

TRELLIS
PAINTED METAL RAILING

DOUBLE GLAZED
INSULATED WINDOWS

42" HIGH TEMPERED
GLASS RAILING IN
FRONT OF DOUBLE
FRENCH DOORS

METAL CANOPY AT
ENTRANCE

TRELLIS WITH PLANTING

CONCRETE FOUNDATION
WALLS

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Building Elevation: Building #3, 6

1" = 1'-0"



Building Elevation: Building #3, 6

1" = 1'-0"



Building Elevation: Building #4

1" = 1'-0"



Building Elevation: Building #4

1" = 1'-0"

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE _____ DAY OF _____, 20____, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION; ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS _____ DAY OF _____, 20____, BY _____

CHAIRMAN

SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

REVISIONS:		
NO.	DATE	DESCRIPTION
1	02/28/17	PROGRESS SUBMISSION
2	03/28/17	REVISE PER PLANNING BOARD COMMENTS
3	04/25/17	REVISE PER PLANNING BOARD COMMENTS
4	05/30/17	NO CHANGE
5	07/25/17	NO CHANGE
6	08/29/17	NO CHANGE
7	09/28/17	NO CHANGE
8	10/31/17	NO CHANGE
9	11/28/17	NO CHANGE

STANDING SEAM
GALVANIZED METAL
ROOF

DOUBLE GLAZED
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42" HIGH TEMPERED
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CONCRETE FOUNDATION
WALLS



Building Elevation: Typical Gable Roof Building # 1, 2, 5, 7

1" = 1'-0"

STANDING SEAM
GALVANIZED METAL
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CONCRETE FOUNDATION
WALLS



Building Elevation: Typical Gable Roof Building # 1, 2, 5, 7

1" = 1'-0"

