

APPLICATION FOR SPECIAL USE PERMIT

Submit to Planning Board Secretary, One Municipal Plaza, Suite One, Beacon, New York 12508

IDENTIFICATION OF APPLICANT

Name: Normington Schofield
Address: 1181 North Avenue
Beacon, NY 12508
Signature: _____
Date: February 27, 2018
Phone: (845) 797-3796

(For Official Use Only)

Application & Fee Rec'd

Initial Review

PB Public Hearing

Sent to City Council

City Council Workshop

City Council Public Hearing

City Council Approve/Disapprove

Date Initials

IDENTIFICATION OF REPRESENTATIVE / DESIGN PROFESSIONAL

Name: Aryeh Siegel Architect
Address: 84 Mason Circle
Beacon, NY 12508

Phone: 845-838-2490

Fax: 845-838-2657

Email address: ajs@ajsarch.com

IDENTIFICATION OF SUBJECT PROPERTY:

Property Address: 1181 North Avenue

Tax Map Designation: Section 5955

Block 19

Lot(s) 716048

Land Area: 9,656 sf (existing parcel)

Zoning District(s) R1-7.5

DESCRIPTION OF PROPOSED DEVELOPMENT:

Proposed Use: Subdivision of parcel to create another building lot. New 2 story office building

Gross Non-Residential Floor Space: Existing 0

Proposed 2,593 sf

TOTAL: 2,593 sf

Dwelling Units (by type): Existing 0

Proposed 0

TOTAL: 0

ITEMS TO ACCOMPANY THIS APPLICATION

- a. Five (5) **folded** copies and One (1) digital copy of a site location sketch showing the location of the subject property and the proposed development with respect to neighboring properties and developments.
- b. Five (5) **folded** copies and One (1) digital copy of the proposed site development plan, consisting of sheets, showing the required information as set forth on the back of this form and other such information as deemed necessary by the City Council or the Planning Board to determine and provide for the property enforcement of the Zoning Ordinance.
- c. Five (5) **folded** copies and One (1) digital copy of additional sketches, renderings or other information.
- d. An application fee, payable to the City of Beacon, computed per the attached fee schedule.
- e. An initial escrow amount, payable to the City of Beacon, as set forth in the attached fee schedule.

INFORMATION TO BE SHOWN ON SITE LOCATION SKETCH

- a. Property lines, zoning district boundaries and special district boundaries affecting all adjoining streets and properties, including properties located on the opposite sides of adjoining streets.
- b. Any reservations, easements or other areas of public or special use which affect the subject property.
- c. Section, block and lot numbers written on the subject property and all adjoining properties, including the names of the record owners of such adjoining properties.

INFORMATION TO BE SHOWN ON THE SITE DEVELOPMENT PLAN

- a. Title of development, date and revision dates if any, north point, scale, name and address of record owner of property, and of the licensed engineer, architect, landscape architect, or surveyor preparing the site plan.
- b. Existing and proposed contours at a maximum vertical interval of two (2) feet.
- c. Location and identification of natural features including rock outcrops, wooded areas, single trees with a caliper of six (6) or more inches measured four (4) feet above existing grade, water bodies, water courses, wetlands, soil types, etc.
- d. Location and dimensions of all existing and proposed buildings, retaining walls, fences, septic fields, etc.
- e. Finished floor level elevations and heights of all existing and proposed buildings.
- f. Location, design, elevations, and pavement and curbing specifications, including pavement markings, of all existing and proposed sidewalks, and parking and truck loading areas, including access and egress drives thereto.
- g. Existing pavement and elevations of abutting streets, and proposed modifications.
- h. Location, type and design of all existing and proposed storm drainage facilities, including computation of present and estimated future runoff of the entire tributary watershed, at a maximum density permitted under existing zoning, based on a 100 year storm.
- i. Location and design of all existing and proposed water supply and sewage disposal facilities.
- j. Location of all existing and proposed power and telephone lines and equipment, including that located within the adjoining street right-of-way. All such lines and equipment must be installed underground.
- k. Estimate of earth work, including type and quantities of material to be imported to or removed from the site.
- l. Detailed landscape plan, including the type, size, and location of materials to be used.
- m. Location, size, type, power, direction, shielding, and hours of operation of all existing and proposed lighting facilities.
- n. Location, size, type, and design of all existing and proposed business and directional signs.
- o. Written dimensions shall be used wherever possible.
- p. Signature and seal of licensed professional preparing the plan shall appear on each sheet.
- q. Statement of approval, in blank, as follows:

**Approved by Resolution of the Beacon Planning Board
on the _____ day of _____, 20_____
subject to all conditions as stated therein**

Chairman, City Planning Board

Date

APPLICATION PROCESSING RESTRICTION LAW

Affidavit of Property Owner

Property Owner: Normington Schofield

If owned by a corporation, partnership or organization, please list names of persons holding over 5% interest.

North Ave Properties LLC
Normington J. Schofield, LLC President

List all properties in the City of Beacon that you hold a 5% interest in:

Applicant Address: 1181 North Avenue

Project Address: 1181 North Avenue

Project Tax Grid # 5955-19-716048

Type of Application Special Use Permit

Please note that the property owner is the applicant. "Applicant" is defined as any individual who owns at least five percent (5%) interest in a corporation or partnership or other business.

I, Normington Schofield, the undersigned owner of the above referenced property, hereby affirm that I have reviewed my records and verify that the following information is true.

1. No violations are pending for ANY parcel owned by me situated within the City of Beacon
2. Violations are pending on a parcel or parcels owned by me situated within the City of Beacon
3. ALL tax payments due to the City of Beacon are current
4. Tax delinquencies exist on a parcel or parcels owned by me within the City of Beacon
5. Special Assessments are outstanding on a parcel or parcels owned by me in the City of Beacon
6. ALL Special Assessments due to the City of Beacon on any parcel owned by me are current

| |
|-------------------------------------|
| <input checked="" type="checkbox"/> |
| <input type="checkbox"/> |
| <input checked="" type="checkbox"/> |
| <input type="checkbox"/> |
| <input type="checkbox"/> |
| <input checked="" type="checkbox"/> |

[Signature]

Signature of Owner

President Owner

Title if owner is corporation

| Office Use Only: | NO | YES | Initial |
|--|-----|-----|---------|
| Applicant has violations pending for ANY parcel owned within the City of Beacon (Building Dept.) | ___ | ___ | ___ |
| ALL taxes are current for properties in the City of Beacon are current (Tax Dept.) | ___ | ___ | ___ |
| ALL Special Assessments, i.e. water, sewer, fines, etc. are current (Water Billing) | ___ | ___ | ___ |

APPLICATION FEES

| | |
|--------------------------------|---|
| Site Plan | <u>Residential</u> \$500 + \$250 per dwelling unit |
| | <u>Commercial</u> \$500 + \$250 per 1,000 s.f. |
| Special Use Permit | <u>Residential</u> \$500 + \$250 per dwelling unit |
| | <u>Commercial</u> \$500 + \$250 per 1,000 s.f. |
| Subdivision | \$ 750 for 2-4 lots + \$100 per lot |
| | \$1,000 for 5 or more lots + \$300 per lot |
| Zoning Board of Appeals | Use Variance \$500 |
| | Area Variance \$250 |
| | Interpretation \$250 |

ESCROW FEES

ALL SUBDIVISIONS, AND RESIDENTIAL SITE PLAN AND SUP APPLICATIONS

| No. of Lots or Dwelling Units | Initial Deposit | Depleted to | Replenishment |
|--------------------------------------|-----------------|-------------|-------------------------|
| 1-5 (including lot-line realignment) | \$ 2,500 | \$ 1,000 | Current bills + \$1,000 |
| 6-15 | \$ 7,500 | \$ 2,500 | Current bills + \$1,000 |
| Over 15 | \$ 15,000 | \$ 5,000 | Current bills + \$5,000 |

NON-RESIDENTIAL SITE PLAN AND SUP APPLICATIONS

| | Initial Deposit | Depleted to | Replenishment |
|---|--|-------------|-------------------------|
| Existing Buildings/Change of Use with no site development | \$ 1,500 | \$ 1,000 | Current bills + \$500 |
| Up to 3,000 s.f. gross floor area | \$ 2,500 | \$ 1,000 | Current bills + \$1,000 |
| 3,000 to 10,000 s.f. gross floor area | \$ 2,500 + \$0.50 per sq.ft. over 3,000 | \$ 2,500 | Current bills + \$2,500 |
| Over 10,000 s.f. gross floor area | \$ 7,500 + \$0.50 per sq.ft. over 10,000 | \$ 2,500 | Current bills + \$2,500 |

ZONING

| <i>* if required by Chairman</i> | Initial Deposit | Depleted to | Replenishment |
|----------------------------------|-----------------|-------------|-----------------------|
| Use Variance* | \$ 1,000 | \$500 | Current bills + \$500 |
| Area Variance* | \$ 1,000 | \$500 | Current bills + \$500 |
| Interpretation* | \$ 1,000 | \$500 | Current bills + \$500 |

ARCHITECTURAL REVIEW OR CERTIFICATE OF APPROPRIATENESS *(if not currently before PB)*

| <i>* if required by Chairman</i> | Initial Deposit | Depleted to | Replenishment |
|----------------------------------|-----------------|-------------|-----------------------|
| Single Family House* | \$500 | \$250 | Current bills + \$250 |
| All others* | \$500 | \$250 | Current bills + \$250 |

**CITY OF BEACON
SITE PLAN SPECIFICATION FORM**

Name of Application: 1181 North Avenue

PLEASE INDICATE WHETHER THE SITE PLAN DRAWINGS SHOW THE SUBJECT INFORMATION BY PLACING A CHECK MARK IN THE APPROPRIATE BOXES BELOW.

| | YES | NO |
|--|-------------------------------------|-------------------------------------|
| The site plan shall be clearly marked "Site Plan", it shall be prepared by a legally certified individual of firm, such as a Registered Architect or Professional Engineer, and it shall contain the following information: | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| LEGAL DATA | | |
| Name and address of the owner of record. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Name and address of the applicant (if other than the owner). | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Name and address of person, firm or organization preparing the plan. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Date, north arrow, and written and graphic scale. | | |
| NATURAL FEATURES | | |
| Existing contours with intervals of two (2) feet, referred to a datum satisfactory to the Planning Board. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Approximate boundaries of any areas subject to flooding or stormwater overflows. | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Location of existing watercourses, wetlands, wooded areas, rock outcrops, isolated trees with a diameter of eight (8) inches or more measured three (3) feet above the base of the trunk, and any other significant existing natural features. | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| EXISTING STRUCTURES, UTILITIES, ETC. | | |
| Outlines of all structures and the location of all uses not requiring structures. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Paved areas, sidewalks, and vehicular access between the site and public streets. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Locations, dimensions, grades, and flow direction of any existing sewers, culverts, water lines, as well as other underground and above ground utilities within and adjacent to the property. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Other existing development, including fences, retaining walls, landscaping, and screening. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Sufficient description or information to define precisely the boundaries of the property. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| The owners of all adjoining lands as shown on the latest tax records. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| The locations, names, and existing widths of adjacent streets and curb lines. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Location, width, and purpose of all existing and proposed easements, setbacks, reservations, and areas dedicated to private or public use within or adjacent to the properties. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

| PROPOSED DEVELOPMENT | YES | NO |
|---|-------------------------------------|-------------------------------------|
| The location, use and design of proposed buildings or structural improvements. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| The location and design of all uses not requiring structures, such as outdoor storage (if permitted), and off-street parking and unloading areas. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Any proposed division of buildings into units of separate occupancy. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| The location, direction, power, and time of use for any proposed outdoor lighting. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| The location and plans for any outdoor signs. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| The location, arrangement, size(s) and materials of proposed means of ingress and egress, including sidewalks, driveways, or other paved areas. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Proposed screening and other landscaping including a planting plan and schedule prepared by a qualified individual or firm. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| The location, sizes and connection of all proposed water lines, valves, and hydrants and all storm drainage and sewer lines, culverts, drains, etc. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Proposed easements, deed restrictions, or covenants and a notation of any areas to be dedicated to the City. | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Any contemplated public improvements on or adjoining the property. | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Any proposed new grades, indicating clearly how such grades will meet existing grades of adjacent properties or the street. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Elevations of all proposed principal or accessory structures. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Any proposed fences or retaining walls. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| MISCELLANEOUS | | |
| A location map showing the applicant's entire property and adjacent properties and streets, at a convenient scale. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Erosion and sedimentation control measures. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| A schedule indicating how the proposal complies with all pertinent zoning standards, including parking and loading requirements. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| An indication of proposed hours of operation. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| If the site plan only indicates a first stage, a supplementary plan shall indicate ultimate development. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

This image shows a single sheet of white paper with horizontal ruling lines. The lines are evenly spaced and run across the width of the page. There are no margins, text, or other markings on the paper.

