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April 5, 2018

Mr. John Gunn, Chairman
Beacon Planning Board
City of Beacon City Hall
1 Municipal Plaza
Beacon, NY 12508

RE: St. Luke's & Hudson Hills Academy
850 Wolcott Avenue
City of Beacon
Tax Map No. 6054-45-120587

Dear Mr. Gunn:

The applicant is proposing to subdivide 9.88± acre parcel with an existing church and school building into two lots, so that the school building will be located on its own parcel. Our office has reviewed the applications, Full EAF, and the following plans entitled "850 Wolcott Avenue – St. Luke's Episcopal Church & Hudson Hills Academy, submitted for the project as prepared by Aryeh Siegel, Architect, and TEC Land Surveying:

- Sheet 1 of 1, entitled "Subdivision Plat prepared for Saint Luke's Episcopal Church", dated February 12, 2018, as prepared by TEC Land Surveying.
- Sheet 1 of 4, entitled "Site Plan", dated March 27, 2018.
- Sheet 2 of 4, entitled "Existing Conditions Survey", dated March 27, 2018.
- Sheet 3 of 4, entitled "Landscaping Plan", dated March 27, 2018.
- Sheet 4 of 4, entitled "Plans, Elevations, Images" dated March 27, 2018.

Based upon our review of the above referenced submittals, we offer the following comments:

General Comments:

1. The applicant's consultant should conduct an Inflow & Infiltration study of the existing site and building, and provide certification to the City of Beacon that the site currently has no illegal cross-connections between the existing site and the City's sanitary sewer system. Possible cross-connections that should be looked at would be roof-leaders, sump pumps, existing site drains, etc. If any cross-connections are found, a report should be submitted as to the findings, the volume of I&I being introduced into the sanitary sewer collection system, and the proposed remediation for the cross-connection(s) found. The plans should also clearly show the proposed remediation as outlined in the report. A note should also be added to the plans granting the City of Beacon Building Department access to verify where the existing roof leaders and sump pump(s), if present, drain to.

2. The applications note the size of the overall parcel to be 9.08 acres in size, whereas the subdivision plat is noting the overall parcel to be 9.88 acres in size. The applications should be revised to reflect the actual parcel size per the actual survey.
3. Based upon the submitted plans, it appears that there will be shared parking and access across the two parcels. Easements and maintenance agreements for the access and parking should be developed and submitted to the Planning Board Attorney for review.

Subdivision Plat:

1. All proposed easements (parking, access, utilities, etc.), along with their respective metes & bounds, shall be provided on the plat.
2. The plat should show the location of the existing utilities (water, sewer, etc.) that service each of the buildings.

Site Plan (Sheet 1 of 4):

1. Plan shall include the sight distances to the left and right for each access from the parcel onto the adjacent streets.
2. The location of existing utilities (water, sewer, etc.) servicing each of the buildings should be shown on the plan.
3. Traffic signs should be provided on the plan to show the direction of traffic on the drives, so as to avoid conflicts between vehicles on the narrow drives. Construction details for any signs shall be provided on the plans.
4. The location of handicap parking stalls should be shown on the plan, along with the appropriate signage.
5. A sidewalk should be provided from the Rector Street entrance to the school entrance, so that school children have a safe route away from vehicles entering and exiting the site.
6. Proposed and/or existing lighting for the parking area and entrances to the school should be shown on the plans.
7. The location of any additional site signage proposed for the school should be shown on the plan.

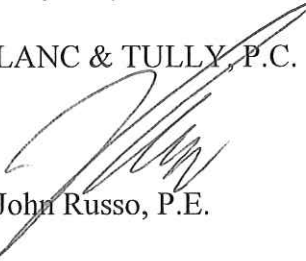
Landscaping Plan (Sheet 3 of 4):

1. Construction details for the planting of the proposed trees and shrubs should be provided on the plan.

This completes our review at this time. Further comments may be forthcoming based upon future submissions. A written response letter addressing each of the above comments should be provided with the next submission. If you have any questions, or require any additional information, please do not hesitate to contact our office.

Very truly,

LANC & TULLY, P.C.

A handwritten signature in black ink, appearing to read "John Russo", is written over the printed name.

John Russo, P.E.

Cc: John Clarke, Planner
Jennifer Gray, Esq.
Tim Dexter, Building Inspector