

**SURVEY NOTES:**

1. THE PARCEL SHOWN HEREON ARE GENERALLY AS DESCRIBED IN LIBER 1884 PAGE 688 RECORDED IN THE DUTCHESS COUNTY CLERK'S OFFICE.
2. SUBJECT TO ANY EASEMENTS AND/OR RIGHTS OF WAY THAT AN ACCURATE UP TO DATE ABSTRACT OF TITLE MAY SHOW.
3. SURVEYED AS PER RECORD DEED, EXISTING MONUMENTATION, RECORDED AND UNRECORDED MAPS.
4. NEW YORK STATE DEPARTMENT OF TRANSPORTATION ONLY APPROPRIATED THAT LAND SHOWN AND DELINEATED ON MAP NO. 6, PARCEL 8, MAP NO. 6, PARCEL 56 IS A PERMANENT EASEMENT ENCUMBERING THE PROPERTY SHOWN HEREON AND WAS NOT ACQUIRED IN FEE. THIS MAP IS ON FILE AT THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION REGIONAL OFFICE NO. 8 LOCATED IN POUGHKEEPSIE, NEW YORK.

**MAP REFERENCE:**

1. "SURVEY AS PREPARED FOR NORMINGTON J. SCHOFIELD" DATED MARCH 4, 2001 AS PREPARED BY DENNIS E. WALDEN, LAND SURVEYOR, N.Y.S. LICENSE NO. 49555.

**TOTAL PARCEL AREA:**

±32,394 S.F. OR ± 0.74 ACRE

**TAX MAP REFERENCE:**

CITY OF BEACON 5955-19-716048

**VERTICAL DATUM:**

ASSUMED

**FLOOD BOUNDARY:**

1. SUBJECT PARCEL IS LOCATED IN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANGE FLOODPLAIN) PER PANEL 36027C0463E DATED MAY 2, 2012.

**WETLAND NOTE:**

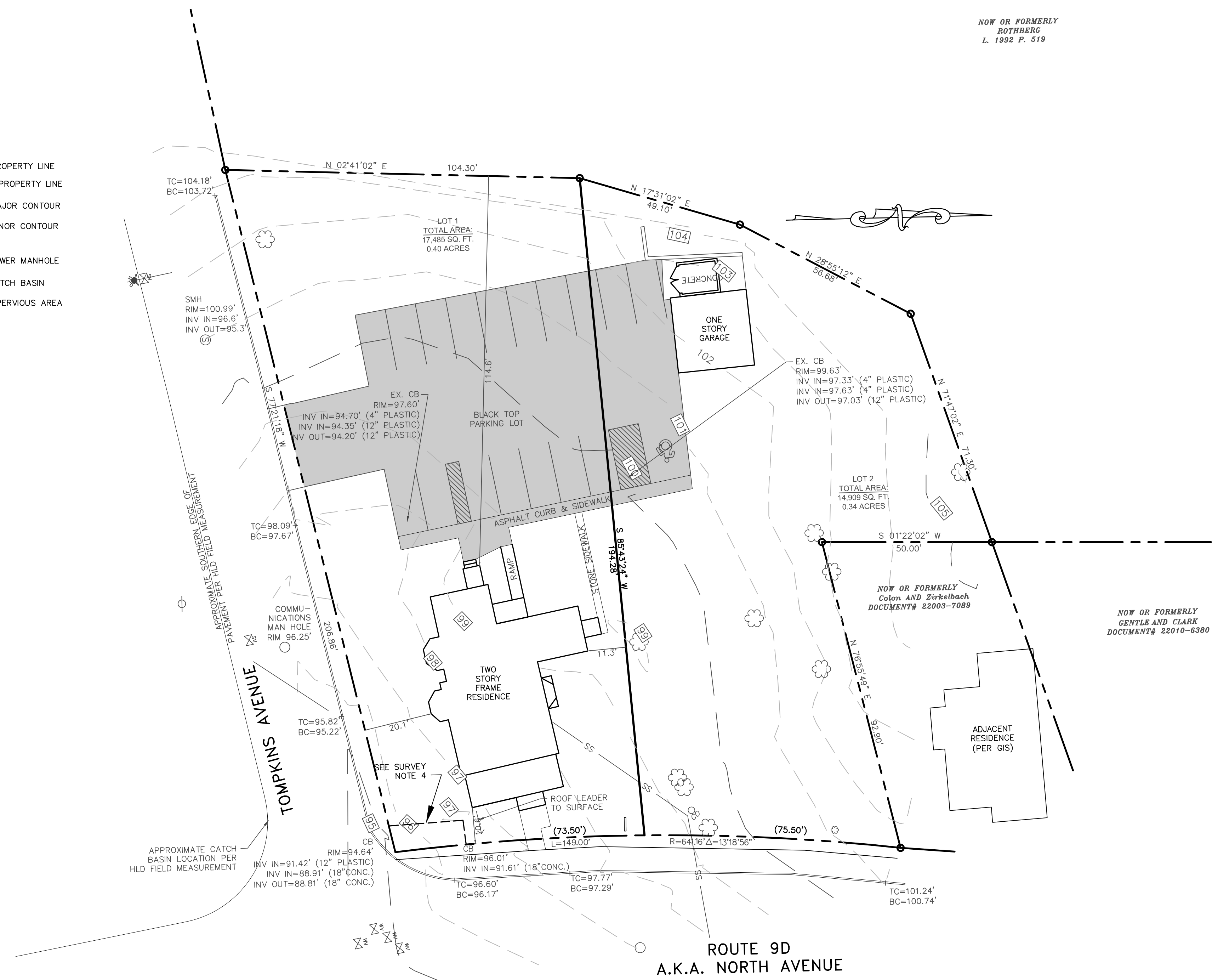
1. NO NYSDEC OR FEDERAL WETLANDS WERE FOUND ONSITE.

