

- SITE SPECIFIC NOTES:**
1. THE CONTRACTOR SHALL PERFORM A UTILITIES CALL-OUT PRIOR TO CONSTRUCTION TO VERIFY ALL UNDERGROUND UTILITY LOCATIONS BY CONTACTING UFPO @ 1-800-962-7962. SPECIFIC ATTENTION SHALL BE PAID TO THE LOCATIONS OF THE GAS (IF APPLICABLE), WATER AND SEWER MAINS WITH RESPECT TO THE PROPOSED LOCATIONS FOR THE SERVICE LINES.
 2. THE CONTRACTOR SHALL CONTACT THE CITY OF BEACON WATER AND SEWER DEPARTMENTS TO SCHEDULE A PRE-CONSTRUCTION MEETING TO ENSURE THAT THE ARRANGEMENTS FOR WATER SUPPLY AND SEWAGE DISPOSAL ARE COMMENCED IN ACCORDANCE WITH THE APPROVED PLANS AND AMENDMENTS THERETO AND GENERALLY ACCEPTED STANDARDS.
 3. THE PROPOSED LOT SHALL BE SERVED BY THE CITY OF BEACON MUNICIPAL WATER AND SEWER SERVICES.
 4. THE WATER SERVICE LINE AND METER SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF BEACON WATER DEPARTMENT REQUIREMENTS.
 5. THE WATER SERVICE LINE SHALL BE 1" K-COPPER.
 6. THE SEWER SERVICE LINE SHALL BE 4" SDR 35 PVC PIPE WITH PITCH AS SHOWN ON THE PLAN (MINIMUM OF 1/4" PER FOOT SHALL BE MAINTAINED).
 7. PROPOSED 4" LSE IS BASED UPON PROPOSED BASEMENT FLOOR ELEVATION. CONTRACTOR MUST CONFIRM SLOPE OF SEWER MAIN AND MAKE NECESSARY ADJUSTMENTS TO TIE-IN ELEVATION IF NECESSARY.
 8. A ROAD OPENING PERMIT SHALL BE REQUIRED FOR THE INSTALLATION OF THE PROPOSED WATER SERVICE FOR THE NEW LOT. STREET CLOSURE FOR WATER SERVICE CONNECTION SHALL BE PERFORMED IN ACCORDANCE WITH CITY OF BEACON REQUIREMENTS.
 9. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION. THE PROPOSED DRIVEWAY FOR THE NEW LOT SHALL HAVE A STABILIZED CONSTRUCTION ENTRANCE.
 10. ROOF LEADER CONNECTIONS TO BE MINIMUM 4" PVC OR HDPE @ 1.0% MIN.
 11. THE REQUIRED SIGHT DISTANCE SHALL MEET OR EXCEED THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION REQUIREMENTS. THE STATE UTILIZES THE AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (AASHTO) GUIDELINES FOR INTERSECTION SIGHT DISTANCES. FOR ROADS WITH A SPEED LIMIT OF 30 MPH, AASHTO DESIGN TABLES CALL FOR A SIGHT DISTANCE (SSD) OF 290 FEET TO THE LEFT AND 335 FEET TO THE RIGHT, AND 200 FEET IN BOTH DIRECTIONS FOR STOPPING SIGHT DISTANCE (SSD). THE MEASURED SSD AND SSD FOR EACH LOT IS AS FOLLOWS:
- LOT 1: SLSD LEFT = ±658 FEET (TO INTERSECTION WITH CHURCHILL STREET)
SLSD RIGHT = ±541 FEET (TO INTERSECTION WITH WOLCOTT AVENUE)
SSD LEFT = ±633 FEET (TO INTERSECTION WITH CHURCHILL STREET)
SSD RIGHT = ±516 FEET (TO INTERSECTION WITH WOLCOTT AVENUE)
- LOT 2: SLSD LEFT = ±601 FEET (TO INTERSECTION WITH CHURCHILL STREET)
SLSD RIGHT = ±578 FEET (TO INTERSECTION WITH WOLCOTT AVENUE)
SSD LEFT = ±576 FEET (TO INTERSECTION WITH CHURCHILL STREET)
SSD RIGHT = ±553 FEET (TO INTERSECTION WITH WOLCOTT AVENUE)