STANDING SEAM
GALVANIZED METAL
ROOF

DOUBLE GLAZED
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FRENCH DOORS

CONCRETE FOUNDATION
WALLS



Building Elevation: Typical Gable Roof Building Over Podium # 1, 2, 5, 7

STANDING SEAM
GALVANIZED METAL
ROOF

DOUBLE GLAZED
INSULATED WINDOWS

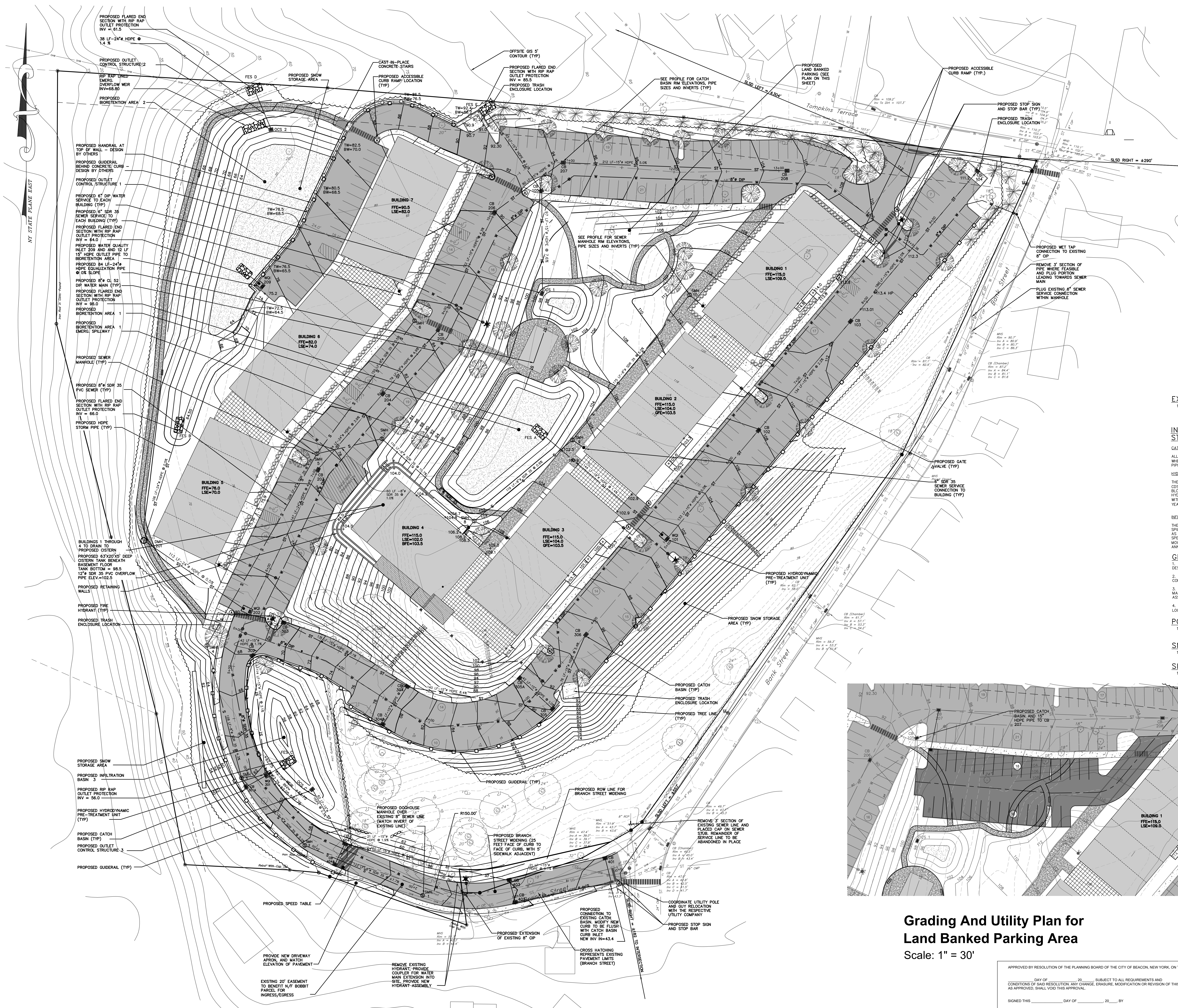
42" HIGH TEMPERED
GLASS RAILING IN
FRONT OF DOUBLE
FRENCH DOORS

CONCRETE FOUNDATION
WALLS



Building Elevation: Typical Gable Roof Building Over Podium #1, 2, 5, 7

1" = 1'-0"



LEGEND:

- EXISTING ROOF LEADER
- LOCATION
- SEWER MANHOLE
- UNKNOWN MANHOLE
- GUY WIRE ANCHOR
- UTILITY POLE
- ELECTRIC BOX
- HYDRANT
- WATER VALVE
- ROUND DROP INLET
- ELECTRIC METER
- UTILITY POLE WITH LIGHT
- COMMUNICATION BOX
- OVERHEAD WIRES
- FENCE
- DROP INLET
- GAS METER
- LAMP
- UNKNOWN VALVE
- EXISTING WATER EDGE
- EXISTING EASEMENT LINE
- PROPOSED CATCH BASIN WITH INLET PROTECTION
- PROPOSED CLEANOUT
- PROPOSED HYDRANT
- PROPOSED WATER VALVE
- PROPOSED SANITARY MANHOLE
- PROPOSED RETAINING WALL
- PROPOSED CULVERT
- PROPOSED UNDERDRAIN
- PROPOSED ROOF LEADER PIPE
- PROPOSED MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED SPOT ELEVATION
- EXISTING CATCH BASIN
- EXISTING UTILITY POLE
- PROPOSED CLEANOUT
- PROPOSED SEWER SERVICE LINE
- PROPOSED WATER SUPPLY LINE
- PROPOSED FENCE
- IMPERVIOUS SURFACE
- PROPOSED R/R RAP
- UTILITY CROSSING LOCATION
- PROPOSED ROOF LEADER LOCATION
- PROPOSED WATER SERVICE LINE