**PROPOSED EASEMENT NOTE:**

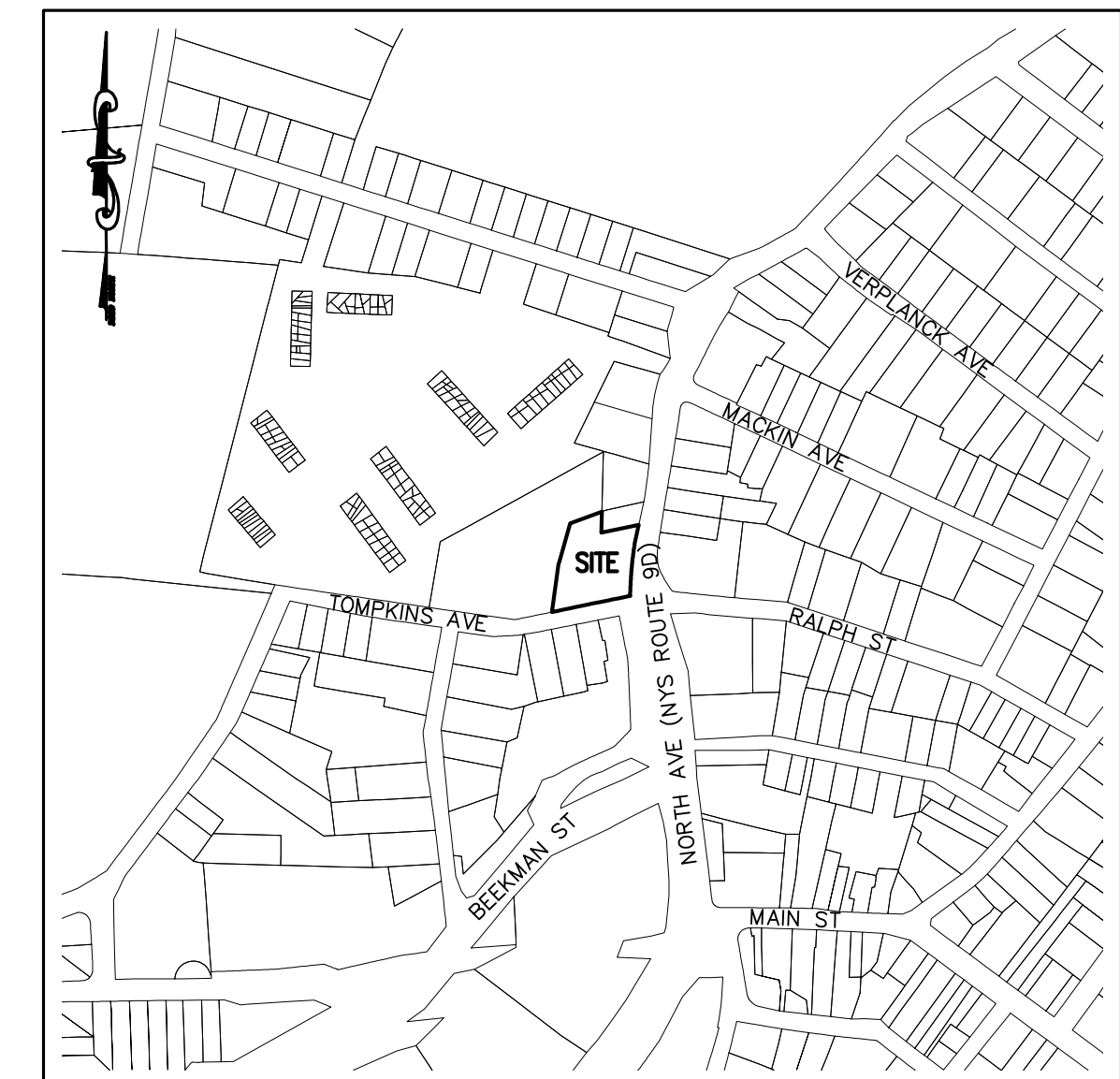
1. AN EASEMENT FOR THE BENEFIT OF LOT 2 THROUGH LOT 1 FOR THE PURPOSES OF PROVIDING ACCESS, PARKING AND WATER SERVICE WILL BE REQUIRED. THE EASEMENT WILL BE FINALIZED AS THE PLANNING PROCESS ADVANCES TO A POINT WHERE THE SERVICE LINE HAS BEEN GENERALLY ACCEPTED.