Signature: *Dr. J. L. L. L.*

Date: February 27, 2018Date: February 27, 2018

RESOLUTION

PLANNING BOARD BEACON, NEW YORK

LOCAL WATERFRONT REVITALIZATION PROGRAM (LWRP) CONSISTENCY DETERMINATION 1181 NORTH AVENUE

WHEREAS, the Beacon Planning Board received applications for Special Permit, Site Plan and Preliminary and Final Subdivision Plat Approvals from Norm Schofield on behalf of property owner, North Avenue Properties LLC, (the "Applicant") for a two-lot subdivision and the construction of a new office building, along with associated infrastructure including but not limited to landscaping, stormwater management facilities, lighting and off-street parking areas; and (the "Project" or "Proposed Action"); and

WHEREAS, the Site is located in the Coastal Management Zone as defined by the City's Local Waterfront Revitalization Program (LWRP) and the Proposed Action includes a request for an LWRP Consistency Determination; and

WHEREAS, the subject property is located at 1181 North Avenue and designated on the City tax maps as Parcel No. 5955-19-716048; and

WHEREAS, the subdivision is shown on the drawing, entitled, "Preliminary Subdivision Plat," last revised April 24, 2018; and

WHEREAS, the Site Plan is shown on the drawings entitled, "Site Plan," Sheets 1-5, last revised April 24, 2018; and

WHEREAS, the application also consists of application forms, correspondence, the Environmental Assessment Form (EAF) and professional studies and reports submitted to the Planning Board; and

WHEREAS, on May 8, 2018, the Planning Board opened a public hearing for the purpose of soliciting comments regarding the relevant areas of environmental impact, and the SEQRA public hearing was closed on May 8, 2018; and

WHEREAS, in accordance with Section 220-6 of Chapter 220, Waterfront Consistency Review, of the City Code, all "actions to be undertaken within the City's Coastal Management Zone shall be evaluated for consistency in accordance with the.....LWRP policy standards.....;" and

WHEREAS, in accordance with Section 220-5 of the Waterfront Consistency Review chapter of the City Code, it is the Lead Agency's responsibility to make the Determination of Consistency based upon the Applicant's LWRP Consistency Statement, the SEQRA

Local Waterfront Revitalization Program (LWRP) Consistency Determination
1181 North Ridge

documents, the application and Project documentation, and all other information that has been submitted by the Applicant, City staff, Planning Board consultants, involved and interested agencies, and the public; and

WHEREAS, on May 8, 2018 after taking a “hard look” at each of the relevant areas of environmental concern through review of the Environmental Assessment Form and all associated materials prepared in connection with the Proposed Action the Planning Board adopted the annexed Negative Declaration pursuant to the State Environmental Quality Review Act (SEQRA).

NOW, THEREFORE BE IT RESOLVED, that the Planning Board hereby finds that there are a number of LWRP policies which do not apply to the Project which policies are those that are contained in the LWRP but not listed below, and also hereby makes the following consistency findings with respect to the LWRP policies which apply to the Project:

POLICY 5

Encourage the location of development in areas where public services and facilities essential to such development are adequate, except when such development has special functional requirements or other characteristics which necessitates its location in other coastal areas.

As noted in the SEQRA Negative Declaration for the Project, the Project will be connected to the existing public water distribution system and public sanitary sewer system.

POLICY 13

The construction or reconstruction of erosion protection structures shall be undertaken only if they have a reasonable probability of controlling erosion for at least thirty years as demonstrated in design and construction standards and/or assured maintenance or replacement programs.

There will be no measurable increase in erosion or flooding generated by the Project.

POLICY 14

Activities and development, including the construction or reconstruction of erosion protection structures, shall be undertaken so that there will be no measurable increase in erosion or flooding at the site of such activities or development or at other locations.

During and after construction the site will be appropriately stabilized to eliminate any measurable increase in erosion or flooding.

POLICY 23

Protect, enhance and restore structures, districts, areas or sites that are of significance in the history, architecture, archeology or culture of the state, its communities or the nation.

Local Waterfront Revitalization Program (LWRP) Consistency Determination
1181 North Ridge

The subject sits is within the Historic District and Landmark Overlay District. The proposed building has been designed with consideration to the historic nature of the buildings in the vicinity, including the DeWindt House to the rear. The siting of the proposed office building on proposed Lot 2 fills a void in the continuous street frontage common along both sides of this block and locates the building away from the historic DeWindt House. It reinforces the historical nature of the original city plan along this length of North Avenue. Also, the building will screen the existing parking lot at the rear of the property which is currently visible from Route 9D.

POLICY 25

Protect, restore and enhance natural and manmade resources which are not identified as being of state-wide significance, but which contribute to the scenic quality of the coastal area.

The subject site does not affect specifically listed viewsheds in the LWRP, but it is located in close proximity to viewsheds identified in the LWRP. The proposed project does not negative impact these viewsheds.


POLICY 33

Best management practices will be used to ensure the control of stormwater runoff and combined sewer overflows draining into coastal waters.

See Policy 13.

BE IT FURTHER RESOLVED, that the Planning Board hereby determines that the Project is entirely consistent with the LWRP policies which apply to the Project.

Resolution Adopted: May 8, 2018
Beacon, New York


John Gunn, Chairman
City of Beacon Planning Board

MAY 8, 2018
Dated

Motion by BARRACK, seconded by BURKE:

Gary Barrack Voting: Y
David Burke Voting: Y
Patrick Lambert Voting: Y
Rick Muscat Voting: Y

Jill Reynolds Voting: ABSENT
Randall Williams Voting: Y
John Gunn, Chairman Voting: Y

Full Environmental Assessment Form
Part 3 - Evaluation of the Magnitude and Importance of Project Impacts
and
Determination of Significance

Part 3 provides the reasons in support of the determination of significance. The lead agency must complete Part 3 for every question in Part 2 where the impact has been identified as potentially moderate to large or where there is a need to explain why a particular element of the proposed action will not, or may, result in a significant adverse environmental impact.

Based on the analysis in Part 3, the lead agency must decide whether to require an environmental impact statement to further assess the proposed action or whether available information is sufficient for the lead agency to conclude that the proposed action will not have a significant adverse environmental impact. By completing the certification on the next page, the lead agency can complete its determination of significance.

Reasons Supporting This Determination:

To complete this section:

- Identify the impact based on the Part 2 responses and describe its magnitude. Magnitude considers factors such as severity, size or extent of an impact.
- Assess the importance of the impact. Importance relates to the geographic scope, duration, probability of the impact occurring, number of people affected by the impact and any additional environmental consequences if the impact were to occur.
- The assessment should take into consideration any design element or project changes.
- Repeat this process for each Part 2 question where the impact has been identified as potentially moderate to large or where there is a need to explain why a particular element of the proposed action will not, or may, result in a significant adverse environmental impact.
- Provide the reason(s) why the impact may, or will not, result in a significant adverse environmental impact
- For Conditional Negative Declarations identify the specific condition(s) imposed that will modify the proposed action so that no significant adverse environmental impacts will result.
- Attach additional sheets, as needed.

See attached.

Determination of Significance - Type 1 and Unlisted Actions

SEQR Status: ☒ Type 1 ☐ Unlisted

Identify portions of EAF completed for this Project: ☒ Part 1 ☒ Part 2 ☒ Part 3

Upon review of the information recorded on this EAF, as noted, plus this additional support information

All application materials submitted by the Applicant, memoranda from City staff and consultants, agency and public comment, and testimony from meetings held on the application.

and considering both the magnitude and importance of each identified potential impact, it is the conclusion of the
City of Beacon Planning Board as lead agency that:

☒ A. This project will result in no significant adverse impacts on the environment, and, therefore, an environmental impact statement need not be prepared. Accordingly, this negative declaration is issued.

☐ B. Although this project could have a significant adverse impact on the environment, that impact will be avoided or substantially mitigated because of the following conditions which will be required by the lead agency:

There will, therefore, be no significant adverse impacts from the project as conditioned, and, therefore, this conditioned negative declaration is issued. A conditioned negative declaration may be used only for UNLISTED actions (see 6 NYCRR 617.d).

☐ C. This Project may result in one or more significant adverse impacts on the environment, and an environmental impact statement must be prepared to further assess the impact(s) and possible mitigation and to explore alternatives to avoid or reduce those impacts. Accordingly, this positive declaration is issued.

Name of Action: 1181 North Avenue

Name of Lead Agency: City of Beacon Planning Board

Name of Responsible Officer in Lead Agency: John Gunn

Title of Responsible Officer: Chairman

X Signature of Responsible Officer in Lead Agency:

Date: 5/2/2018

Signature of Preparer (if different from Responsible Officer) Jennifer L. Gray, Esq., Keane & Beane, P.C.

Date:

For Further Information:

Contact Person: Etha Grogan, Planning Secretary

Address: 1 Municipal Plaza, Beacon, NY 12508

Telephone Number: 845-838-5002

E-mail: egrogan@cityofbeacon.org

For Type 1 Actions and Conditioned Negative Declarations, a copy of this Notice is sent to:

Chief Executive Officer of the political subdivision in which the action will be principally located (e.g., Town / City / Village of)

Other involved agencies (if any)

Applicant (if any)

Environmental Notice Bulletin: <http://www.dec.ny.gov/enb/enb.html>

PRINT FULL FORM

**ATTACHMENT TO
NEGATIVE DECLARATION
REASONS SUPPORTING DETERMINATION**

**APPLICATION FOR SPECIAL PERMIT, SITE PLAN AND SUBDIVISION
APPROVAL FOR 1181 NORTH AVENUE**

Tax Grid No. 5955-19-716048

This Part 3 analysis has been prepared to address all relevant areas of environmental concern as identified in the review by the Planning Board. Based upon a review of Parts 1 and 2 of the Full Environmental Assessment Form (EAF) and all other application materials that were submitted in support of the Proposed Action (Type I), along with reports from City staff and consultants, information from involved and interested agencies, and information from the public, the Planning Board, acting as Lead Agency, makes the following conclusions.

Project Description:

The Proposed Action is the subdivision of a 0.74 acre parcel with one existing office building into two lots for the construction of a new office building. The parcel is in the R1-7.5 Zoning District and the Historic District and Landmark Overlay Zone, which allows office uses by Special Permit from the City Council.

The Proposed Action is a Type I action pursuant to 6 NYCRR 617.4(b)(5)(iii) because the project is located immediately west of the Bogardus-DeWindt House which is listed on the National Register of Historic Places. The Planning Board, as Lead Agency, opened a public hearing to consider comments regarding any environmental impacts of the Proposed Action on May 8, 2018 at which time the State Environmental Quality Review Act (SEQRA) public hearing was also closed.

The Proposed Action includes a request for a determination of consistency with the Local Waterfront Revitalization Program (LWRP), Certificate of Appropriateness, and at least one area variance from the Zoning Board of Appeals as follows:

- Section 223-12.H of the Zoning Code requires a minimum 75-foot lot width at the location of the proposed building. The lot width at the location of the proposed building is proposed to be less than this minimum requirement.

Summary of Rationale for Negative Declaration

The Proposed Action will not result in any significant adverse impacts on the environment. In summary:

- **Impact on Land:** The Proposed Action will not have a significant adverse environmental impact as a result of any physical change to the project site.

The project site is located in the R1-7.5 Zoning District along the main thoroughfare into the City from Interstate 84. The project site is currently improved with a 1 story building with associated improvements. Limited portions of the site are proposed to be disturbed for the construction of the office building on proposed Lot 2. Only 0.18 acres of the total 0.74 acre site is proposed to be disturbed. There are no known sensitive features on the site such as steep slopes or wetlands.

- **Impacts on Surface Water and Groundwater:** The Proposed Action will not have a significant adverse environmental impact on surface or groundwater quality or quantity.

The Project does not include or require wastewater discharged to groundwater, and is not located within 100 feet of potable drinking water or irrigation sources. The proposed stormwater practices shown on the plans (drainage basins) are designed in accordance with all applicable requirements. All appropriate measures will be taken for erosion and sediment control during construction.

The Project will be connected to the existing public water distribution and sanitary sewer systems. The projected flow from the Proposed Action is 395 gallons per day (gpd) which is not a significant increase in water demand or sanitary sewer flows.

- **Impact on Air:** The Proposed Action will not have a significant adverse environmental impact on air quality.