- SURVEYOR'S NOTES:**
1. TOTAL AREA = 28,000± SQUARE FEET.
 2. OWNER OF RECORD:
JOHN MILANO, JR.
29 LYDIA DRIVE
BEACON, NY 12508
 3. DEED REFERENCE: LIBER 1936, PAGE 653, DUTCHESS COUNTY CLERK DOCUMENT # 02-1993-7967.
 4. VERTICAL DATUM: NAVD 1929.

MAP REFERENCES:

1. EXISTING FEATURES AS SHOWN ON THIS PLAN PROVIDED BY A SURVEY ENTITLED "LANDS OF JOHN MILANO", BY GARY, R. LOTOUR PLS, LLC, DATED FEBRUARY 7, 2005.

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY THAT THE SURVEY SHOWN HEREON IS BASED ON ACTUAL FIELD MEASUREMENTS COMPLETED ON FEBRUARY 7, 2005.

GARY R. LOTOUR, P.L.S.

SEAL

OWNER'S CONSENT:

THE UNDERSIGNED OWNER OF THE PROPERTY HEREON STATES THAT HE IS FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

JOHN MILANO

DATE

LEGEND

- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- BUILDING SETBACK LINE
- EXISTING ADJOINER LINE
- EXISTING 100-YEAR FLOOD LINE
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING UTILITY POLE
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED SPOT ELEVATION
- PROPOSED SILT FENCE
- EXISTING SEWER MAIN
- PROPOSED SEWER SERVICE LINE
- EXISTING WATER MAIN
- PROPOSED WATER SERVICE LINE (1" K COPPER)
- PROPOSED WATER SHUT-OFF VALVE
- PROPOSED SEWER CLEAN OUT
- PROPOSED ROOF LEADER
- PROPOSED FOOTING DRAIN

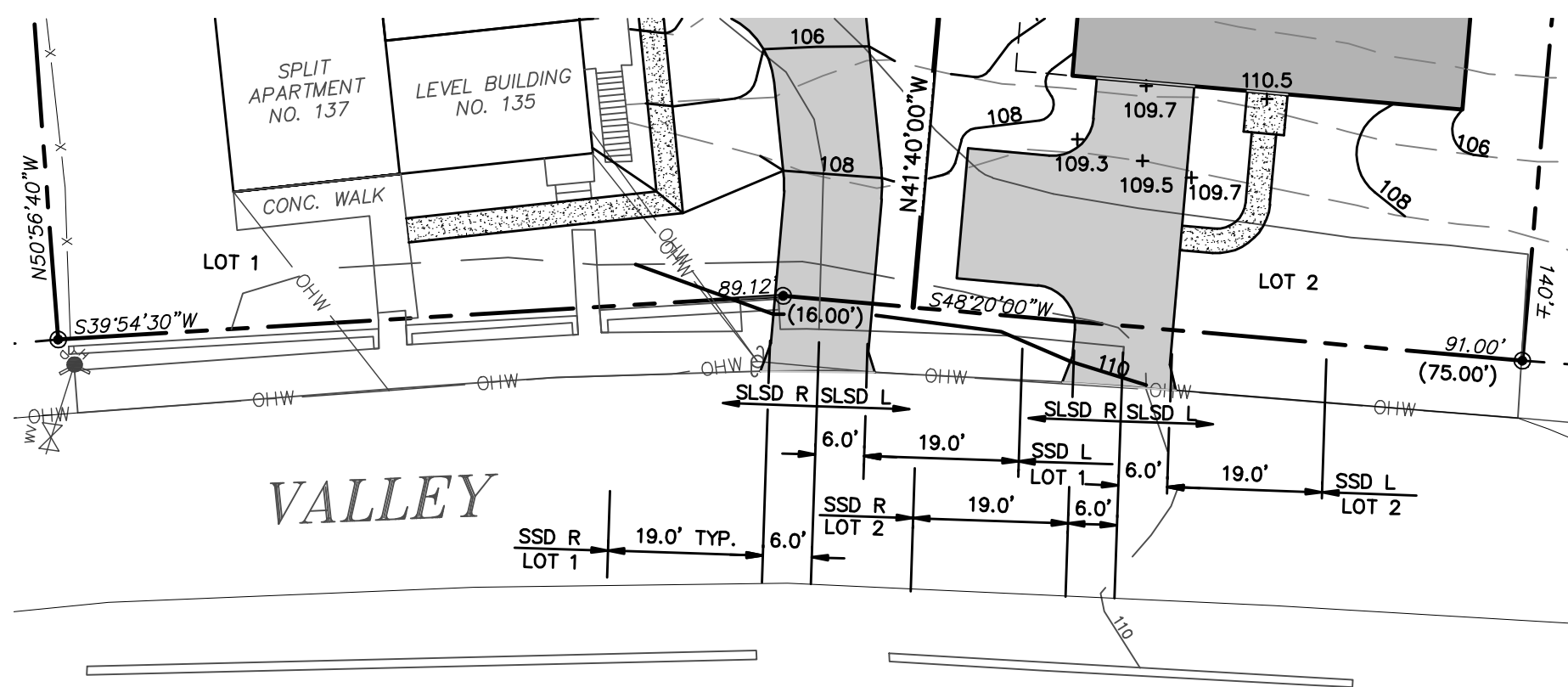
PROJECT INFORMATION:

PARCEL OWNER:	JOHN MILANO, 29 LYDIA DRIVE, BEACON, NY 12508
ENGINEER OF RECORD:	HUDSON LAND DESIGN P.C., 174 MAIN STREET, BEACON NY 12508
SURVEYOR OF RECORD:	GARY R. LOTOUR, L.S., 273 EAST MAIN STREET BEACON, NY 12508
PROJECT LOCATION:	135-137 SPRING VALLEY STREET, BEACON NY 12508
TAX PARCEL ID:	6054-37-070632
PARCEL AREA:	±0.65-ACRE TOTAL (28,000 SQFT)
ZONING DISTRICT:	R1-7.5 SINGLE-FAMILY RESIDENCE DISTRICT
TOTAL PROPOSED LOTS:	TWO (ONE EXISTING LOT)
POTABLE WATER SUPPLY:	CITY OF BEACON WATER
SEWAGE DISPOSAL:	CITY OF BEACON SEWER

SCHEDULE OF REGULATIONS (R1-7.5 ZONING DISTRICT) AND LOT CONFORMANCE TABLE:

PARAMETER	REQUIREMENT	LOT #1	LOT #2
LOT AREA:	7,500 SQUARE FEET MIN	17,753 S.F.	10,747± S.F.
LOT WIDTH:	75 FEET MINIMUM	107.6± FEET	75 FEET
LOT DEPTH:	100 FEET MINIMUM	147.6± FEET	143.3± FEET
YARD SETBACKS (RESIDENTIAL USE):			
FRONT YARD:	30 FEET MINIMUM	17± FEET	30.0 FEET
SIDE YARD:	10 FEET MINIMUM	21± FEET	10.0 FEET
SIDE YARD (TOTAL OF TWO):	20 FEET MINIMUM TOTAL	58± FEET	27.0 FEET
REAR YARD:	30 FEET MINIMUM	92.6± FEET	78.6 FEET
YARD SETBACKS (ACCESSORY STRUCTURE):			
SIDE YARD:	5 FEET MINIMUM	30.1 FEET	N/A
REAR YARD:	5 FEET MINIMUM	50.8 FEET	N/A
MAIN BUILDING HEIGHT:	MAX 35 FEET, 2.5 STORIES	<35 FEET	<35 FEET
MAIN BUILDING HEIGHT:	MIN 12 FEET, 1 STORY	>12 FEET	>12 FEET
ACCESSORY BLDG. HEIGHT:	MAX 15 FEET, 1 STORY	9 FEET	N/A