- PROPOSED WATER SHUT-OFF VALVE

EXISTING UNDERGROUND UTILITY NOTES:

- CONTRACTOR SHALL DIG TEST PITS TO VERIFY LOCATION, SIZE AND PIPE MATERIAL OF EXISTING UNDERGROUND UTILITIES. IF ANY EXISTING UTILITIES ARE NOT IN THE LOCATION WHERE THEY ARE SHOWN ON THE PLAN, IT SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION IMMEDIATELY.

INSPECTION SCHEDULE & LONG TERM MAINTENANCE OF STORMWATER STRUCTURES

CATCH BASINS AND PIPING:

ALL CATCH BASINS SHALL BE INSPECTED AFTER EACH STORM EVENT FOR SEDIMENT ACCUMULATION, AND DEBRIS, AND REMOVE AS NECESSARY. WHEN SEDIMENT ACCUMULATION WITHIN THE CATCH BASIN REACHES 1/2 OF THE SLUMP DEPTH, IT SHALL BE REMOVED. ASSOCIATED PIPING SHALL BE INSPECTED ANNUALLY AND ACCUMULATED SEDIMENT SHALL BE REMOVED AS NEEDED.

HYDRODYNAMIC DEVICES:

THE VORTEX UNITS SHALL BE INSPECTED QUARTERLY DURING THE FIRST YEAR OF OPERATION. THE MANUFACTURER RECOMMENDS THAT THE CDS UNITS BE INSPECTED BI-ANNUALLY (ONCE IN THE SPRING AND ONCE IN THE FALL). THE STRUCTURE SHALL BE VISUALLY INSPECTED FOR BLOCKAGES OR OBSTRUCTIONS IN THE INLET OR SEPARATION SCREEN. THE INSPECTION SHOULD ALSO QUANTIFY ACCUMULATION OF HYDROCARBONS, SEDIMENT AND TRASH WITHIN THE SYSTEM. INSPECTIONS AND MAINTENANCE SHALL BE PERFORMED BY QUALIFIED PERSONNEL WITH ADEQUATE TRAINING IN THESE TYPES OF UNITS. THE UNITS SHALL BE CLEANED BY VACUUM TRUCK ONCE A YEAR (EXCEPT FOR THE FIRST YEAR WHERE MORE FREQUENT CLEANINGS MAY BE REQUIRED).