Construction activities associated with grading and excavation could result in temporary air quality impacts. Air quality in the area, however, is not expected to be significantly impacted by project construction because the construction activities will be temporary and confined to the Property. Construction vehicles will emit certain air pollutants through engine exhaust. There is also the potential for fugitive dust to be created during the construction period from site preparation activities, including removal of existing impervious surfaces and vegetation, and site grading. Fugitive dust emissions will be mitigated by wetting and stabilizing soils to suppress dust generation. Other dust suppression methods will include the spraying of soil stockpiles during dry periods and covering trucks carrying solid and other dry materials. These unavoidable short term impacts to air quality will cease upon project completion. Construction will be conducted in accordance with all applicable federal, state and local codes. It is anticipated that nearby properties will experience

temporary fugitive dust and an elevation in vehicle emissions from construction vehicles throughout occasional periods during construction of the proposed project. This is a temporary, construction-related, unavoidable impact that is not significant.

- **Impact on Plants and Animals: The Proposed Action will not have a significant adverse environmental impact on flora or fauna.**

Two trees are proposed to be removed around the location of the proposed office building. As per the Plant List on Sheet 2 of 5 of the proposed plans, nine (9) new trees will be planted on the project site along with several shrubs and grasses.

Pursuant to NYS DEC records, subject Site is located within or near record(s) of the Indiana Bat and Short-noted sturgeon (NYS Endangered species). The main impact of concern for bats is the removal of potential roost trees. There are only two trees that are proposed for removal along a heavily trafficked thoroughfare on an already developed site. Therefore the Planning Board finds it is highly unlikely that the Indiana bat has chosen the project site as a roosting location and thus potential impacts to the Indiana bat are not significant. Further, there is no potential impact to the short-nosed sturgeon resulting from the Proposed Action.

- **Impact on Aesthetic Resources: The Proposed Action will not have a significant adverse environmental impact on aesthetic resources.**

The Proposed Action will not result in the obstruction, elimination or significant screening of one or more officially designated scenic views. The Proposed Action is directly visible from Route 9D which is heavily trafficked by vehicles and pedestrians. The proposed office building has been located to fill in what appears to be a missing piece in the street wall and will screen views of the parking lot in the rear of the site which is currently visible from the street. Also, the proposed office building has been designed with consideration to the historic overlay district in which the project site is located. The building will be subject to review and approval of a Certificate of Appropriateness which will include review of the proposed architecture and design to ensure its compatibility and appropriateness for the historic overlay district.

- **Impact on Historic and Archeological Resources: The Proposed Action will not have a significant adverse environmental impact on historic or archeological resources.**

The project site is located adjacent to the Bogardus-DeWindt House which is listed on the National Register of Historic Places. The proposed building has been

designed with consideration to the historic nature of the buildings in the vicinity, including the DeWindt House to the rear. The siting of the proposed office building on proposed Lot 2 fills a void in the continuous street frontage common along both sides of this block and locates the building away from the historic DeWindt House. It reinforces the historical nature of the original city plan along this length of North Avenue. Also, the building will screen the existing parking lot at the rear of the property which is currently visible from Route 9D.

- **Impact on Transportation: The Proposed Action will not have a significant adverse environmental impact on transportation.**

Similar to the existing office building on the project site, the proposed office building is not anticipated to result in a significant impact on traffic or transportation. Sufficient off-street parking spaces are being provided.

- **Impact on Energy: The Proposed Action will not have a significant adverse environmental impact on energy.**

It is anticipated that existing energy infrastructure would serve the Proposed Action. The Proposed Action does not require a new, or an upgrade to any existing substation.

- **Impact on Noise, Odor and Light: The Proposed Action will not have a significant adverse environmental impact as a result of objectionable odors, noise or light.**

The Proposed Action is not anticipated to generate any noxious odors.

Noise impacts associated with the proposed Project will be limited to temporary impacts generated during construction. The period of construction is anticipated to be 24 months. Temporary noise impacts associated with construction will be mitigated by limiting construction activities to the hours between 7:00 a.m. and 7:00 p.m. It is not anticipated that blasting will be necessary during the proposed construction. If blasting does become necessary, it will be performed in accordance with all applicable state and local requirements. In addition, there will be no significant noise impacts post-construction.

Based upon all information submitted to the Planning Board including the Full Environmental Assessment Form, the Planning Board finds that the Proposed Action will not have any significant adverse impacts upon the environment. This Negative Declaration indicates that no environmental impact statement need be prepared and that the SEQRA process is complete.

LANC & TULLY
ENGINEERING AND SURVEYING, P.C.

John J. O'Rourke, P.E., Principal
David E. Higgins, P.E., Principal
John Queenan, P.E., Principal

Rodney C. Knowlton, L.S., Principal
Jerry A. Woods, L.S., Principal

John D. Russo, P.E., Principal
John Lane, P.E., L.S.
Arthur R. Tully, P.E.

April 30, 2018

Mr. John Gunn, Chairman
Beacon Planning Board
City of Beacon City Hall
1 Municipal Plaza
Beacon, NY 12508

RE: Schofield – 1181 North Ave.
City of Beacon
Tax Map No. 5955-19-716048

Dear Mr. Gunn:

The owner of 1181 North Avenue is proposing to subdivide an existing 0.74± acre parcel into 2 lots. Our office has reviewed the application, Full EAF, and the following plans entitled "Office Building – 1181 North Avenue" submitted for the project as prepared by Aryeh Siegel, Architect; Hudson Land Design; and John Post, Jr., Land Surveyor:

- Sheet 1 of 1, entitled "Preliminary Subdivision Plat", with the latest revision date of April 24, 2018.
- Sheet 1 of 5, entitled "Site Plan", with the latest revision date of April 24, 2018.
- Sheet 2 of 5, entitled "Existing Conditions Survey Plan/Planting Schedule" with the latest revision date of April 24, 2018.
- Sheet 3 of 5, entitled "Renderings", with the latest revision date of April 24, 2018.
- Sheet 4 of 5, entitled "Grading & Utility Plan", with the latest revision date of April 24, 2018.
- Sheet 5 of 5, entitled "Construction Details", with the latest revision date of April 24, 2018.

Based upon our review of the above referenced submittals, we offer the following comments:

General Comments:

1. The front yard setback for the building proposed on Lot 2 is proposed at 21.7 feet, whereas the code requires 30 feet minimum. The applicant is requesting relief from the Planning Board in accordance with Section 223-13, Paragraph "K" of the City Code, which allows for an "Exception for existing alignment of buildings."
2. Easements for shared access and parking and the proposed water service that crosses Lot 1 to serve Lot 2 shall be developed and shown on the plans. The applicant should also consider an access easement for the existing garage that will eventually be located on Lot 2. All existing and proposed easements shall be shown on the plans.

3. A maintenance agreement for the shared access and parking should be prepared and submitted to the Planning Board Attorney for review.
4. A maintenance agreement for the drainage basins and associated piping running along the proposed common property line between the two lots should be prepared and submitted to the Planning Board Attorney for review.

Subdivision Plat:

1. All proposed easements along with their respective metes & bounds shall be provided on the plat, and the plat shall be signed and sealed by a licensed land surveyor in the State of New York.

Grading & Utility Plan (Sheet 4 of 5):

1. As previously noted, drainage basins 3 and 4, and the associated piping for these structures are being installed along the proposed common property line between both lots. This will require an easement and maintenance agreement between the lots for access and maintenance of these structures and the related piping. A copy of the easement and maintenance agreement shall be submitted to the Planning Board Attorney for review.

Construction Details (Sheet 5 of 5):

1. Construction details for the proposed sidewalks shall be included on the plan. *The applicant has noted that this detail will be provided on a later submission, and that they are currently proposing asphalt walks.*

This completes our review at this time. Further comments may be forth coming based upon future submissions. A written response letter addressing each of the above comments should be provided with the next submission. If you have any questions, or require any additional information, please do not hesitate to contact our office.

Very truly,

LANC & TULLY, P.C.



John Russo, P.E.

Cc: John Clarke, Planner
Jennifer Gray, Esq.
Tim Dexter, Building Inspector

To: John Gunn, Chair, and the City of Beacon Planning Board

Date: May 2, 2018

Re: **1181 North Avenue Subdivision and Special Permit**

I have reviewed the revised EAF Part 1, response letters from Aryeh Siegel and Hudson Land Design, Preliminary Subdivision Plat, and 5-sheet Special Permit Application, all dated April 24, 2018, and an undated Local Waterfront Revitalization Program (LWRP) Consistency Statement.

Proposal

The applicant is proposing to subdivide a 0.74-acre parcel with one existing office building into two lots for the construction of a new office building. The parcel is in the R1-7.5 district and the Historic District and Landmark Overlay Zone, which allows office uses by Special Permit from the City Council.

Comments and Recommendations

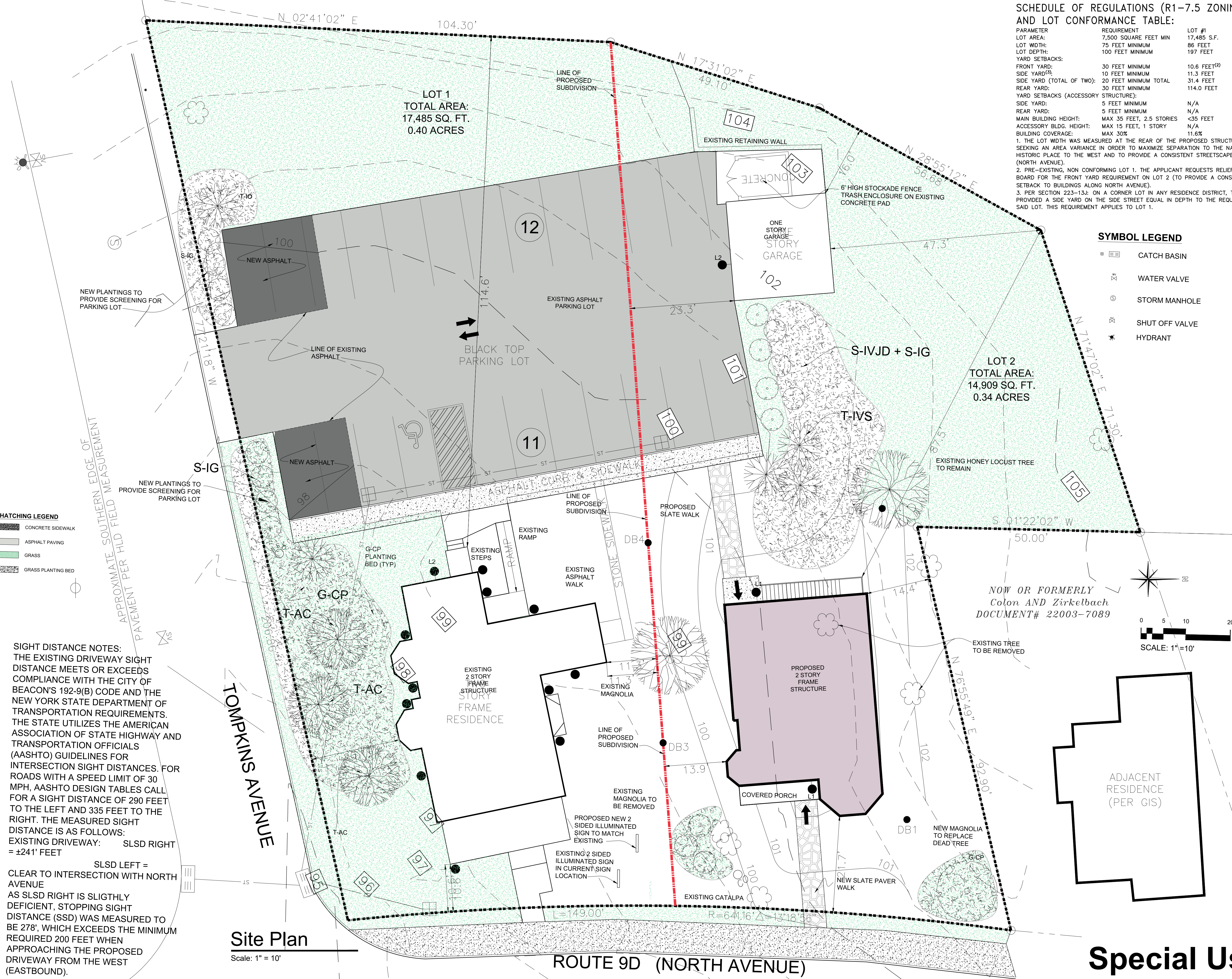
1. The Subdivision Plat should identify major trees over 8 inches diameter and include species.
2. The proposed building is located on a front section of Lot 2 that does not meet the minimum 75-foot lot width standard in Section 223-12 H. The applicant will request an area variance once the SEQR determination has been completed. The Board should issue a recommendation to the ZBA.
3. The front setback for the new building is 21.7 feet, less than the required 30 feet, but appropriate given the setbacks of the existing adjacent buildings. The Board should approve this reduced front setback without a variance, consistent with Section 223-13 K.
4. Since this parcel is in the Historic District and Landmark Overlay Zone and within the LWRP boundary, the Board will have to adopt a Certificate of Appropriateness consistent with Chapter 134, Historic Preservation, and a LWRP consistency statement. The applicant's LWRP justification addresses the most applicable Policy 23 on historic districts, maintaining that the proposed building enhances the historic district by filling a gap in the street wall and screening the rear parking lot. Once the initial plan issues have been addressed, the design could also be referred to the Architectural Review Subcommittee for compatibility with the adjacent historic buildings.
5. Although only one ADA space is required by law, the Board may want to request two ADA spaces for the two buildings, especially given the overflow street parking on Tompkins Avenue.
6. The Board could consider a new sidewalk along the Tompkins Avenue side of Lot 1, given that the existing office building has no accessible entrance from the front sidewalk.
7. The applicant should explain why the proposed sign for the new building on Lot 2 is located on Lot 1 behind the existing sign.