*PRE-EXISTING NON-CONFORMING



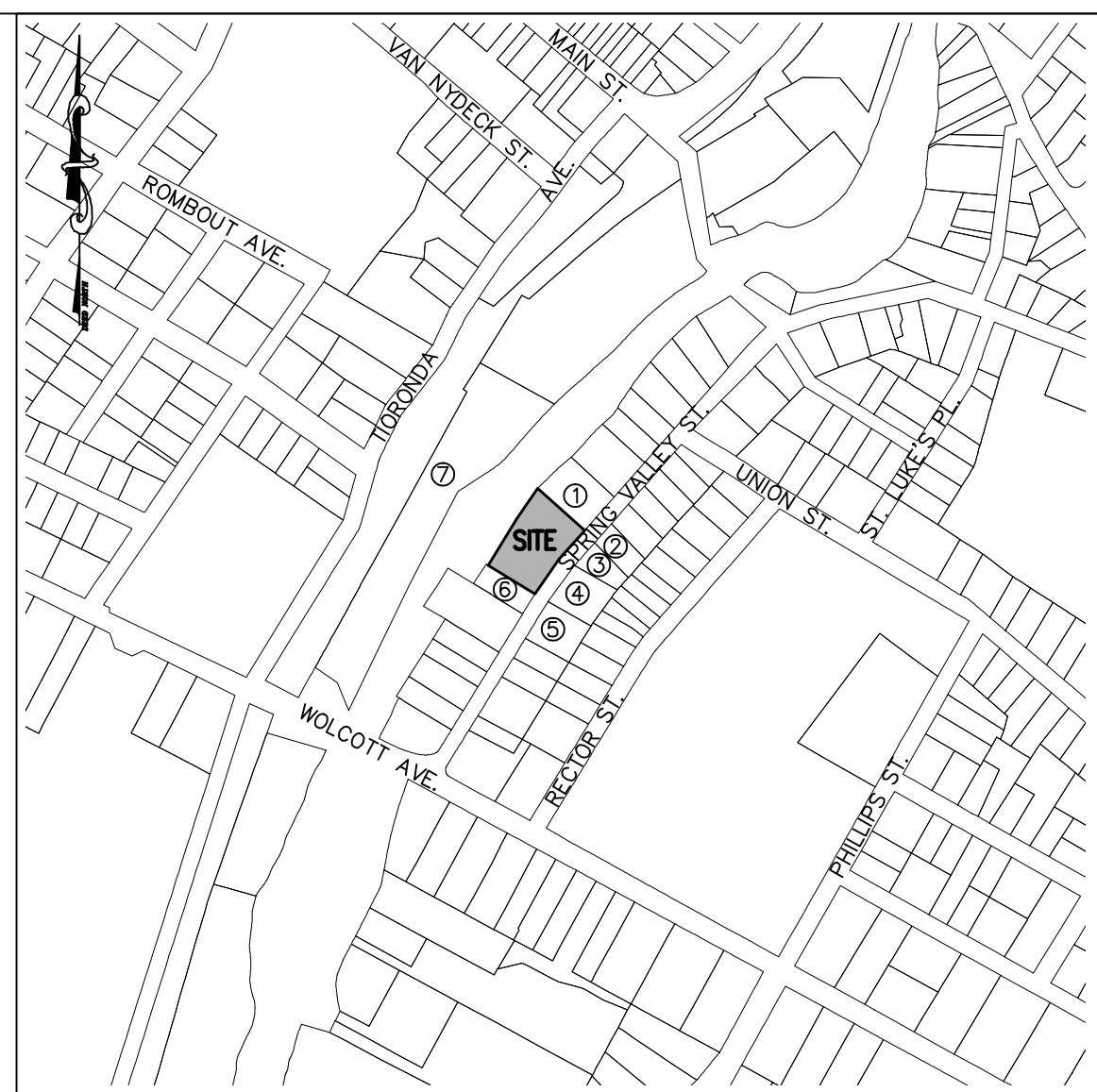
SIGHT DISTANCE DETAIL

SCALE: 1" = 20'