INFILTRATION BASIN:

THE INFILTRATION BASIN SHALL BE INSPECTED MONTHLY FOR SEDIMENT AND DEBRIS ACCUMULATION. INFLOW PIPES, OUTLET STRUCTURES AND SPILLWAYS SHOULD ALSO BE INSPECTED FOR SEDIMENT AND DEBRIS MONTHLY. ANY ACCUMULATED SEDIMENT OR DEBRIS SHOULD BE REMOVED AS NECESSARY. PLANTINGS SHALL BE INSPECTED MONTHLY FOR HEIGHT, FERTILIZER, QUANTITY AND UNAUTHORIZED INVASIVE OR INAPPROPRIATE SPECIES. AFTER STORM EVENTS THE INFILTRATION BASIN DEWATERING DURATION SHOULD ALSO BE MONITORED. THE BASIN FLOOR SHALL BE MOWED AS REQUIRED; HOWEVER, THE GRASS HEIGHT SHALL NOT EXCEED 18". SEDIMENT SHALL BE CLEANED OUT OF THE INFILTRATION BASIN ANNUALLY.

GENERAL CONSTRUCTION NOTES:

- ALL OTHER UTILITIES (TELEPHONE, ELECTRIC, GAS, CABLE, ETC.) SHALL BE INCORPORATED PRIOR TO CONSTRUCTION. ALL SUCH UTILITY DESIGNS SHALL BE DEVELOPED IN COOPERATION WITH THE RESPECTIVE UTILITY COMPANIES.
- THE CONTRACTOR SHALL PERFORM A UTILITIES CALL-OUT PRIOR TO CONSTRUCTION TO VERIFY ALL UNDERGROUND UTILITY LOCATIONS BY CONTACTING UPPO @ 1-800-962-7862.
- THE CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS AND INVERTS OF ALL CATCH BASINS & STORM SEWER LINES, SANITARY MANHOLES & SEWER LINES, WATERLINES AND OTHER UNDERGROUND UTILITY LINES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOT ASSUME THAT ALL LOCATIONS AS SHOWN ON THE PLAN ARE CORRECT. INVESTIGATIVE TEST PITS MAY BE REQUIRED TO VERIFY LOCATIONS.
- PIPE CONNECTIONS TO ALL CATCH BASINS SHALL BE MADE WATER-TIGHT, WITH PARTICULAR ATTENTION BEING PAID TO CONNECTIONS LOCATED WITHIN 10 FEET OF SEWER MAINS (AND SERVICE LATERALS).

POST CONSTRUCTION NOTES:

- UPON COMPLETION OF CONSTRUCTION OF THE STORMWATER FACILITIES, AS-BUILT DRAWINGS OF ALL STORMWATER PRACTICES AND AN OPERATION AND MAINTENANCE PLAN MANUAL SHALL BE PROVIDED TO THE CITY OF BEACON.

SNOW STORAGE NOTES:

- THE SITE OWNER WILL UTILIZE A LOADER TO MOVE SNOW TO THE AREAS DESIGNATED FOR SNOW STORAGE.

SITE CLEARING NOTES:

- SITE SHALL OCCUR BETWEEN OCTOBER 1ST THROUGH MARCH 31ST IN ACCORDANCE WITH NYSDEC REGULATIONS.



Grading And Utility Plan for Land Banked Parking Area

Scale: 1" = 30'

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SIGNED THIS _____ DAY OF _____, 20____, BY _____

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Grading And Utility Plan

Sheet 10 of 15

Edgewater

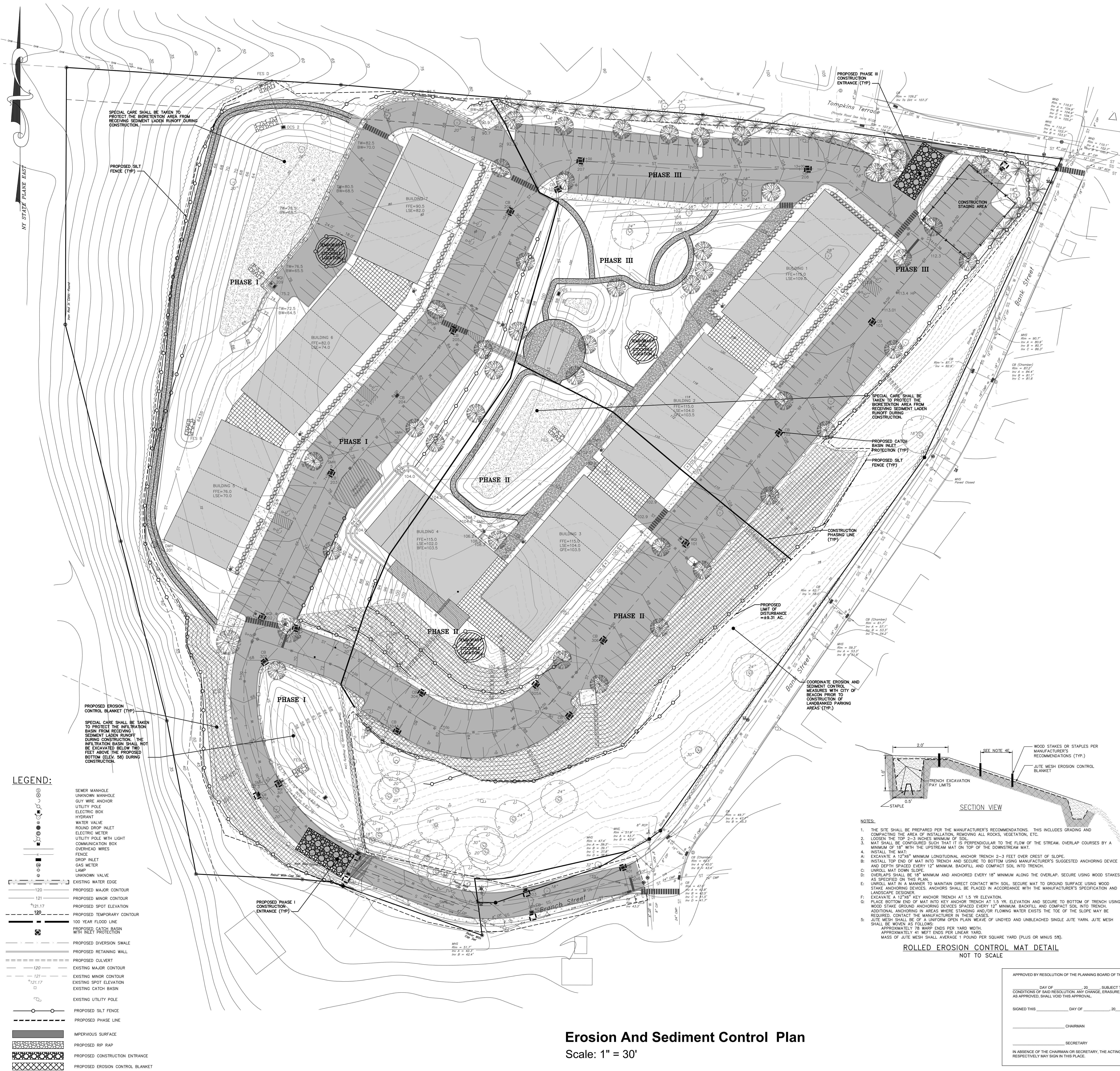
Beacon, New York
Scale: 1" = 30'
January 31, 2017