8. The L2 lighting fixtures are not included in the lighting details. The existing floodlights on the existing building and garage are not dark sky compliant or compatible with the historic structures and should be removed.
9. The property survey should be stamped and signed before approvals.
10. Professional offices with up to 10 employees are allowed in the Historic District and Landmark Overlay Zone by Special Permit from the City Council, although the standards seem targeted toward conversions of existing historic structures rather than separate new construction. Once the Board is in generally satisfied with the Site Plan, it should issue recommendations to the Council on the Special Permit.

If you have any questions or need additional information, please feel free to contact me.

John Clarke, Beacon Planning Consultant

c: Tim Dexter, Building Inspector
Jennifer L. Gray, Esq., City Attorney
Arthur R. Tully, P.E., City Engineer
John Russo, P.E., City Engineer
Aryeh Siegel, Project Architect



SIGHT DISTANCE NOTES:
THE EXISTING DRIVEWAY SIGHT DISTANCE MEETS OR EXCEEDS COMPLIANCE WITH THE CITY OF BEACON'S 192-9(B) CODE AND THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION REQUIREMENTS. THE STATE UTILIZES THE AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (AASHTO) GUIDELINES FOR INTERSECTION SIGHT DISTANCES. FOR ROADS WITH A SPEED LIMIT OF 30 MPH, AASHTO DESIGN TABLES CALL FOR A SIGHT DISTANCE OF 290 FEET TO THE LEFT AND 335 FEET TO THE RIGHT. THE MEASURED SIGHT DISTANCE IS AS FOLLOWS:
EXISTING DRIVEWAY: SLSD RIGHT = ±241' FEET
SLSD LEFT = CLEAR TO INTERSECTION WITH NORTH AVENUE
AS SLSD RIGHT IS SLIGHTLY DEFICIENT, STOPPING SIGHT DISTANCE (SSD) WAS MEASURED TO BE 278', WHICH EXCEEDS THE MINIMUM REQUIRED 200 FEET WHEN APPROACHING THE PROPOSED DRIVEWAY FROM THE WEST (EASTBOUND).

Site Plan
Scale: 1" = 10'

SCHEDULE OF REGULATIONS (R1-7.5 ZONING DISTRICT) AND LOT CONFORMANCE TABLE:

| PARAMETER | REQUIREMENT | LOT #1 | LOT #2 |
|---|--------------------------|--------------------------|--------------------------|
| LOT AREA: | 7,500 SQUARE FEET MIN | 17,485 S.F. | 14,909 S.F. |
| LOT WIDTH: | 75 FEET MINIMUM | 86 FEET | 62 FEET ⁽¹⁾ |
| LOT DEPTH: | 100 FEET MINIMUM | 197 FEET | 181 FEET |
| YARD SETBACKS: | | | |
| FRONT YARD: | 30 FEET MINIMUM | 10.6 FEET ⁽²⁾ | 21.7 FEET ⁽²⁾ |
| SIDE YARD ⁽³⁾ : | 10 FEET MINIMUM | 11.3 FEET | 13.9 FEET |
| SIDE YARD (TOTAL OF TWO): | 20 FEET MINIMUM TOTAL | 31.4 FEET | 28.3 FEET |
| REAR YARD: | 30 FEET MINIMUM | 114.0 FEET | 87.5 FEET |
| YARD SETBACKS (ACCESSORY STRUCTURE): | | | |
| SIDE YARD: | 5 FEET MINIMUM | N/A | 16.0 FEET |
| REAR YARD: | 5 FEET MINIMUM | N/A | 47.3 FEET |
| MAIN BUILDING HEIGHT: | MAX 35 FEET, 2.5 STORIES | <35 FEET | <35 FEET |
| ACCESSORY BLDG. HEIGHT: | MAX 15 FEET, 1 STORY | N/A | <15 FEET |
| BUILDING COVERAGE: | MAX 30% | 11.6% | 13.1% |
| 1. THE LOT WIDTH WAS MEASURED AT THE REAR OF THE PROPOSED STRUCTURE. THE APPLICANT IS SEEKING AN AREA VARIANCE IN ORDER TO MAXIMIZE SEPARATION TO THE NATIONALLY REGISTERED HISTORIC PLACE TO THE WEST AND TO PROVIDE A CONSISTENT STREETSCAPE ALONG ROUTE 9D (NORTH AVENUE). | | | |
| 2. PRE-EXISTING, NON CONFORMING LOT 1. THE APPLICANT REQUESTS RELIEF FROM THE PLANNING BOARD FOR THE FRONT YARD REQUIREMENT ON LOT 2 (TO PROVIDE A CONSISTENT FRONT YARD SETBACK TO BUILDINGS ALONG NORTH AVENUE). | | | |
| 3. PER SECTION 223-13J: ON A CORNER LOT IN ANY RESIDENCE DISTRICT, THERE SHALL BE PROVIDED A SIDE YARD ON THE SIDE STREET EQUAL IN DEPTH TO THE REQUIRED FRONT YARD ON SAID LOT. THIS REQUIREMENT APPLIES TO LOT 1. | | | |

SYMBOL LEGEND

- CATCH BASIN
- WATER VALVE
- STORM MANHOLE
- SHUT OFF VALVE
- HYDRANT

Zoning Summary

| | |
|--|------------------------|
| Zoning District: | R1-7.5 (One Family) |
| Tax Map No.: | 5955-19-716048 |
| Existing Lot Area: | 0.74 acres (32,394 sf) |
| Proposed Subdivided Lot Areas: | |
| Lot 1: | 0.40 acres (17,485 sf) |
| Lot 2: | 0.34 acres (14,909 sf) |
| Proposed Building Footprint: | 1,300 Square Feet |
| Historical Overlay District: | Yes |
| Parking Overlay District: | No |
| Existing Use: | Office Building |
| Proposed Use: | Office Building |
| Sub-divide property to create new office building on new lot | |

Parking & Loading

| Parking Requirements | Area | Parking Requirement |
|---|----------|--------------------------|
| Office / Professional Use | | |
| Proposed Office Building | | |
| 1 space for each 200 square feet gross floor area per current Zoning Code requirements | 2,600 | 13 Spaces |
| Existing Office Building to Remain | | |
| Previously approved requirement of 1 space for each 250 square feet of gross floor area | 2,340 SF | 10 Spaces |
| Total Required Parking Spaces | | 23 Parking Spaces |
| Total Proposed Parking Spaces | | 23 Parking Spaces |

Notes:

- The proposed Office use is allowed by Special Use Permit issued by the City Council.
- The siting of the proposed building on the newly created parcel fills a void in the continuous street frontage common along both sides of this block; and reinforces the historical nature of the original city plan along this length of North Avenue. The building screens the existing parking lot towards the rear of the property.
- The proposed and existing lots, after subdivision, will comply with bulk requirements for the R1-7.5 Zoning District, thereby making simpler a potential future conversion to residential use in either or both buildings.
- The proposed building complies with Zoning for setbacks and height.
- Office hours are 7:00am to 10:00 pm, Monday through Sunday, inclusive.
- The existing business identification sign is proposed to remain in it's current location between the new and existing buildings. The sign is proposed to be lit with a shielded, concealed light source 12 watt LED strip fixture.

DOCUMENT# 2

Index of Drawings

| | |
|--------------|---------------------------------------|
| Sheet 1 of 5 | Site Plan |
| Sheet 2 of 5 | Existing Conditions Survey & Planting |
| Sheet 3 of 5 | Floor Plans & Elevations |
| Sheet 4 of 5 | Grading & Utility Plan |
| Sheet 5 of 5 | Construction Details |

| REVISIONS: | | | | |
|------------|----------|-------------------------------------|-----|--|
| NO. | DATE | DESCRIPTION | BY | |
| 1 | 03/27/18 | REVISED PER PLANNING BOARD COMMENTS | AJS | |
| 2 | 04/24/18 | REVISED PER PLANNING BOARD COMMENTS | AJS | |
| | | | | |
| | | | | |
| | | | | |
| | | | | |
| | | | | |

Special Use Permit Application
Sheet 1 of 5 - Site Plan

SURVEY NOTES:

1. THE PARCEL SHOWN HEREON ARE GENERALLY AS DESCRIBED IN LIBER 1884 PAGE 688 RECORDED IN THE DUTCHESS COUNTY CLERK'S OFFICE.
2. SUBJECT TO ANY EASEMENTS AND/OR RIGHTS OF WAY THAT AN ACCURATE UP TO DATE ABSTRACT OF TITLE MAY SHOW.
3. SURVEYED AS PER RECORD DEED, EXISTING MONUMENTATION, RECORDED AND UNRECORDED MAPS.
4. NEW YORK STATE DEPARTMENT OF TRANSPORTATION ONLY APPROPRIATED THAT LAND SHOWN AND DELINIATED ON MAP NO. 6, PARCEL 8, MAP NO. 6, PARCEL 56 IS A PERMANENT EASEMENT ENCUMBERING THE PROPERTY SHOWN HEREON AND WAS NOT ACQUIRED IN FEE. THIS MAP IS ON FILE AT THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION REGIONAL OFFICE NO. 8 LOCATED IN POUGHKEEPSIE, NEW YORK.

MAP REFERENCE:

1. "SURVEY AS PREPARED FOR NORMINGTON J. SCHOFIELD" DATED MARCH 4, 2001 AS PREPARED BY DENNIS E. WALDEN, LAND SURVEYOR, N.Y.S. LICENSE NO. 49555.

TOTAL PARCEL AREA:

±32,394 S.F. OR ± 0.74 ACRE

TAX MAP REFERENCE:

CITY OF BEACON 5955-19-716048

VERTICAL DATUM:

ASSUMED

FLOOD BOUNDARY:

1. SUBJECT PARCEL IS LOCATED IN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANGE FLOODPLAIN) PER PANEL 36027C0463E DATED MAY 2, 2012.