**LEGEND**

- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- 30 --- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- ⊙ EXISTING SEWER MANHOLE
- ⊕ EXISTING CATCH BASIN
- █ EXISTING IMPERVIOUS AREA



NOW OR FORMERLY  
ROTHBERG  
L. 1892 P. 519

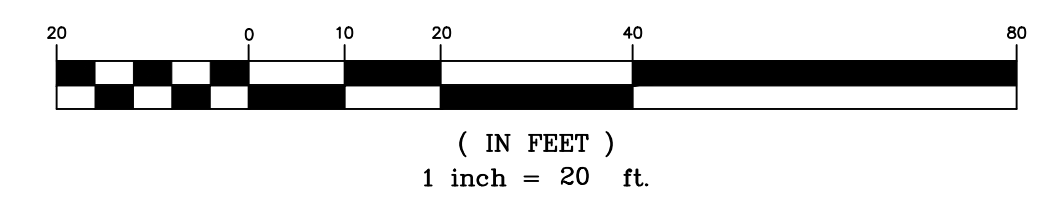


**SITE LOCATION MAP SCALE: 1" = 400'**

**PRELIMINARY SUBDIVISION PLAT**

SCALE: 1" = 20'

GRAPHIC SCALE



**SCHEDULE OF REGULATIONS (R1-7.5 ZONING DISTRICT) AND LOT CONFORMANCE TABLE:**

PARAMETER	REQUIREMENT	LOT #1	LOT #2
LOT AREA:	7,500 SQUARE FEET MIN	17,485 S.F.	14,909 S.F.
LOT WIDTH:	75 FEET MINIMUM	86 FEET	62 FEET <sup>(1)</sup>
LOT DEPTH:	100 FEET MINIMUM	197 FEET	181 FEET
<b>YARD SETBACKS:</b>			
FRONT YARD:	30 FEET MINIMUM	10.6 FEET <sup>(2)</sup>	21.7 FEET <sup>(2)</sup>
SIDE YARD <sup>(3)</sup> :	10 FEET MINIMUM	11.3 FEET	13.9 FEET
SIDE YARD (TOTAL OF TWO):	20 FEET MINIMUM TOTAL	31.4 FEET	28.3 FEET
REAR YARD:	30 FEET MINIMUM	114.0 FEET	87.5 FEET
<b>YARD SETBACKS (ACCESSORY STRUCTURE):</b>			
SIDE YARD:	5 FEET MINIMUM	N/A	16.0 FEET
REAR YARD:	5 FEET MINIMUM	N/A	47.3 FEET
MAIN BUILDING HEIGHT:	MAX 35 FEET, 2.5 STORIES	<35 FEET	<35 FEET
ACCESSORY BLDG. HEIGHT:	MAX 15 FEET, 1 STORY	N/A	<15 FEET
BUILDING COVERAGE:	MAX 30%	11.6%	13.1%

1. THE LOT WIDTH WAS MEASURED AT THE REAR OF THE PROPOSED STRUCTURE. PER SECTION 223-12(4), THE APPLICANT IS SEEKING AN AVERAGE DENSITY SUBDIVISION IN ORDER TO MAXIMIZE SEPARATION TO THE NATIONALLY REGISTERED HISTORIC PLACE TO THE WEST AND TO PROVIDE A CONSISTENT STREETSCAPE ALONG ROUTE 9D (NORTH AVENUE). APPLICABLE TO LOT 2, THE BULK DIMENSIONS MAY BE REDUCED TO THE NEXT LESS RESTRICTIVE ZONING DISTRICT, R1-5. THE ONLY DIFFERENCE DIMENSION THAT CHANGES IS THE MINIMUM LOT WIDTH TO 50 FEET FROM 75 FEET. THEREFORE, NO VARIANCE IS SOUGHT AS THE LOT IS COMPLIANT WITH THE LOT WIDTH IN THE R1-5 ZONE.