Owner:
Scenic Beacon Developments, LLC
25 East Main Street
Beacon, NY 12508

Architect:
Aryeh Siegel, Architect
514 Main Street
Beacon, New York 12508

Site / Civil Engineer:
Hudson Land Design
174 Main Street
Beacon, New York 12508

Surveyor:
TEC Land Surveying, P.C.
15C Tioronda Avenue
Beacon, New York 12508



INSPECTION SCHEDULE & MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES

- PERMANENT AND TEMPORARY VEGETATION:**
- INSPECT ALL AREAS THAT HAVE RECEIVED VEGETATION EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT WITH RAINFALL THAT EQUALS OR EXCEEDS 0.5 INCH. ALL AREAS DAMAGED BY EROSION OR WHERE SEED HAS NOT ESTABLISHED SHALL BE REPAIRED AND REESTABLISHED IMMEDIATELY.
- STABILIZED CONSTRUCTION ENTRANCE:**
- INSPECT THE ENTRANCE PAD EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT WITH RAINFALL THAT EQUALS OR EXCEEDS 0.5 INCH. CHECK FOR MUD, SEDIMENT BUILD-UP AND PAD INTEGRITY. MAKE DAILY INSPECTIONS DURING WET WEATHER. REGRADE PAD AS NEEDED FOR EROSION. THE STONE IN THE ENTRANCE SHOULD BE WASHED OR REPLACED IMMEDIATELY. THE ENTRANCE FAILS TO REDUCE MUD BEING CARRIED OFF SITE BY VEHICLES IMMEDIATELY REMOVE MUD AND SEDIMENT TRACKED ON WASHED ON-DRAINAGE ROADS BY BRUSHING OR SWEEPING. REMOVE TEMPORARY CONSTRUCTION ENTRANCE AS SOON AS THEY ARE NO LONGER NEEDED TO PROVIDE ACCESS TO THE SITE AS DIRECTED BY PROJECT ENGINEER.
- SOIL STOCKPILE:**
- INSPECT FOR DAMAGE EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT WITH RAINFALL THAT EQUALS OR EXCEEDS 0.5 INCH. MAKE ALL REPAIRS IMMEDIATELY. REMOVE SEDIMENT FROM THE UP-SLOPE FACE OF THE FENCE BEFORE IT ACCUMULATES TO A HEIGHT EQUAL TO ONE-QUARTER THE HEIGHT OF THE FENCE. IF FENCE FABRIC TEARS, BEGINS TO DECOMPOSE, OR IN ANY WAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED SECTION OF FENCE IMMEDIATELY.
- SOIL STOCKPILE:**
- INSPECT SEDIMENT CONTROL BARRIERS (SILT FENCE) AND VEGETATION FOR DAMAGE EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT WITH RAINFALL THAT EQUALS OR EXCEEDS 0.5 INCH. MAKE ALL REPAIRS IMMEDIATELY. REMOVE SEDIMENT FROM THE UP-SLOPE FACE OF THE SEDIMENT CONTROL BARRIER BEFORE IT ACCUMULATES TO A HEIGHT EQUAL TO ONE-QUARTER THE HEIGHT OF THE SEDIMENT CONTROL BARRIER. IF SEDIMENT CONTROL BARRIER TEARS BEGINS TO DECOMPOSE, OR IN ANY WAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED SECTION OF SEDIMENT CONTROL BARRIER IMMEDIATELY. REVEGETATE DISTURBED AREA TO STABILIZE SOIL STOCKPILE. REMOVE THE SEDIMENT CONTROL BARRIER WHEN THE SOIL STOCKPILE HAS BEEN REMOVED.
- QUIET CONTROL:**
- SCHEDULE CONSTRUCTION OPERATIONS TO MINIMIZE THE AMOUNT OF DISTURBED AREAS AT ANY ONE TIME DURING THE COURSE OF WORKS. APPLY TEMPORARY SOIL STABILIZATION PRACTICES SUCH AS MULCHING, SEEDING, AND SPRAYING (WATER), STRUCTURAL MEASURES (MULCH, SEEDING) SHALL BE INSTALLED IN DISTURBED AREAS BEFORE SIGNIFICANT BLOWING PROBLEMS DEVELOP. WATER SHALL BE SPRAYED AS NEEDED. REPEAT AS NEEDED, BUT AVOID EXCESSIVE SPRAYING, WHICH COULD CREATE RUNOFF AND EROSION PROBLEMS.
- CHECK DAM:**
- INSPECT CHECK DAMS EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT WITH RAINFALL THAT EQUALS OR EXCEEDS 0.5 INCH. IF SIGNIFICANT EROSION OCCURS BETWEEN STRUCTURES, A LINE OF STONE OR OTHER SUITABLE MATERIAL SHOULD BE INSTALLED WITH PORTION OF THE DAM REMOVED IMMEDIATELY ACCUMULATED BEHIND THE DAM AS NEEDED TO ALLOW CHANNEL TO DRAIN THROUGH THE STONE CHECK DAM AND PREVENT LARGE FLOW FROM CARRYING SEDIMENT OVER THE DAM. REPLACE STONES AS NEEDED TO MAINTAIN THE DESIGN CROSS SECTION OF THE STRUCTURES. REMOVE CHECK DAMS AS PER APPROVAL OF THE PROJECT ENGINEER.
- EROSION CONTROL BLANKET:**
- INSPECT THE BLANKET EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT WITH RAINFALL THAT EQUALS OR EXCEEDS 0.5 INCH. REPLACE WIRE STAPLES AS REQUIRED. REPAIR AND RESEED WHERE CRACKS AND DAMAGED VEGETATION IS EVIDENT. WHEN DAMAGED BEYOND REPAIR OR NO LONGER FUNCTIONING, THE BLANKET SHALL BE REPLACED.
- DEWATERING PIT:**
- (IF REQUIRED) - INSPECT DAILY DURING OPERATION FOR CLOGGING OR OVERFLOW. CLEAR INLET AND DISCHARGE PIPES OF OBSTRUCTIONS. IF A FILTER MATERIAL BECOMES CLOGGED WITH SEDIMENT, PIT SHALL BE DEMOLISHED AND NEW PITS SHALL BE CONSTRUCTED.
- SEDIMENT TRAP:**
- SEDIMENT SHALL BE REMOVED AND THE TRAP RESTORED TO THE ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO ONE-HALF OF THE DESIGN DEPTH OF THE TRAP. SEDIMENT REMOVED FROM THE TRAP SHALL BE DEPOSITED IN A PROTECTED AREA IN SUCH A MANNER THAT IT WILL NOT ERODE.
- CATCH BASINS:**
- ALL CATCH BASINS SHALL BE INSPECTED AFTER EACH STORM EVENT FOR SEDIMENT ACCUMULATION, AND DEBRIS, AND REMOVE AS NECESSARY. THE INLET PROTECTION SHALL BE INSPECTED FOR SEDIMENT ACCUMULATION AND REPLACED AS NECESSARY. WHEN SEDIMENT ACCUMULATION WITHIN THE CATCH BASIN SWAMP REACHES 1/2 OF THE SWAMP DEPTH, IT SHALL BE REMOVED.