WETLAND NOTE:

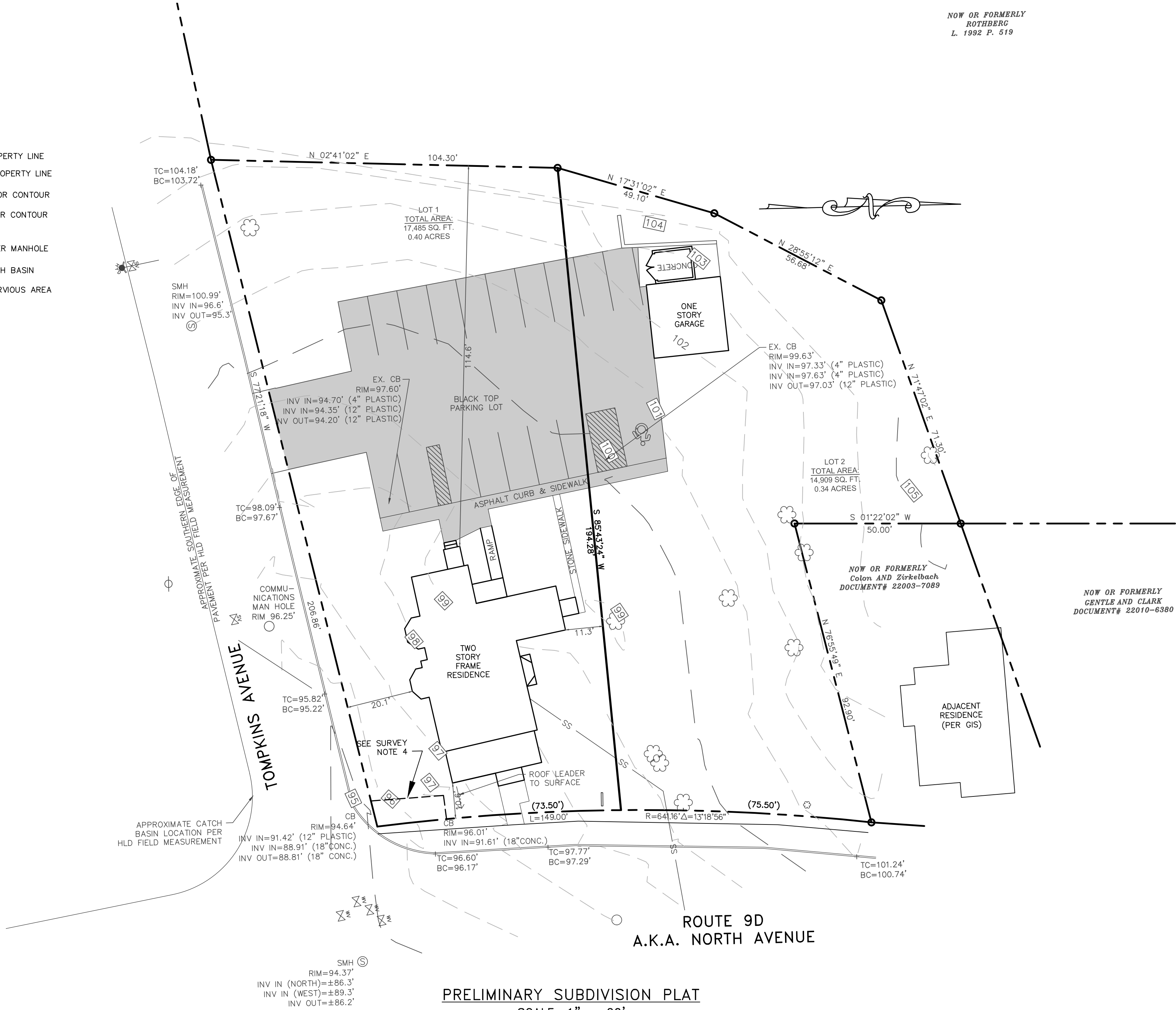
1. NO NYSDEC OR FEDERAL WETLANDS WERE FOUND ONSITE.

PROPOSED EASEMENT NOTE:

1. AN EASEMENT FOR THE BENEFIT OF LOT 2 THROUGH LOT 1 FOR THE PURPOSES OF PROVIDING ACCESS, PARKING AND WATER SERVICE WILL BE REQUIRED. THE EASEMENT WILL BE FINALIZED AS THE PLANNING PROCESS ADVANCES TO A POINT WHERE THE SERVICE LINE HAS BEEN GENERALLY ACCEPTED.

LEGEND

| | |
|--|--------------------------|
| | EXISTING PROPERTY LINE |
| | PROPOSED PROPERTY LINE |
| | EXISTING MAJOR CONTOUR |
| | EXISTING MINOR CONTOUR |
| | EXISTING SEWER MANHOLE |
| | EXISTING CATCH BASIN |
| | EXISTING IMPERVIOUS AREA |



| SCHEDULE OF REGULATIONS (R1-7.5 ZONING DISTRICT) AND LOT CONFORMANCE TABLE: | | | |
|---|--------------------------|--------------------------|--------------------------|
| PARAMETER | REQUIREMENT | LOT #1 | LOT #2 |
| LOT AREA: | 7,500 SQUARE FEET MIN | 17,485 S.F. | 14,909 S.F. |
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| LOT DEPTH: | 100 FEET MINIMUM | 197 FEET | 181 FEET |
| YARD SETBACKS: | | | |
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| SIDE YARD ⁽³⁾ : | 10 FEET MINIMUM | 11.3 FEET | 13.9 FEET |
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| BUILDING COVERAGE: | MAX 30% | 11.6% | 13.1% |

1. THE LOT WIDTH WAS MEASURED AT THE REAR OF THE PROPOSED STRUCTURE. THE APPLICANT IS SEEKING AN AREA VARIANCE IN ORDER TO MAXIMIZE SEPARATION TO THE NATIONALLY REGISTERED HISTORIC PLACE TO THE WEST AND TO PROVIDE A CONSISTENT STREETScape ALONG ROUTE 9D (NORTH AVENUE).
2. PRE-EXISTING, NON CONFORMING LOT 1. THE APPLICANT REQUESTS RELIEF FROM THE PLANNING BOARD FOR THE FRONT YARD REQUIREMENT ON LOT 2 (TO PROVIDE A CONSISTENT FRONT YARD SETBACK TO BUILDINGS ALONG NORTH AVENUE).
3. PER SECTION 223-13.6, ON A CORNER LOT IN ANY RESIDENCE DISTRICT, THERE SHALL BE PROVIDED A SIDE YARD ON THE SIDE STREET EQUAL IN DEPTH TO THE REQUIRED FRONT YARD ON SAID LOT. THIS REQUIREMENT APPLIES TO LOT 1.

OWNER'S CONSENT:

THE UNDERSIGNED OWNER OF THE PROPERTY HEREON STATES THAT HE IS FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

I HEREBY CERTIFY THAT THE SURVEY SHOWN HEREON IS BASED ON AN ACTUAL FIELD SURVEY COMPLETED ON DECEMBER 24, 2017.

By: John J. Post, Jr., L.L.S. N.Y. State Lic. no. 50643

| REVISIONS: | | | |
|------------|-----------|-----------------------------|-----|
| NO. | DATE | DESCRIPTION | BY |
| 1 | 3/27/2018 | PER PLANNING BOARD COMMENTS | DGK |
| 2 | 4/24/2018 | NO CHANGES THIS SHEET | DGK |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |

Owner:
North Avenue Properties, LLC
1181 North Avenue
Beacon, New York 12508

Architect:
Aryeh Siegel, Architect
514 Main Street
Beacon, New York 12508

Site / Civil Engineer:
Hudson Land Design
174 Main Street
Beacon, New York 12508

Surveyor:
John J. Post, Jr.
PO Box 827
Stone Ridge, New York 12484

Landscape Designer:
Landscape Restorations
P.O. Box 286
Beacon, New York 12508

Subdivision Application

Sheet 1 of 1 - Preliminary Subdivision Plat

Office Building - 1181 North Avenue
Beacon, New York
Scale: As Noted
February 27, 2018

HUBBARDTON FORGE
"HOOD" OUTDOOR DARK
SKY COMPLIANT WALL
SCONCE #306563. 15" HIGH
X 6 1/2" WIDE. BURNISHED
STEEL FINISH. 60 W
INCANDESCENT LAMP

L1: Wall Mounted

NOTE: THE MANUFACTURER DOES NOT PROVIDE PHOTOMETRIC INFORMATION FOR THESE FIXTURES. FIXTURES WILL BE SHIELDED TO AVOID LIGHT SPILLAGE ONTO ADJACENT PROPERTIES, AND TO SHIELD FROM LIGHT PROJECTING UPWARD TO THE SKY

Lighting

Not to Scale

Landscape Restorations

Plant List

Planning Biological Landscapes Design and Management Principles

Delora Adamson
914.645.8039
adamson@landscaperestorations.com
PO Box 286 Beacon, New York 12508

Norman Schofield Office Building 1181 North Ave Beacon NY
February 27 2018
NURSERY: North Creek and Hardscrabble

| Botanical Name | Common Name | Key | Type | Quantity | Size | Notes |
|---|-----------------------|--------|-------|----------|----------|-------------------|
| <i>carex pensylvanica</i> | Oak Sedge | G-Cp | Grass | 500 | 10 Tray | Plugs |
| <i>ilex glabra</i> | Inkberry | H-Ig | Shrub | 11 | 7 gallon | |
| <i>ilex verticillata</i> "Jim Dandy" | male for Sparkleberry | S-ivJD | Shrub | 3 | 3 gallon | |
| <i>rhododendron maximum</i> | Rhododendron | S-Rm | Shrub | 3 | 4-5' | Heavy Rootball |
| <i>amelanchier canadensis</i> | Serviceberry | T-Ac | Tree | 3 | 5-7' | Balled and Burlap |
| <i>ilex opaca</i> | Holly | T-lo | Tree | 2 | 6-7' | Balled and Burlap |
| <i>ilex verticillata</i> 'Sparkleberry' | Sparkleberry Tree | T-ivS | Tree | 3 | 5' | |
| <i>magnolia virginiana</i> | American Magnolia | T-Mv | Tree | 1 | 7' | Balled and Burlap |

DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED; HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.

STAKE TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE DESIGNER.

WRAP TREE TRUNKS ONLY UPON THE APPROVAL OF THE LANDSCAPE DESIGNER.

MARK THE NORTH SIDE OF THE TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE.

TREE SHALL BEAR SAME RELATION TO GRADE AS IT BORE TO ITS PREVIOUSLY EXISTING GRADE. PLANT TREE 2-3" IN. ABOVE DESIRED GRADE TO ALLOW FOR SOME SETTLING.

2 IN. MULCH. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK. MAINTAIN THE MULCH WEED-FREE FOR A MINIMUM OF THREE YEARS AFTER PLANTING.

1:1 SLOPE ON SIDES OF PLANTING HOLE

TAMP SOIL AROUND ROOT BALL BASE FIRMLY WITH FOOT PRESSURE SO THAT ROOT BALL DOES NOT SHIFT.

PLANTING HOLE 2 X ROOT BALL DIAMETER

MULCH RING 6 FT. DIA. MINIMUM

EACH TREE MUST BE PLANTED SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. TREES WHERE THE TRUNK FLARE IS NOT VISIBLE SHALL BE REJECTED. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.

FORM A SOIL SAUCER 4 IN. IN DEPTH AND FILL WITH WATER. SOON AFTER WATER HAS BEEN ABSORBED, COVER WITH MULCH.

BACK FILL WITH EXISTING SOIL IN SANDY LOAM SOILS. ADD 20% MAX. BY VOLUME COMPOSTED ORGANIC MATERIAL TO THE EXISTING SOIL.

REMOVE ALL TWINE, ROPE AND WIRE, AND BURLAP FROM TOP HALF OF ROOT BALL. IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, CUT THE WIRE BASKET IN FOUR PLACES AND FOLD DOWN 8 IN. INTO PLANTING HOLE.

PLACE ROOTBALL ON UNEXCAVATED OR COMPACTED MOUND TO PREVENT SETTLEMENT.

X

X

TREE PLANTING DETAIL

NOTE: THIS DETAIL ASSUMES THAT THE PLANTING SPACE IS LARGER THAN 8 FT. SQUARE, OPEN TO THE SKY, AND NOT COVERED BY ANY PAVING OR GRATING.

EXISTING CONCRETE SIDEWALK - FINE SAND FILLED JOINT BETWEEN CONCRETE AND PAVER

SLATE PAVERS WITH FLUSH CONCRETE GROUT JOINTS - 1/2" JOINT WIDTH

4" SHARP SAND LEVELING BED FOR PAVERS WITH A GEO-TEXTILE FABRIC OVER GRAVEL BASE

5-6" SUBBASE OF CRUSHED STONE AND SAND

Slate Paver Detail

Not to Scale

MATCH NURSERY GROUND LINE

4" (MIN) NON-FLAMABLE MULCH

FORM 4" HIGH BERM SURROUNDING SHRUB

BACKFILL WITH PLANTING SOIL MIXTURE. DO NOT TAMP.

SHRUB PLANTING DETAIL

NOT TO SCALE

NOTE

1. WATER PER NURSERY SPECIFICATIONS IMMEDIATELY FOLLOWING PLANTING.

2. DETAIL IS FOR BOTH BALL & BURLAPPED OR CONTAINERED SHRUBS.

NOTES:

- The parcel shown hereon are generally as described in Liber 1884 Page 688 recorded in the Dutchess County Clerk's Office.
- Subject to any easements and/or rights of way that an accurate up to date abstract of title may show.
- Surveyed as per record deed, existing monumentation, recorded and unrecorded maps.
- New York State Department of Transportation only appropriated that land shown and delineated on Map No. 6, Parcel 8. Map No. 6, Parcel 56 is a permanent easement encumbering the property shown hereon and was not acquired in fee. This map is on file at the New York StateDepartment of Transportation Regional Office No. 8 located in Poughkeepsie, New York.

MAP REFERENCE:

"Survey prepared for Normington J. Schofield" dated March 4, 2001 as prepared by Dennis E. Walden, Land Surveyor, N.Y.S. License No. 49555.