NOTE:

1. SEE SITE SPECIFIC NOTE 11 FOR SIGHT DISTANCE MEASUREMENTS.

NO.	DATE	DESCRIPTION	BY
1	4/26/16	PER CONSULTANT'S COMMENTS	MAB



SITE LOCATION MAP SCALE: 1" = 400'

ADJOINING OWNERS:

PARCEL	OWNER & MAILING ADDRESS
1:	ART & ANIK BUMS, 125 SPRING VALLEY ST., BEACON, NY 12508
2:	WENDY S. BROWN, 122 SPRING VALLEY ST., BEACON, NY 12508
3:	WILLIAM & DOREEN STEPHENS, 130 SPRING VALLEY ST., BEACON, NY 12508
4:	SILVIA DAVIS & GARY LOTOUR, 138 SPRING VALLEY ST., BEACON, NY 12508
5:	JANICE E. MACKEY, 144 SPRING VALLEY ST., BEACON, NY 12508
6:	ANNE M. BRUNELLI, 143 SPRING VALLEY ST., BEACON, NY 12508
7:	CITY OF BEACON, 1 MINICIPAL PL., BEACON, NY 12508

DCDOH STANDARD NOTE:

FOR PERMISSION TO FILE
THIS PLAN DOES NOT CONSTITUTE A REALTY SUBDIVISION AS DEFINED BY ARTICLE XI, TITLE II, SECTION 1115 OF THE PUBLIC HEALTH LAW OF THE STATE OF NEW YORK, AND ARTICLE XI OF THE DUTCHESS COUNTY SANITARY CODE. PERMISSION IS HEREBY GRANTED FOR THE FILING OF THIS MAP WITH THE CLERK OF DUTCHESS COUNTY. APPROVAL FOR ARRANGEMENTS FOR WATER SUPPLY AND/OR SEWAGE DISPOSAL IS NEITHER SOUGHT NOR GRANTED.

AUTHORIZED REPRESENTATIVE OF THE COMMISSIONER OF HEALTH _____ DATE _____

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE _____ DAY OF _____, 20____, SUBJECT TO ALL REQUIREMENTS AND

CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS _____ DAY OF _____, 20____, BY _____

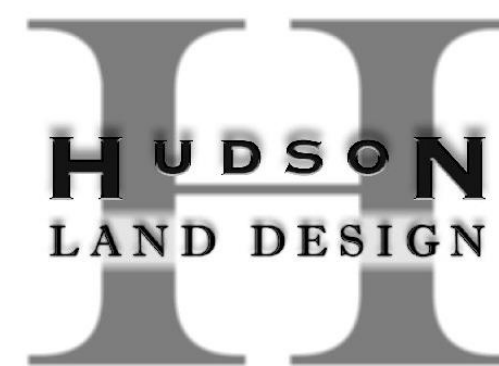
CHAIRMAN

SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

SUBDIVISION PLAT
MILANO SUBDIVISION

135-137 SPRING VALLEY STREET
CITY OF BEACON
DUTCHESS COUNTY, NEW YORK
TAX ID: 6054-37-070632
SCALE: 1" = 20'
MARCH 29, 2016



HUDSON LAND DESIGN
PROFESSIONAL ENGINEERING P.C.

174 MAIN STREET
BEACON, NEW YORK 12508
PH: 845-440-6926 F: 845-440-6637



SEAL

JON D. BODENDORF, P.E.
NYS LICENSE NO. 078245
DANIEL G. KOHLER, P.E.
NYS LICENSE NO. 082716

SHEET: 1 OF 2