EROSION AND SEDIMENT CONTROL NOTES

- ALL EROSION CONTROL MEASURES EMPLOYED DURING THE CONSTRUCTION PROCESS SHALL BE INSPECTED BY THE CONTRACTOR IN ACCORDANCE WITH THE MAINTENANCE SCHEDULE PROVIDED ON THIS SHEET. ALL EROSION CONTROL STRUCTURES SHALL BE REPAIRED AND MAINTAINED AS NECESSARY BY THE CONTRACTOR.
- ALL STORMWATER MANAGEMENT STRUCTURES (E.G., SWALES, CULVERTS) SHALL BE REGULARLY INSPECTED FOR SEDIMENT ACCUMULATIONS. SEDIMENT AND TRASH SHALL BE REMOVED, AS NECESSARY.
- ALL EROSION CONTROL INSTALLATION AND MAINTENANCE MEASURES SHALL MEET THE REQUIREMENTS OF THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
- ANY PILE OF POTENTIALLY ERODIBLE MATERIAL TEMPORARILY STOCKPILED ON THE SITE DURING THE CONSTRUCTION PROCESS SHALL BE LOCATED IN AN AREA AWAY FROM STORM DRAINAGE AND SHALL BE PROPERLY PROTECTED FROM EROSION BY A SURROUNDING SILT FENCE.
- PERMANENT SEEDED AREAS FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH DETAIL AND SPECIFICATIONS ON THE DETAIL SHEET.
- AREAS UNDERGOING CLEARING OR GRADING AND WHERE WORK IS DELAYED OR COMPLETED AND WILL NOT BE REDISTURBED FOR A PERIOD OF 21 DAYS OR MORE SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT VEGETATIVE COVER WITHIN 14 DAYS.
- ON-SITE DUST CONTROL SHALL BE ACCOMPLISHED BY STANDARD METHODS OF LIGHTLY WATERING ALL EXPOSED SOIL AND RAPIDLY STABILIZING THE REGRADED AREAS WITH TOPSOIL, LOAM AND/OR SEEDING. OTHER METHODS OF DUST CONTROL MAY BE IN THE FORM OF MINIMIZING SOIL DISTURBANCE, APPLICATION OF WIND BREAKS, AND HYDROSEEDING.
- THE CONSTRUCTION ENTRANCE IS AN ESSENTIAL ELEMENT FOR SEDIMENT CONTROL. ALL CONSTRUCTION VEHICLES LEAVING THE SITE SHALL UTILIZE THE CONSTRUCTION ENTRANCE. BACKFILL PAD TO MINIMIZE SEDIMENT TRAIL OFFSITE. ADDITIONAL MEASURES MAY BE REQUIRED AS REQUIRED. ADDITIONAL MEASURES MAY BE REQUIRED AS REQUIRED. ADDITIONAL MEASURES MAY BE REQUIRED AS REQUIRED.
- THE PROJECT ENGINEER SHALL BE NOTIFIED NO LESS THAN 48 HOURS PRIOR TO THE START OF ANY SITE WORK, AND BY SUCH NOTIFICATION, SHALL BE PROVIDED WITH THE NAME AND TELEPHONE NUMBER OF THE GENERAL CONTRACTOR RESPONSIBLE FOR SUCH WORK.
- THE CITY MAY INSPECT EROSION AND SEDIMENT CONTROL PRACTICES ON THE SITE DURING CONSTRUCTION AND RECOMMEND THAT THE CONTRACTOR INSTALL ADDITIONAL EROSION CONTROL MEASURES IF DEEMED NECESSARY TO PROTECT ANY UNDERLYING AREAS OF THE SITE. ANY SUCH REQUESTS SHALL BE MADE DIRECTLY TO THE CONTRACTOR AND QUALIFIED PROFESSIONAL AND FOLLOWED UP WITH A WRITTEN NOTIFICATION TO THE DEVELOPER. IN ADDITION, THE CITY SHALL BE CONSULTED ON ANY SPECIAL ADDITIONS OR DELETIONS OF EROSION CONTROL MEASURES WARRANTED BY CHANGING FIELD CONDITIONS. THE NOTICE OF INTENT (NOI) MAY NEED TO BE UPDATED AS A RESULT OF THE CHANGES.
- THE CONTRACTOR/OWNER SHALL MAINTAIN A RECORD OF ALL EROSION AND SEDIMENT CONTROL INSPECTION REPORTS AT THE SITE IN A LOG BOOK. THE SITE LOG BOOK SHALL BE MAINTAINED ON SITE AND BE MADE AVAILABLE TO THE PERMITTING AUTHORITY. THE OWNER/CONTRACTOR SHALL, ON A MONTHLY BASIS, POST AT THE SITE A SUMMARY OF THE SITE INSPECTION ACTIVITIES IN A PUBLICLY ACCESSIBLE LOCATION.
- THE OWNER SHALL FILE A NO WITH THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYDEC) PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES AND A NOTICE OF TERMINATION (NOT) WITH THE NYDEC FOLLOWING CONSTRUCTION ACTIVITIES.
- IF GROUNDWATER IS ENCOUNTERED DURING CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL CONSTRUCT A DEWATERING PIT IN ACCORDANCE WITH NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL (AKA SLUMP PIT) TO FILTER WATER FOR PUMPING TO A SUITABLE LOCATION.
- WHEN ALL DISTURBED AREAS ARE STABLE, ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED PER THE APPROVAL OF THE CITY AND QUALIFIED PROFESSIONAL.
- UPON COMPLETION OF CONSTRUCTION, THE PARCEL OWNER(S) SHALL BE RESPONSIBLE FOR THE INSPECTION AND MAINTENANCE OF THE STORMWATER MANAGEMENT SYSTEM. THE STORMWATER MANAGEMENT SYSTEM SHALL BE INSPECTED QUARTERLY AND AFTER EACH SIGNIFICANT RAINFALL EVENT. THE OWNER(S) SHALL MAINTAIN A RECORD OF INSPECTION AND MAINTENANCE REPORTS AT THE SITE. REFER TO THE SWPPP FOR INSPECTION REQUIREMENTS AND FUTURE MAINTENANCE.