TAX MAP REFERENCE:

CITY OF BEACON 5955-19-716048

VERTICAL DATUM:

ASSUMED

Survey

Scale: 1" = 20'

Special Use Permit Application

Sheet 2 of 5 - Existing Conditions Survey Plan / Planting Schedule

Owner:
North Avenue Properties, LLC
1181 North Avenue
Beacon, New York 12508

Architect:
Aryeh Siegel, Architect
514 Main Street
Beacon, New York 12508

Site / Civil Engineer:
Hudson Land Design
174 Main Street
Beacon, New York 12508

Surveyor:
John J. Post, Jr.
P.O. Box 827
Stone Ridge, New York

Landscape Designer:
Landscape Restorations
P.O. Box 286
Beacon, New York 12508

Office Building - 1181 North Avenue
Beacon, New York
Scale: As Noted
February 27, 2018



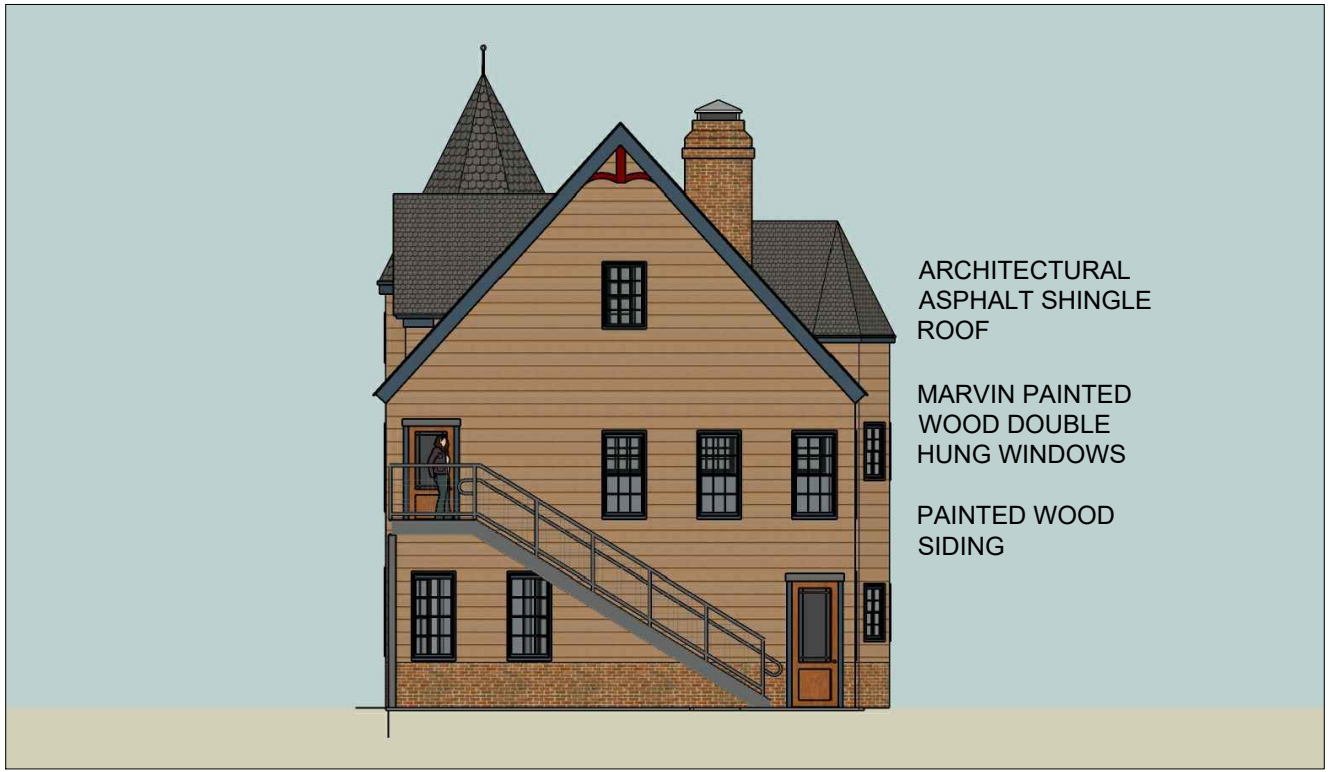
Elevation: East



Elevation: North



Elevation: South



Elevation: West

| REVISIONS: | | | |
|------------|----------|-------------------------------------|-----|
| NO. | DATE | DESCRIPTION | BY |
| 1 | 03/27/18 | REVISED FLOOR PLANS ONLY | AJS |
| 2 | 04/24/18 | REVISED PER PLANNING BOARD COMMENTS | AJS |
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APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE _____ DAY OF _____, 20____, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS _____ DAY OF _____, 20____, BY _____ CHAIRMAN

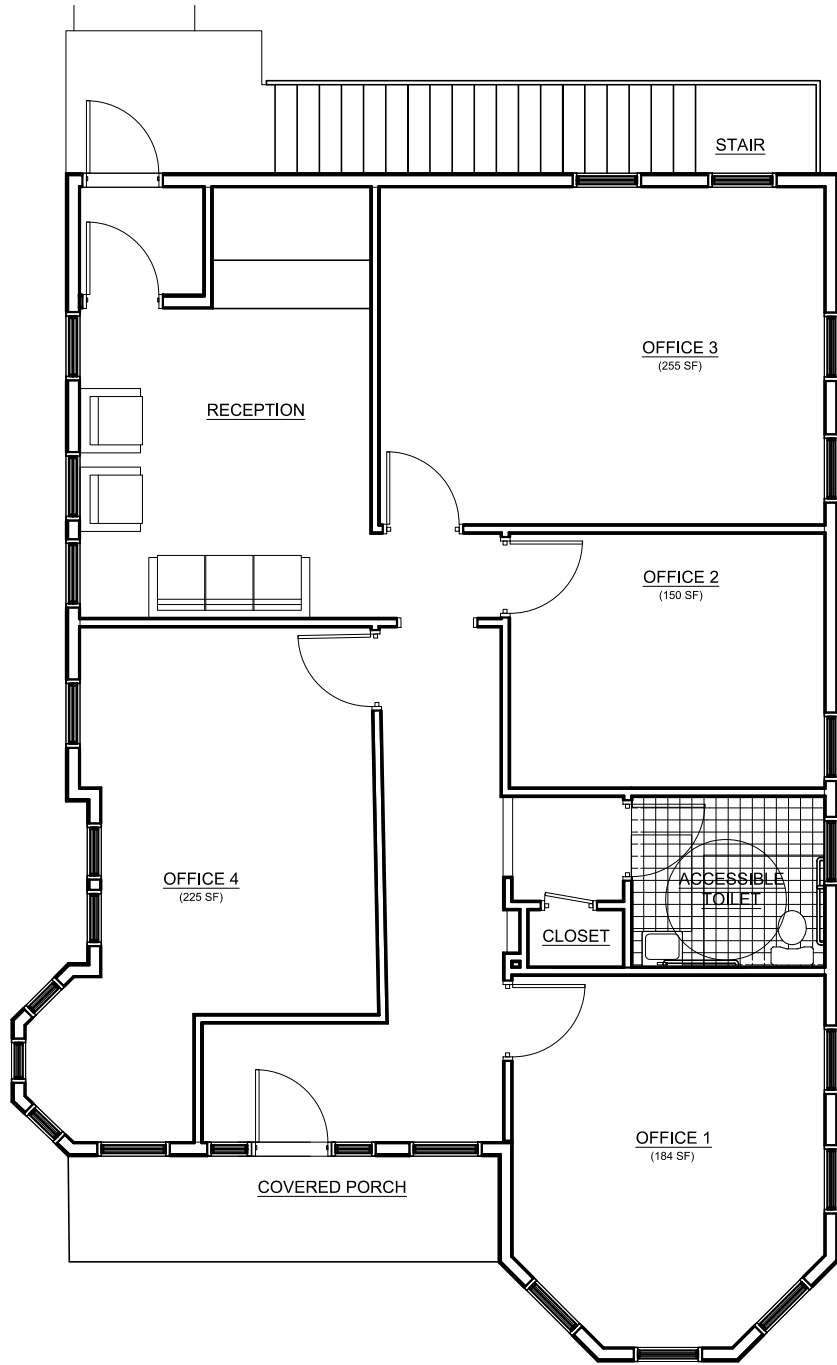
SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.



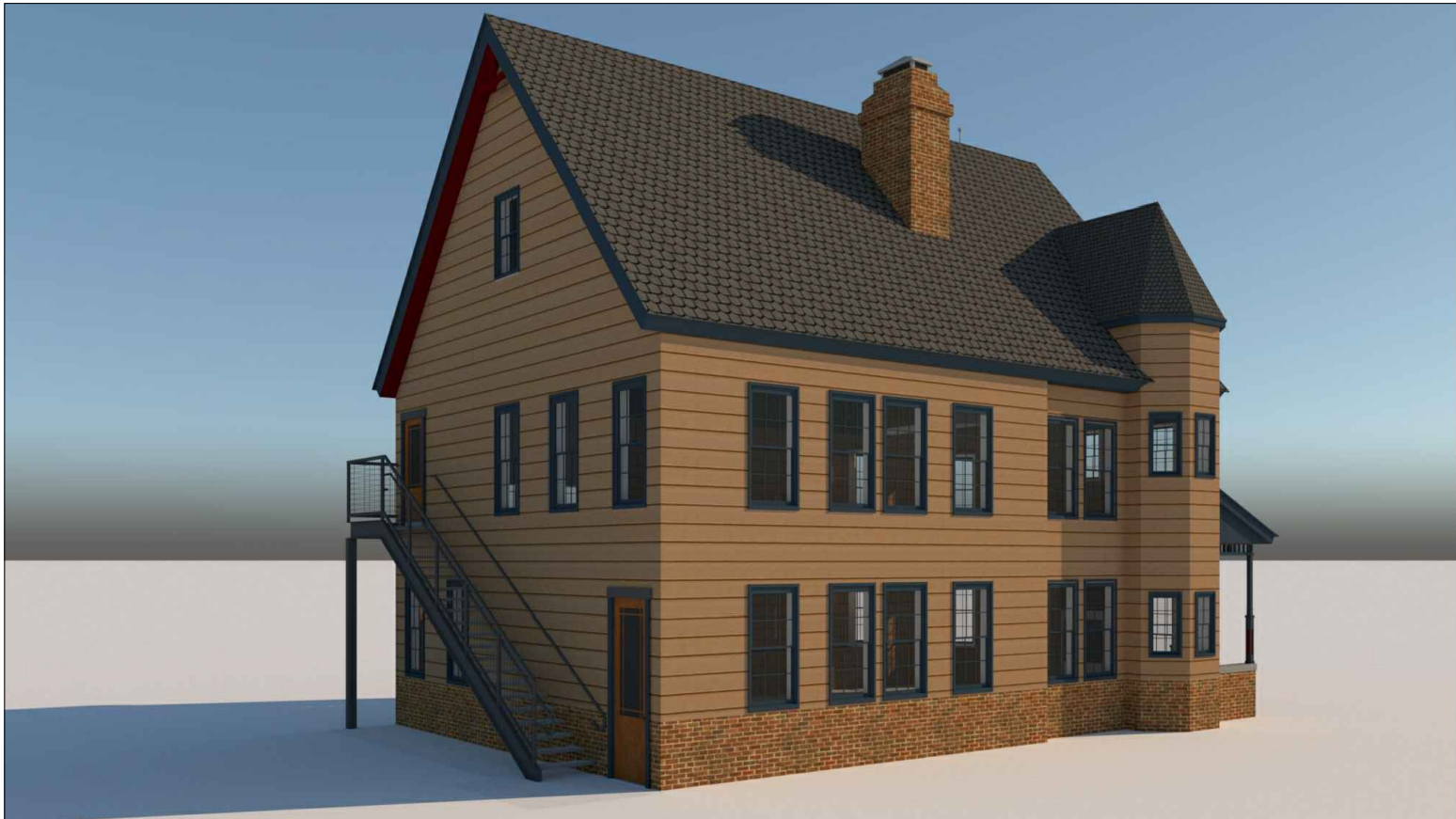
Proposed 2nd Floor Plan

Scale: 1/8" = 1'-0"



Proposed 1st Floor Plan

Scale: 1/8" = 1'-0"