2. PRE-EXISTING, NON CONFORMING LOT 1. THE APPLICANT REQUESTS RELIEF FROM THE PLANNING BOARD FOR THE FRONT YARD REQUIREMENT ON LOT 2 (TO PROVIDE A CONSISTENT FRONT YARD SETBACK TO BUILDINGS ALONG NORTH AVENUE).
3. PER SECTION 223-13(c). ON A CORNER LOT IN ANY RESIDENCE DISTRICT, THERE SHALL BE PROVIDED A SIDE YARD ON THE SIDE STREET EQUAL IN DEPTH TO THE REQUIRED FRONT YARD ON SAID LOT. THIS REQUIREMENT APPLIES TO LOT 1.

**OWNER'S CONSENT:**

THE UNDERSIGNED OWNER OF THE PROPERTY HEREON STATES THAT HE IS FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

NORM SCHOFIELD \_\_\_\_\_ DATE \_\_\_\_\_

I HEREBY CERTIFY THAT THE SURVEY SHOWN HEREON IS BASED ON AN ACTUAL FIELD SURVEY COMPLETED ON DECEMBER 24, 2017.

By: John J. Post, Jr., L.L.S. N.Y. State Lic. no. 50643

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION; ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ BY \_\_\_\_\_

\_\_\_\_\_ CHAIRMAN

\_\_\_\_\_ SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

REVISIONS:			
NO.	DATE	DESCRIPTION	BY
1	3/27/2018	PER PLANNING BOARD COMMENTS	DGK

**Subdivision Application**  
Sheet 1 of 1 - Preliminary Subdivision Plat

Owner:  
**North Avenue Properties, LLC**  
1181 North Avenue  
Beacon, New York 12508

Architect:  
**Aryeh Siegel, Architect**  
514 Main Street  
Beacon, New York 12508

Site / Civil Engineer:  
**Hudson Land Design**  
174 Main Street  
Beacon, New York 12508

Surveyor:  
**John J. Post, Jr.**  
PO Box 827  
Stone Ridge, New York 12484

Landscape Designer:  
**Landscape Restorations**  
P.O. Box 286  
Beacon, New York 12508

**Office Building - 1181 North Avenue**  
Beacon, New York  
Scale: As Noted  
February 27, 2018