CONSTRUCTION SEQUENCING NOTES:

- PHASE I: AREA=4.30 AC.**
- SCHEDULE A PRE-CONSTRUCTION MEETING WHICH SHALL INCLUDE THE CITY ENGINEER, OWNER OR OWNER'S REPRESENTATIVE, PROJECT ENGINEER, CONTRACTOR AND SUBCONTRACTORS (IF NECESSARY) WHO ARE TO PERFORM THE CONSTRUCTION.
 - ESTABLISH THE LIMIT OF DISTURBANCE FOR PROPOSED CLEARING AND GRADING ASSOCIATED WITH THE PROPOSED INTERNAL TRAVEL-WAYS, PARKING AREAS AND STORMWATER MANAGEMENT AREAS WITHIN PHASE I.
 - INSTALL PERIMETER SILT FENCE AS DEPICTED ON THIS PLAN.
 - INSTALL PHASE I STABILIZED CONSTRUCTION ENTRANCE AS DEPICTED ON THE PLAN.
 - PRIOR TO FURTHER CONSTRUCTION ACTIVITIES, CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER TO CONDUCT A PRE-CONSTRUCTION SITE ASSESSMENT TO VERIFY THAT THE APPROPRIATE EROSION AND SEDIMENT CONTROLS SHOWN ON THIS PLAN HAVE BEEN ADEQUATELY INSTALLED ENSURING OVERALL PREPAREDNESS OF THIS SITE FOR THE COMMENCEMENT OF CONSTRUCTION.
 - CLEAR LOCATIONS FOR INSTALLATIONS OF PROPOSED EROSION AND SEDIMENT CONTROL MEASURES.
 - INSTALL SILT FENCE AS SHOWN ON THIS PLAN AND IN OTHER AREAS THAT BECOME APPARENT FOLLOWING CLEARING ACTIVITIES. DESIGNATE CONSTRUCTION STAGING AREA.
 - BEGIN SITE DEMOLITION WITHIN PHASE I AREA AS SHOWN ON THE DEMOLITION PLAN.
 - BEGIN MASS GRADING WITHIN PHASE I AREA, ESTABLISH SUB-GRADE AS SITE CONDITIONS WARRANT. CONSTRUCT INFILTRATION BASIN 2 TO 2 FEET ABOVE FINISHED GRADE.
 - CONSTRUCT IMPROVEMENTS ALONG BRANCH STREET (TO BINDER COURSE).
 - BEGIN MASS GRADING WITHIN PHASE I AREA, ESTABLISH SUB-GRADE AS SITE CONDITIONS WARRANT. CONSTRUCT INFILTRATION BASIN 2 & 3 TO 2 FEET ABOVE FINISHED GRADE.
 - INSTALL SITE UTILITIES WITHIN PHASE I AND STUB IN SUBSEQUENT PHASES.
 - SEED AND MULCH LANDSCAPED AREAS THAT WILL NOT BE DISTURBED DURING OTHER PHASES.
 - PAVE BRANCH STREET AND INSTALL SIDEWALK TO PROPOSED CROSSWALK.
 - PRIOR TO FURTHER CONSTRUCTION ACTIVITIES, CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER TO CONDUCT A PRE-CONSTRUCTION SITE ASSESSMENT TO VERIFY THAT THE APPROPRIATE EROSION AND SEDIMENT CONTROLS SHOWN ON THIS PLAN HAVE BEEN ADEQUATELY INSTALLED ENSURING OVERALL PREPAREDNESS OF THIS SITE FOR THE COMMENCEMENT OF CONSTRUCTION.
- PHASE II: AREA=2.80 AC.**
- PHASE II (DISTURBED AREA) SHALL NOT BE MORE THAN 2.8 ACRES PRIOR TO COMMENCEMENT PHASE II.
 - ESTABLISH THE LIMIT OF DISTURBANCE FOR PROPOSED CLEARING AND GRADING ASSOCIATED WITH THE PROPOSED INTERNAL TRAVEL-WAYS, PARKING AREAS AND STORMWATER MANAGEMENT AREAS WITHIN PHASE II.
 - CONSTRUCT PHASE II STABILIZED CONSTRUCTION ENTRANCE AS DEPICTED ON THE PLAN.
 - CLEAR LOCATIONS FOR INSTALLATIONS OF PROPOSED EROSION AND SEDIMENT CONTROL MEASURES.
 - INSTALL SILT FENCE AS SHOWN ON THIS PLAN AND IN OTHER AREAS THAT BECOME APPARENT FOLLOWING CLEARING ACTIVITIES. DESIGNATE CONSTRUCTION STAGING AREA.
 - BEGIN SITE DEMOLITION WITHIN PHASE II AREA AS SHOWN ON THE DEMOLITION PLAN.
 - BEGIN MASS GRADING WITHIN PHASE II AREA, ESTABLISH SUB-GRADE AS SITE CONDITIONS WARRANT. CONSTRUCT INFILTRATION BASIN 2 TO 2 FEET ABOVE FINISHED GRADE.
 - CONSTRUCT BUILDINGS.
 - FINAL GRADE ALL LANDSCAPED AREAS AND RESTORE SOIL IN ALL DISTURBED AREAS THAT WILL REMAIN LANDSCAPED.
 - FINAL GRADE VEGETATED AREAS WITHIN PHASE II. IMPLEMENT SOIL RESTORATION TECHNIQUES IN LANDSCAPED AREAS AS OUTLINED WITHIN THE NOTES ON THIS PLAN.
 - FINAL PAVE ACCESS ROAD AND PARKING AREAS.
 - WHEN LANDSCAPED AREAS HAVE REACHED 80% VEGETATIVE COVER, FINAL GRADE INFILTRATION BASINS.
 - REMOVE PHASE I EROSION AND SEDIMENT CONTROLS WHEN CONTRIBUTING DRAINAGE AREAS HAVE BECOME STABILIZED.
- GENERAL NOTE: EROSION CONTROL MEASURES SHALL BE INSPECTED AND REPAIRED AS NEEDED DURING CONSTRUCTION ACTIVITIES AND BASED ON THE MAINTENANCE SCHEDULE. ADDITIONAL EROSION CONTROL MEASURES BASED ON SITE CONDITIONS SHALL BE PROVIDED AS NECESSARY IN ORDER TO PROTECT ADJACENT PARCELS AND WATERS.