View



View



View



View



View

Special Use Permit Application

Sheet 3 of 5 - Renderings

EROSION AND SEDIMENT CONTROL NOTES

1. THE PROJECT IS NOT SUBJECT TO PREPARATION OF A SWPPP DUE TO THE AMOUNT OF SOIL DISTURBANCE PROPOSED. HOWEVER, EROSION AND SEDIMENT CONTROLS SHALL BE IMPLEMENTED TO LIMIT THE TRANSPORT OF SEDIMENT OFFSITE.
2. ALL EROSION CONTROL MEASURES EMPLOYED DURING THE CONSTRUCTION PROCESS SHALL BE INSPECTED BY THE CONTRACTOR IN ACCORDANCE WITH THE MAINTENANCE SCHEDULE PROVIDED ON THIS SHEET. ALL EROSION CONTROL STRUCTURES SHALL BE REPAIRED AND MAINTAINED AS NECESSARY BY THE CONTRACTOR.
3. ALL STORMWATER MANAGEMENT STRUCTURES (E.G. SWALES, CULVERTS) SHALL BE REGULARLY INSPECTED FOR SEDIMENT ACCUMULATIONS. SEDIMENT AND TRASH SHALL BE REMOVED, AS NECESSARY.
4. ALL EROSION CONTROL INSTALLATION AND MAINTENANCE MEASURES SHALL MEET THE REQUIREMENTS OF THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
5. ANY PILE OF POTENTIALLY ERODIVE MATERIAL TEMPORARILY STOCKPILED ON THE SITE DURING THE CONSTRUCTION PROCESS SHALL BE LOCATED IN AN AREA AWAY FROM STORM DRAINAGE AND SHALL BE PROPERLY PROTECTED FROM EROSION BY A SURROUNDING SILT FENCE.
6. PERMANENT SEEDED AREAS FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH DETAIL AND SPECIFICATIONS ON THE DETAIL SHEET.
7. AREAS UNDERGOING CLEARING OR GRADING AND WHERE WORK IS DELAYED OR COMPLETED AND WILL NOT BE REDISTURBED FOR A PERIOD OF 21 DAYS OR MORE SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT VEGETATIVE COVER WITHIN 14 DAYS.
8. ON-SITE DUST CONTROL SHALL BE ACCOMPLISHED BY STANDARD METHODS OF LIGHTLY WATERING ALL EXPOSED SOIL AND RAPIDLY STABILIZING THE REGRADED AREAS WITH TOPSOIL, LOAM AND/OR SEEDING.
9. THE PROJECT ENGINEER SHALL BE NOTIFIED NO LESS THAN 48 HOURS PRIOR TO THE START OF ANY SITE WORK, AND BY SUCH NOTIFICATION, SHALL BE PROVIDED WITH THE NAME AND TELEPHONE NUMBER OF THE GENERAL CONTRACTOR RESPONSIBLE FOR SUCH WORK.
10. THE CITY MAY INSPECT EROSION AND SEDIMENT CONTROL PRACTICES ON THE SITE DURING CONSTRUCTION AND RECOMMEND THAT THE CONTRACTOR INSTALL ADDITIONAL EROSION CONTROL MEASURES IF DEEMED NECESSARY TO PROTECT ANY UNDISTURBED AREAS OF THE SITE. ANY SUCH REQUESTS SHALL BE MADE DIRECTLY TO THE CONTRACTOR AND QUALIFIED PROFESSIONAL AND FOLLOWED UP WITH A WRITTEN NOTIFICATION TO THE DEVELOPER. IN ADDITION, THE CITY SHALL BE CONSULTED ON ANY SPECIAL ADDITIONS OR DELETIONS OF EROSION CONTROL MEASURES WARRANTED BY CHANGING FIELD CONDITIONS.
11. IF GROUNDWATER IS ENCOUNTERED DURING CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL CONSTRUCT A DEWATERING PIT IN ACCORDANCE WITH NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL (AKA SUMP PIT) TO FILTER WATER FOR PUMPING TO A SUITABLE LOCATION.
12. WHEN ALL DISTURBED AREAS ARE STABLE, ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED SUBJECT TO APPROVAL BY THE CITY.

INSPECTION SCHEDULE & MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES

PERMANENT AND TEMPORARY VEGETATION:
INSPECT ALL AREAS THAT HAVE RECEIVED VEGETATION EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT WITH RAINFALL THAT EQUALS OR EXCEEDS 0.5 INCH. ALL AREAS DAMAGED BY EROSION OR WHERE SEED HAS NOT ESTABLISHED SHALL BE REPAIRED AND RESTABILIZED IMMEDIATELY.

SILT FENCE:
INSPECT FOR DAMAGE EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT WITH RAINFALL THAT EQUALS OR EXCEEDS 0.5 INCH. MAKE ALL REPAIRS IMMEDIATELY. REMOVE SEDIMENT FROM THE UP-SLOPE FACE OF THE FENCE BEFORE IT ACCUMULATES TO A HEIGHT EQUAL TO ONE-QUARTER THE HEIGHT OF THE FENCE. IF FENCE FABRIC TEARS, BEGINS TO DECOMPOSE, OR IN ANY WAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED SECTION OF FENCE IMMEDIATELY.

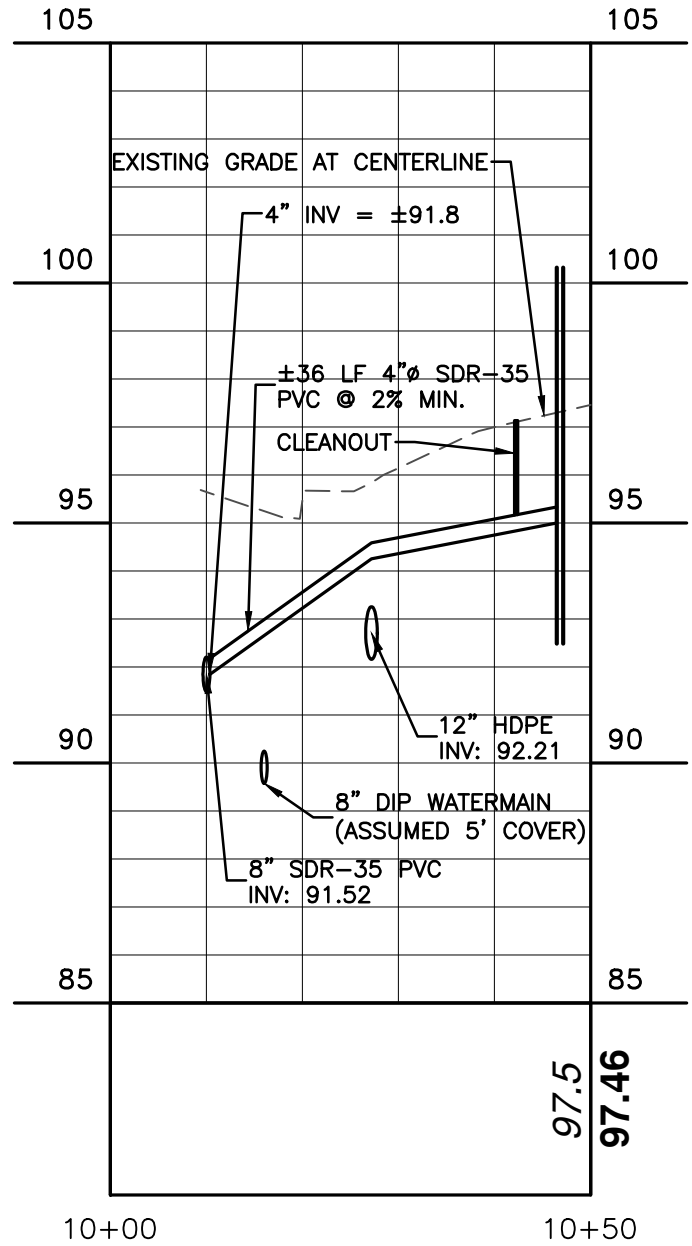
SOIL STOCKPILE:
INSPECT SEDIMENT CONTROL BARRIERS (SILT FENCE) AND VEGETATION FOR DAMAGE EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT WITH RAINFALL THAT EQUALS OR EXCEEDS 0.5 INCH. MAKE ALL REPAIRS IMMEDIATELY. REMOVE SEDIMENT FROM THE UP-SLOPE FACE OF THE SEDIMENT CONTROL BARRIER BEFORE IT ACCUMULATES TO A HEIGHT EQUAL TO ONE-QUARTER THE HEIGHT OF THE SEDIMENT CONTROL BARRIER. IF SEDIMENT CONTROL BARRIER TEARS, BEGINS TO DECOMPOSE, OR IN ANY WAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED SECTION OF SEDIMENT CONTROL BARRIER IMMEDIATELY. REVEGETATE DISTURBED AREA TO STABILIZE SOIL STOCKPILE. REMOVE THE SEDIMENT CONTROL BARRIER WHEN THE SOIL STOCKPILE HAS BEEN REMOVED.

DUST CONTROL:
SCHEDULE CONSTRUCTION OPERATIONS TO MINIMIZE THE AMOUNT OF DISTURBED AREAS AT ANY ONE TIME DURING THE COURSE OF WORKS. APPLY TEMPORARY SOIL STABILIZATION PRACTICES SUCH AS MULCHING, SEEDING, AND SPRAYING (WATER). STRUCTURAL MEASURES (MULCH, SEEDING) SHALL BE INSTALLED IN DISTURBED AREAS BEFORE SIGNIFICANT BLOWING PROBLEMS DEVELOP. WATER SHALL BE SPRAYED AS NEEDED. REPEAT AS NEEDED, BUT AVOID EXCESSIVE SPRAYING, WHICH COULD CREATE RUNOFF AND EROSION PROBLEMS.

DEWATERING PITS:
(IF REQUIRED) - INSPECT DAILY DURING OPERATION FOR CLOGGING OR OVERFLOW. CLEAR INLET AND DISCHARGE PIPES OF OBSTRUCTIONS. IF A FILTER MATERIAL BECOMES CLOGGED WITH SEDIMENT, PIT SHALL BE DISMANTLED AND NEW PITS SHALL BE CONSTRUCTED AS NEEDED.

CATCH BASINS:
ALL CATCH BASINS SHALL BE INSPECTED AFTER EACH STORM EVENT FOR SEDIMENT ACCUMULATION, AND DEBRIS, AND REMOVE AS NECESSARY. THE INLET PROTECTION SHALL BE INSPECTED FOR SEDIMENT ACCUMULATION AND REPLACED AS NECESSARY. WHEN SEDIMENT ACCUMULATION WITHIN THE CATCH BASIN SUMP REACHES 1/2 OF THE SUMP DEPTH, IT SHALL BE REMOVED.

PUBLIC ROADWAYS:
IMMEDIATELY REMOVE MUD AND SEDIMENT TRACKED OR WASHED ONTO PUBLIC ROADS BY BRUSHING OR SWEEPING. THIS SHALL BE DONE AS NEEDED DURING THE COURSE OF CONSTRUCTION, AND AT THE END OF EACH WORK DAY.



PROPOSED SANITARY SEWER SERVICE – LOT 1
1:4 VERTICAL
1:20 HORIZONTAL

| SCHEDULE OF REGULATIONS (R1-7.5 ZONING DISTRICT) AND LOT CONFORMANCE TABLE: | | | | |
|---|--------------------------|--------------------------|--------------------------|--|
| PARAMETER | REQUIREMENT | LOT #1 | LOT #2 | |
| LOT AREA: | 7,500 SQUARE FEET MIN | 17,485 S.F. | 14,909 S.F. | |
| LOT WIDTH: | 75 FEET MINIMUM | 86 FEET | 62 FEET ⁽¹⁾ | |
| LOT DEPTH: | 100 FEET MINIMUM | 197 FEET | 181 FEET | |
| YARD SETBACKS: | | | | |
| FRONT YARD: | 30 FEET MINIMUM | 10.6 FEET ⁽²⁾ | 21.7 FEET ⁽²⁾ | |
| SIDE YARD ⁽³⁾ : | 10 FEET MINIMUM | 11.3 FEET | 13.9 FEET | |
| SIDE YARD (TOTAL OF TWO): | 20 FEET MINIMUM TOTAL | 31.4 FEET | 28.3 FEET | |
| REAR YARD: | 30 FEET MINIMUM | 114.0 FEET | 87.5 FEET | |
| YARD SETBACKS (ACCESSORY STRUCTURE): | | | | |
| SIDE YARD: | 5 FEET MINIMUM | N/A | 16.0 FEET | |
| REAR YARD: | 5 FEET MINIMUM | N/A | 47.3 FEET | |
| MAIN BUILDING HEIGHT: | MAX 35 FEET, 2.5 STORIES | <35 FEET | <35 FEET | |
| ACCESSORY BLDG. HEIGHT: | MAX 15 FEET, 1 STORY | N/A | <15 FEET | |
| BUILDING COVERAGE: | MAX 30% | 11.6% | 13.1% | |
| 1. THE LOT WIDTH WAS MEASURED AT THE REAR OF THE PROPOSED STRUCTURE. THE APPLICANT IS SEEKING AN AREA VARIANCE IN ORDER TO MAXIMIZE SEPARATION TO THE NATIONALLY REGISTERED HISTORIC PLACE TO THE WEST AND TO PROVIDE A CONSISTENT STREETScape ALONG ROUTE 9D (NORTH AVENUE). | | | | |
| 2. PRE-EXISTING, NON CONFORMING LOT 1. THE APPLICANT REQUESTS RELIEF FROM THE PLANNING BOARD FOR THE FRONT YARD REQUIREMENT ON LOT 2 (TO PROVIDE A CONSISTENT FRONT YARD SETBACK TO BUILDINGS ALONG NORTH AVENUE). | | | | |
| 3. PER SECTION 223-13J: ON A CORNER LOT IN ANY RESIDENCE DISTRICT, THERE SHALL BE PROVIDED A SIDE YARD ON THE SIDE STREET EQUAL IN DEPTH TO THE REQUIRED FRONT YARD ON SAID LOT. THIS REQUIREMENT APPLIES TO LOT 1. | | | | |

