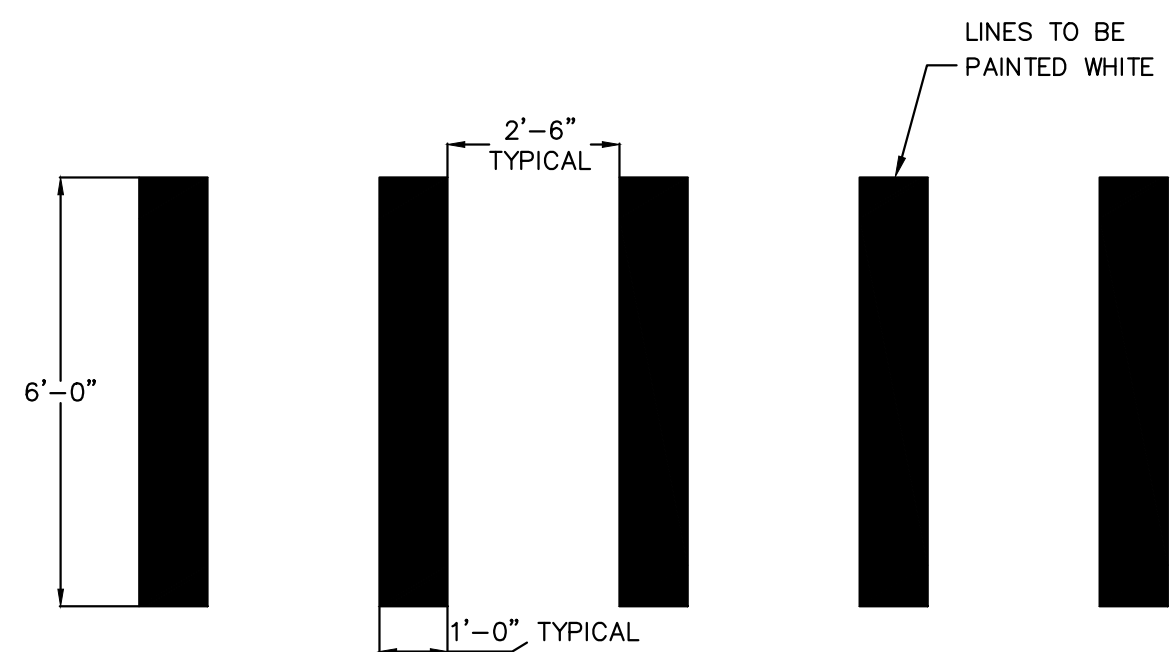
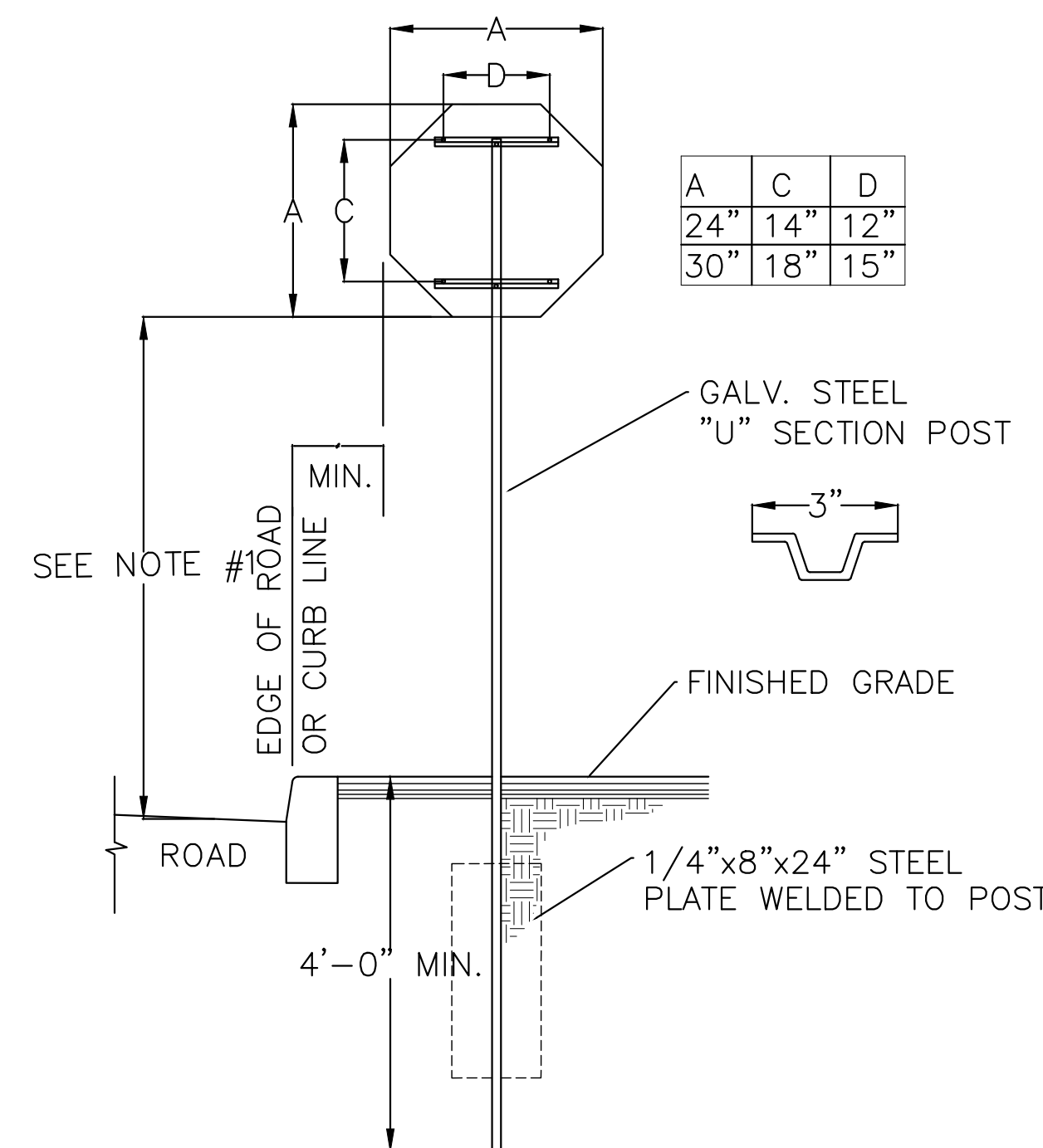




