significance, but which contribute to the scenic quality of the coastal area.

The policy notes that views in proximity to the subject site should be protected and enhanced. The Project is consistent with Policy 25 because:

1. The Project will restore the building at the site in a manner that respects its architectural origins. Existing asbestos siding will be abated and replaced with attractive and historically appropriate wood siding. The side stair will be removed. New standing seam roofing will be installed. Flood lights will be repaced with architectural lighting.
2. Site work will include removing the steel fencing around the Site, making it cleaner, more attractive and keeping with the intent of Policy 25 to restore and enhance resources that contribute to the scenic quality of the coastal area. Some existing asphalt will be replaced with permeable pavers enhancing the visual appeal of the Site.
3. Landscaping will include the replacement of four large trees that were removed several years ago due to age.

BE IT FURTHER RESOLVED, that the Planning Board hereby determines that the Project is entirely consistent with the LWRP policies which apply to the Project.

Resolution Adopted: July 10, 2018
Beacon, New York


John Gunn, Chairman
City of Beacon Planning Board

Dated 7/10/, 2018

Motion by P. Lambert, seconded by R. Williams :

Gary Barrack
David Burke
Patrick Lambert
Rick Muscat

Voting: AYE
Voting: Excused
Voting: AYE
Voting: AYE

Jill Reynolds
Randall Williams
John Gunn, Chairman

Voting: AYE
Voting: AYE
Voting: AYE

LANC & TULLY
ENGINEERING AND SURVEYING, P.C.

John J. O'Rourke, P.E., Principal
David E. Higgins, P.E., Principal
John Queenan, P.E., Principal

Rodney C. Knowlton, L.S., Principal
Jerry A. Woods, L.S., Principal

John D. Russo, P.E., Principal
John Lane, P.E., L.S.
Arthur R. Tully, P.E.

July 3, 2018

Mr. John Gunn
Beacon Planning Board Chair
City of Beacon
1 Municipal Plaza
Beacon, NY 12508

RE: 21 South Ave.
City of Beacon
Tax Map No. 5954-26-724907

Dear Mr. Gunn:

We have reviewed the plans entitled "Renovation of 21 South Avenue – Site Plan", last revised June 19, 2018, as prepared by Barry Donaldson Architects. The applicant is proposing to convert an existing dwelling into a 3 unit dwelling, which requires a Special Use permit for the proposed project. Based upon our review of the submitted application and plans, we offer the following comments:

1. Although the applicant has conducted an Inflow & Infiltration (I&I) study of the existing site and building, of which no I&I was found as stated, a separate Certification letter signed and sealed by the licensed professional shall be provided to the City of Beacon.
2. Grading (proposed topographic lines) for the newly proposed parking lot entrance should be shown on the plans. This area should be looked at further, as the existing topography represented on the site plan does not match that as shown on the topographic survey provided.
3. Any grading proposed in vicinity of the existing parking lot on South Avenue should be shown on the plans.
4. Plans shall include construction details for the new permeable surface to be used in the area of the handicap parking lot.
5. As previously requested, the plans shall include construction details for the new driveway entrance required for the proposed parking lot on Beacon Street. Construction details shall be in accordance the City of Beacon Street Specifications and Details.

This completes our review at this time. Further comments may be forthcoming based upon future submissions. A written response letter addressing each of the above comments should be provided with the next submission. If you have any questions, or require any additional information, please do not hesitate to contact our office.

Very truly,

LANC & TULLY, P.C.



John Russo, P.E.

Cc: John Clarke, Planner
Jennifer Gray, Esq.
Tim Dexter, Building Inspector

To: John Gunn, Chair, and the City of Beacon Planning Board

Date: July 5, 2018

Re: **21 South Avenue, Site Plan and Special Permit**

I have reviewed a June 12, 2018 response letter from Barry Donaldson Architects, revised February 26, 2018 Full EAF Part 1, September 16, 2015 Topographic Survey, and 4-sheet Site Plan set, with sheet 1 dated June 19, 2018 and sheets 2-4 dated June 12, 2018.

Proposal

The applicant is proposing to renovate an existing building, creating three apartments. The proposed parcel is in the R1-7.5 zoning district, the Local Waterfront Revitalization Area, and the Historic District and Landmark Overlay Zone.

Comments and Recommendations

1. The applicant has prepared a brief Local Waterfront Revitalization Program consistency justification for the proposed action. The justification should also note that the proposal is consistent with Policy 23 to "protect, enhance and restore structures, districts, areas or sites that are of significance in the history, architecture, archeology or culture of the state, its communities or the nation," including structures in locally designated historic districts.
2. Since this parcel is in the Historic District and Landmark Overlay Zone, any exterior alteration to the building or property requires a Certificate of Appropriateness consistent with Chapter 134. Now that the chain link fence, exterior stairs, and floodlight are proposed for removal and new street trees are to replace existing stumps, the plans appear entirely consistent with the Historic Preservation design standards.
3. Lighting for the parking lot and rear steps should be provided.
4. Multifamily residential is allowed in the Historic Overlay district by Special Permit from the City Council. Once the Board is in generally satisfied with the Site Plan, it should issue a recommendation to the Council on the Special Permit.

If you have any questions or need additional information, please feel free to contact me.

John Clarke, Beacon Planning Consultant

c: Tim Dexter, Building Inspector
Jennifer L. Gray, Esq., City Attorney
Arthur R. Tully, P.E., City Engineer
John Russo, P.E., City Engineer
Barry Donaldson, Project Architect