OWNER'S CONSENT:

THE UNDERSIGNED OWNER OF THE PROPERTY HEREON STATES THAT HE IS FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

NORM SCHOFIELD _____ DATE _____

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE _____ DAY OF _____, 20____, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION; ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS _____ DAY OF _____, 20____, BY _____

CHAIRMAN _____ SECRETARY _____

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

Owner:
North Avenue Properties, LLC
1181 North Avenue
Beacon, New York 12508

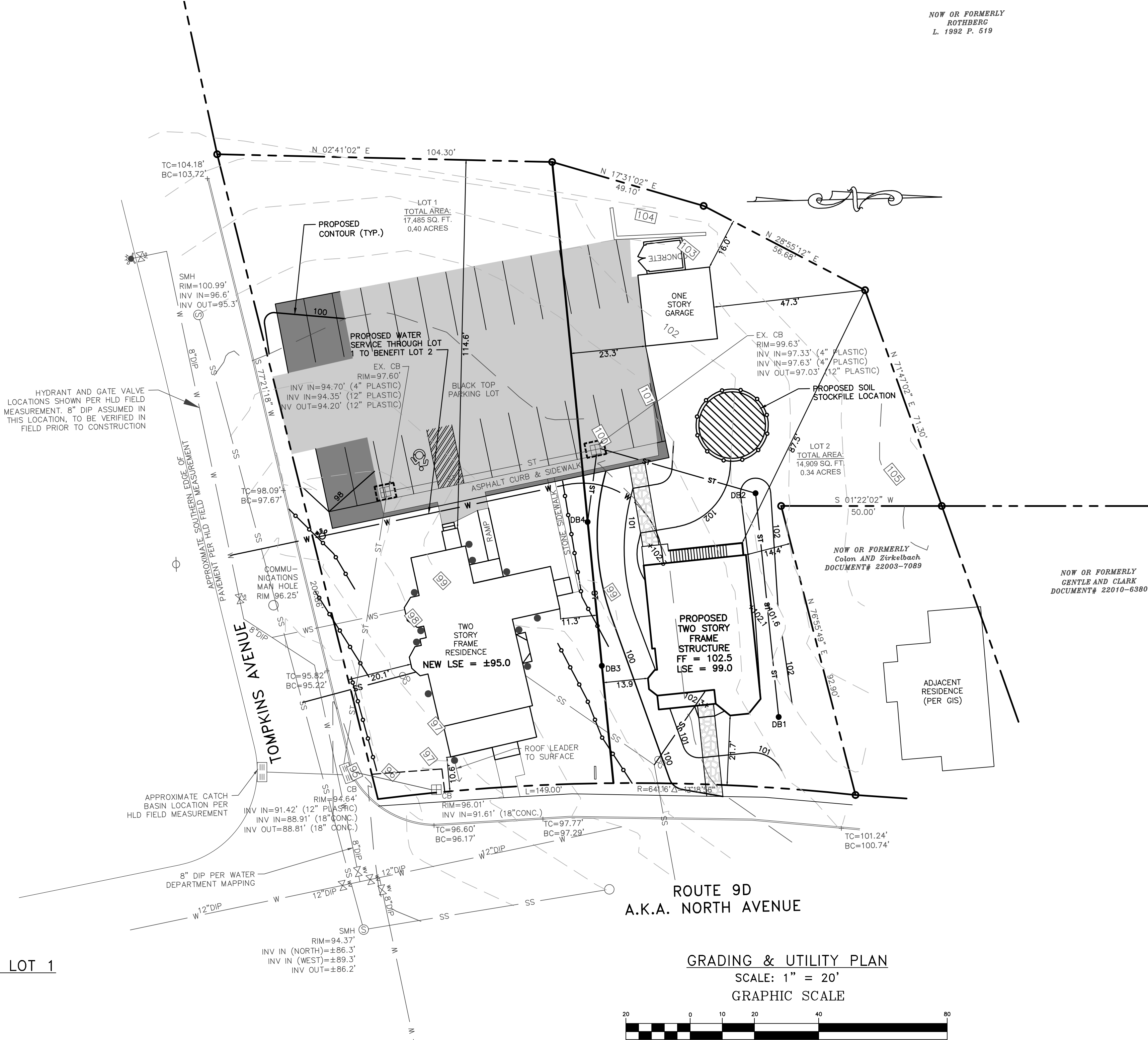
Architect:
Aryeh Siegel, Architect
514 Main Street
Beacon, New York 12508

Site / Civil Engineer:
Hudson Land Design
174 Main Street
Beacon, New York 12508

Surveyor:
John J. Post, Jr.
PO Box 827
Stone Ridge, New York 12484

Landscape Designer:
Landscape Restorations
P.O. Box 286
Beacon, New York 12508

Office Building - 1181 North Avenue
Beacon, New York
Scale: As Noted
February 27, 2018



GENERAL UTILITY NOTES:

1. ALL OTHER UTILITIES (TELEPHONE, ELECTRIC, GAS, CABLE, ETC.) SHALL BE INCORPORATED PRIOR TO CONSTRUCTION. ALL SUCH UTILITY DESIGNS SHALL BE DEVELOPED IN COOPERATION WITH THE RESPECTIVE UTILITY COMPANIES.
2. THE CONTRACTOR SHALL PERFORM A UTILITIES CALL-OUT PRIOR TO CONSTRUCTION TO VERIFY ALL UNDERGROUND UTILITY LOCATIONS BY CONTACTING UFPO @ 1-800-962-7962.
3. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS AND INVERTS OF ALL CATCH BASINS & STORM SEWER LINES, SANITARY MANHOLES & SEWER LINES, WATERLINES AND OTHER UNDERGROUND UTILITY LINES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOT ASSUME THAT ALL LOCATIONS AS SHOWN ON THE PLAN ARE CORRECT. TO ACCOMPLISH THIS, THE CONTRACTOR SHALL POTHOLE ALL PROPOSED UTILITY CONNECTION AND CROSSING LOCATIONS TO EXPOSE THE UNDERGROUND UTILITY AND ASCERTAIN THE HORIZONTAL AND VERTICAL POSITION OF SAID UTILITIES, AND TO VERIFY UTILITY SIZE AND MATERIAL. IF ANY EXISTING UTILITIES ARE NOT IN THE LOCATION WHERE THEY ARE SHOWN ON THE PLAN, IT SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION IMMEDIATELY.
4. PIPE CONNECTIONS TO ALL CATCH BASINS SHALL BE MADE WATERTIGHT, WITH PARTICULAR ATTENTION BEING PAID TO CONNECTIONS LOCATED WITHIN 10 FEET OF SEWER MAINS (AND SERVICE LATERALS).

SANITARY SEWER NOTES:

1. THE EXISTING AND PROPOSED BUILDINGS ARE TO BE SERVED BY THE CITY OF BEACON MUNICIPAL SEWER SYSTEM. INSTALLATION OF ALL COMPONENTS SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY CODE, CHAPTER 179.
2. SERVICE LATERALS SHALL BE 4" DIAMETER SDR-35 PVC WITH A MINIMUM SLOPE OF 2%, UNLESS OTHERWISE NOTED ON THE PLAN.
3. THE EXISTING BUILDING SHALL BE RE-PLUMBED INTERIOR TO PROVIDE FOR A NEW SEWER SERVICE IN THE LOCATION SHOWN.
4. THE PROPOSED BUILDING SHALL UTILIZE THE EXISTING SEWER LATERAL FROM THE EXISTING BUILDING. THE PORTION OF THE EXISTING SEWER LATERAL TO THE POINT OF NEW CONNECTION SHALL BE ABANDONED IN PLACE.

WATER NOTES:

1. THE PROPOSED BUILDINGS ARE TO BE SERVED BY THE CITY OF BEACON MUNICIPAL WATER SYSTEM. INSTALLATION OF ALL COMPONENTS SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY CODE, CHAPTER 219.
2. THE NEW SERVICE LINE SHALL BE 1" COPPER K.
3. AN EASEMENT FOR THE WATER SERVICE LINE THROUGH LOT 1 FOR THE BENEFIT OF LOT 2 SHALL BE FILED AS PART OF THE SUBDIVISION PORTION OF THE APPLICATION.

ROOF DRAINAGE NOTES:

1. FINAL DOWNSPOUT LOCATIONS TO BE DETERMINED BASED ON FINAL ARCHITECTURAL PLANS.
2. DOWNSPOUTS SHALL BE DIRECTED TO THE EXISTING STORMWATER CONVEYANCE SYSTEM.

INSPECTION SCHEDULE & LONG TERM MAINTENANCE OF STORMWATER STRUCTURES

CATCH BASINS AND PIPING:

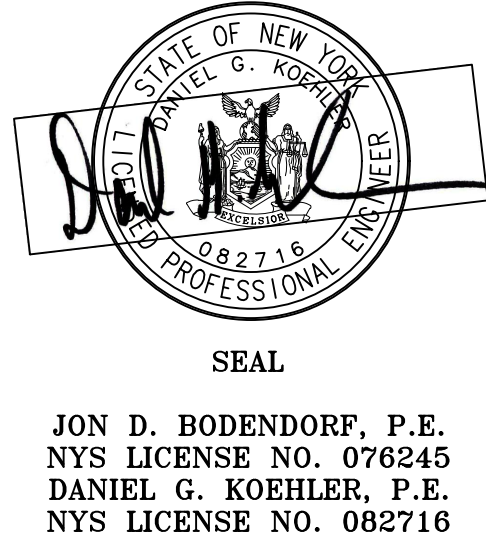
ALL CATCH BASINS SHALL BE INSPECTED AFTER EACH STORM EVENT FOR SEDIMENT ACCUMULATION, AND DEBRIS, AND REMOVE AS NECESSARY. WHEN SEDIMENT ACCUMULATION WITHIN THE CATCH BASIN SUMP REACHES 1/2 OF THE SUMP DEPTH, IT SHALL BE REMOVED. ASSOCIATED PIPING SHALL BE INSPECTED ANNUALLY AND ACCUMULATED SEDIMENT SHALL BE REMOVED AS NEEDED.

SIGHT DISTANCE NOTES:

THE EXISTING DRIVEWAY SIGHT DISTANCE MEETS OR EXCEEDS COMPLIANCE WITH THE CITY OF BEACON'S 192-9(B) CODE AND THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION REQUIREMENTS. THE STATE UTILIZES THE AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (AASHTO) GUIDELINES FOR INTERSECTION SIGHT DISTANCES. FOR ROADS WITH A SPEED LIMIT OF 30 MPH, AASHTO DESIGN TABLES CALL FOR A SIGHT DISTANCE OF 290 FEET TO THE LEFT AND 335 FEET TO THE RIGHT. THE MEASURED SIGHT DISTANCE IS AS FOLLOWS:

EXISTING DRIVEWAY: SLSD RIGHT = ±241' FEET
SLSD LEFT = CLEAR TO INTERSECTION WITH NORTH AVENUE

AS SLSD RIGHT IS SLIGHTLY DEFICIENT, STOPPING SIGHT DISTANCE (SSD) WAS MEASURED TO BE 278', WHICH EXCEEDS THE MINIMUM REQUIRED 200 FEET WHEN APPROACHING THE PROPOSED DRIVEWAY FROM THE WEST (EASTBOUND).



| REVISIONS: | | | |
|------------|-----------|-----------------------------|-----|
| NO. | DATE | DESCRIPTION | BY |
| 1 | 3/27/2018 | PER PLANNING BOARD COMMENTS | DGK |
| 2 | 4/24/2018 | PER PLANNING BOARD COMMENTS | DGK |
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Special Use Permit Application
Sheet 4 of 5 - Grading & Utility Plan