PAINTED CROSSWALK DETAIL
NOT TO SCALE



NOTE:
1. SIGN MOUNTING HEIGHT SHALL BE A MINIMUM OF 7'. MINIMUM MOUNTING HEIGHT MAY BE ADJUSTED ONLY IN ACCORDANCE WITH PROVISIONS OUTLINED IN "NYCCR, CHAPTER V--UNIFORM TRAFFIC CONTROL DEVICES."
2. SIGN POST SHALL BE IN ACCORDANCE W/ NYSOT STANDARD SPECS SECTION 730.

STOP SIGN DETAIL
NOT TO SCALE

- (1) CORNUS FLORIDUS
(6) VIBURNUM PRAGENSE
(16) PENNISETUM ALOPECUROIDES "HAEMELIN"
(1) CORNUS FLORIDUS

SIGHT DISTANCE LINE RIGHT 255' TO BEND IN RECTOR STREET

SIGHT DISTANCE LINE LEFT 263' TO WOLCOTT AVENUE (T-INTERSECTION)

Site Plan
Scale: 1" = 30'

WOLCOTT AVENUE (ROUTE 9D)

SIGHT DISTANCE LINE LEFT
441' TO PHILLIPS STREET INTERSECTION

SIGHT DISTANCE LINE RIGHT 67' TO WOLCOTT AVENUE (T-INTERSECTION)

MADISON AVENUE

VAIL AVENUE

UNION STREET

HATCHING & LANDSCAPE LEGEND

- CONCRETE SIDEWALK
- ASPHALT PAVING
- EXISTING GRASS TO REMAIN
- PROPOSED ARBOR VITAE EVERGREEN SHRUB
- PROPOSED NEW ORNAMENTAL NATIVE TREE
- PROPOSED NATIVE EVERGREEN
- EXISTING TREE TO REMAIN

Hudson Hills Academy

Zoning Summary
Zoning District: R1-7.5
Tax Map No.: 6054-45-120687
Lot Area: 9.88 acres (430,142 sf)
Building Footprint: 5,435 sf - Church / 2,272 sf - Rectory / 1,226 sf - Garage = **9,349 sf Total**
Building Area: 11,021 square feet
Historical Overlay District: No
Church and School
Church (School building to be subdivided off)

Use & Parking Requirements	Area / Count	Parking Requirement
Primary or Secondary School 1 per employee plus 1 per student in the 1st grade or above, or 1 per 4 assembly seats, whichever is greater	12 Employees	12 spaces
Total Required Parking Spaces		12 spaces
Total Proposed Parking Spaces		18 spaces (on subdivided parcel)

- Notes:
- The application is for a Special Use Permit and Site Plan approval for the parcel to be subdivided from the larger St. Lukes Episcopal Church property.
 - A Special Use Permit was granted by the City Council for the Private School use in the residential zone. Resolution #109 of 2018.
 - The proposed new parcel complies with Zoning Code. The Private School use is allowed by Special Use Permit in the R1-7.5 Zoning District.
 - Note that Hudson Hills Academy shall enroll no more than 100 students at one time. If the student population ever exceeds 100 students, the Applicant shall return to the Planning Board for additional review.
 - Per the lease agreement between St. Lukes Episcopal Church and Hudson Hills Academy, the lease of the subdivided property with the school building, all the parking spaces on the School parcel will be available to the Church on Sundays and Church Holidays, and all the spaces on the Church parcel will be available to the School when not in use for the Church for school functions requiring additional visitors.
 - Cars will enter and exit at the existing Wolcott Avenue entrance.
 - School buses will enter at the existing Phillips Street entrance, and exit at the existing Rector Street entrance.
 - One sign at the Wolcott Avenue Entrance is proposed. The sign will comply with requirements for signs in a residential district. Per 223-15(c). For other permitted uses, one sign at each street frontage where the use has an access drive, provided that the total area of each sign does not exceed 50 square feet. The proposed sign is 12 square feet.
 - No change is proposed to the existing School Building entrance, apart from replacing existing single pane windows with double glazed insulated windows in the existing openings.
 - Trash will be stored in the Building and taken out to the curb on trash pickup days. The School will contract with Royal Carting to schedule trash pickups as required.

Zoning Regulations Table - Hudson Hills Academy Parcel

Zoning District	Required Setbacks			Proposed Setbacks			Minimum Lot Area	Proposed Lot Area	Minimum Lot Width	Minimum Lot Depth	Proposed Lot Width	Proposed Lot Depth	Maximum Building Coverage	Proposed Building Coverage	Minimum Distance Between Buildings	Maximum Building Height	Building Height	Maximum Number of Stories	Proposed Number of Stories
	Front	Side	Rear	Front	Side	Rear													
R1-7.5	30'	10'	30'	50.4'	39.5'	87.6'	7,500 sf	43,583.00	75'	100'	189'	220.75'	30%	10%	None	35'	Existing no change	2 1/2	2 no change

Zoning Regulations Table - St. Lukes Episcopal Church Parcel

Zoning District	Required Setbacks			Existing Setbacks			Minimum Lot Area	Actual Lot Area after subdivision	Minimum Lot Width	Minimum Lot Depth	Proposed Lot Width	Proposed Lot Depth	Maximum Building Coverage	Proposed Building Coverage	Minimum Distance Between Buildings	Maximum Building Height	Building Height	Maximum Number of Stories	Proposed Number of Stories
	Front	Side	Rear	Front	Side	Rear													
R1-7.5	30'	10'	30'	206.2'	154.6'	178.1'	7,500 sf	380,004 sf	75'	100'	342'	852'	30%	2%	None	35'	Existing no change	2 1/2	1 no change

SPECIAL USE PERMIT
THE CITY COUNCIL GRANTED A SPECIAL USE PERMIT (RESOLUTION 109 OF 2018) TO ALLOW THE PRIVATE SCHOOL USE IN A RESIDENTIAL ZONE.

Index of Drawings

- Subdivision Plat
- Site Plan
- Existing Conditions Survey
- Landscaping Plan - Hudson Hills
- Floor Plans & Elevations

REVISIONS:			
NO.	DATE	DESCRIPTION	BY
1	04/24/18	REVISED PER PLANNING BOARD COMMENTS	AJS
2	05/29/18	REVISED PER PLANNING BOARD COMMENTS	AJS
3	06/04/18	REVISED SCHOOL BUS PATH	AJS
4	06/26/18	REVISED PER PLANNING BOARD COMMENTS	AJS
5	07/31/18	REVISED PER PLANNING BOARD COMMENTS	AJS

Sub-Division, Site Plan & Special Use Permit Application

Sheet 1 of 4 - Site Plan

850 Wolcott Avenue
St. Lukes Episcopal Church & Hudson Hills Academy
Beacon, New York
Scale: 1" = 30'
March 27, 2018

Owner / Applicant for Subdivision and Site Plan:
St. Lukes Episcopal Church
850 Wolcott Avenue
Beacon, NY 12508

Applicant / Lessee for Special Use Permit for School:
Hudson Hills Academy
12 Hanna Lane
Beacon, NY 12508

Architect:
Aryeh Siegel, Architect
84 Mason Circle
Beacon, New York 12508

Surveyor:
TEC Surveying
15C Tioronda Avenue
Beacon, New York 12508