ROLLED EROSION CONTROL MAT DETAIL
NOT TO SCALE

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE _____ DAY OF _____, 20____, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE (ERRATUM, MODIFICATION OR REVISION) OF THIS PLAN, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS _____ DAY OF _____, 20____, BY _____

CHAIRMAN

SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.



REVISIONS:			
NO.	DATE	DESCRIPTION	BY
1	2/28/17	PER PLANNING BOARD COMMENTS	OMB
2	3/28/17	PER PLANNING BOARD COMMENTS	MAB
3	4/24/17	NO CHANGE THIS SHEET	MAB
4	5/30/17	PER PLANNING BOARD COMMENTS	MAB
5	7/25/17	NO CHANGE THIS SHEET	MAB
6	8/29/17	PER PLANNING BOARD COMMENTS	MAB
7	9/26/17	PER PLANNING BOARD COMMENTS	MAB
8	10/31/17	NO CHANGE	MAB
9	11/28/17	NO CHANGE	MAB
10	01/30/18	PER PLANNING BOARD COMMENTS	MAB

Erosion And Sediment Control Plan

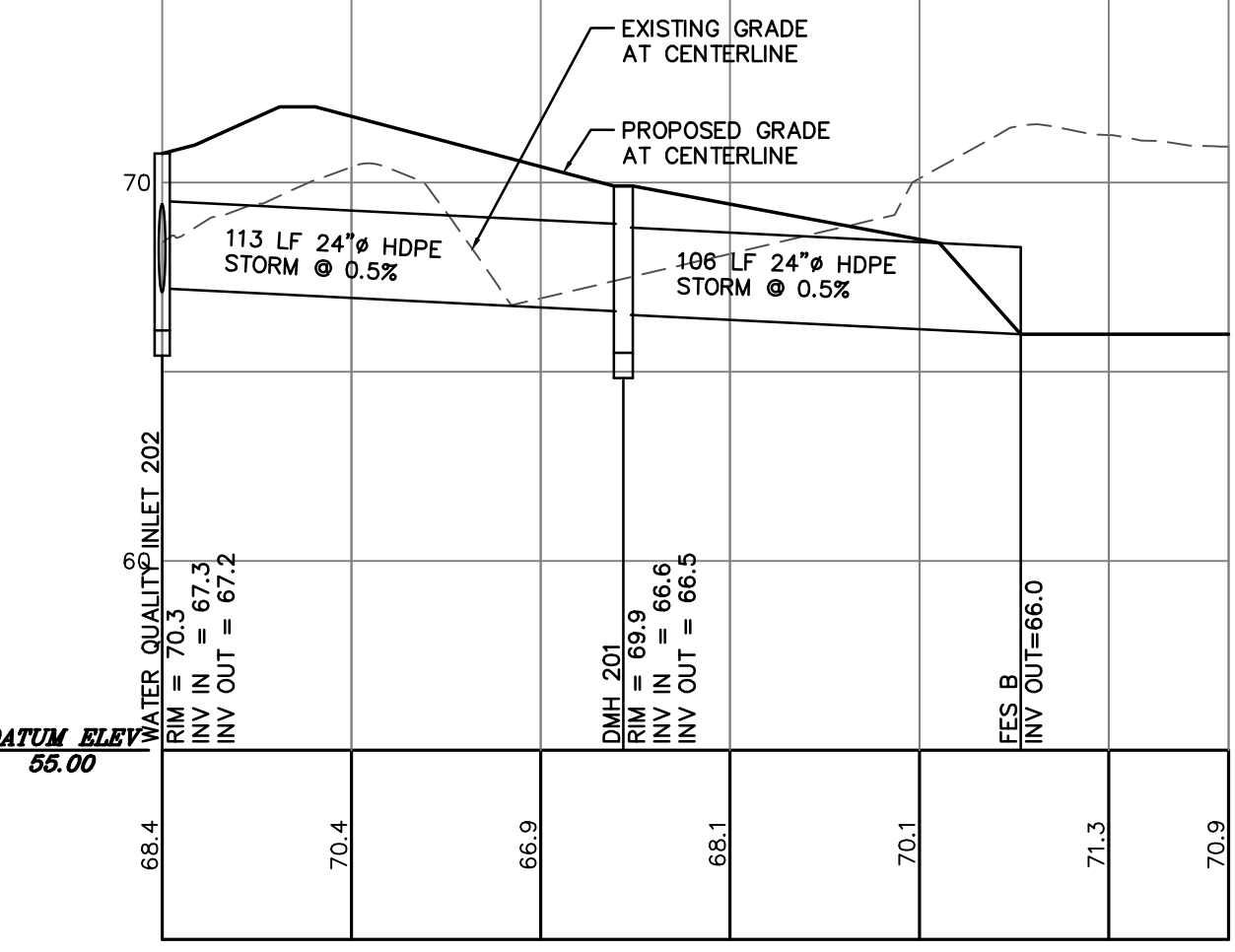
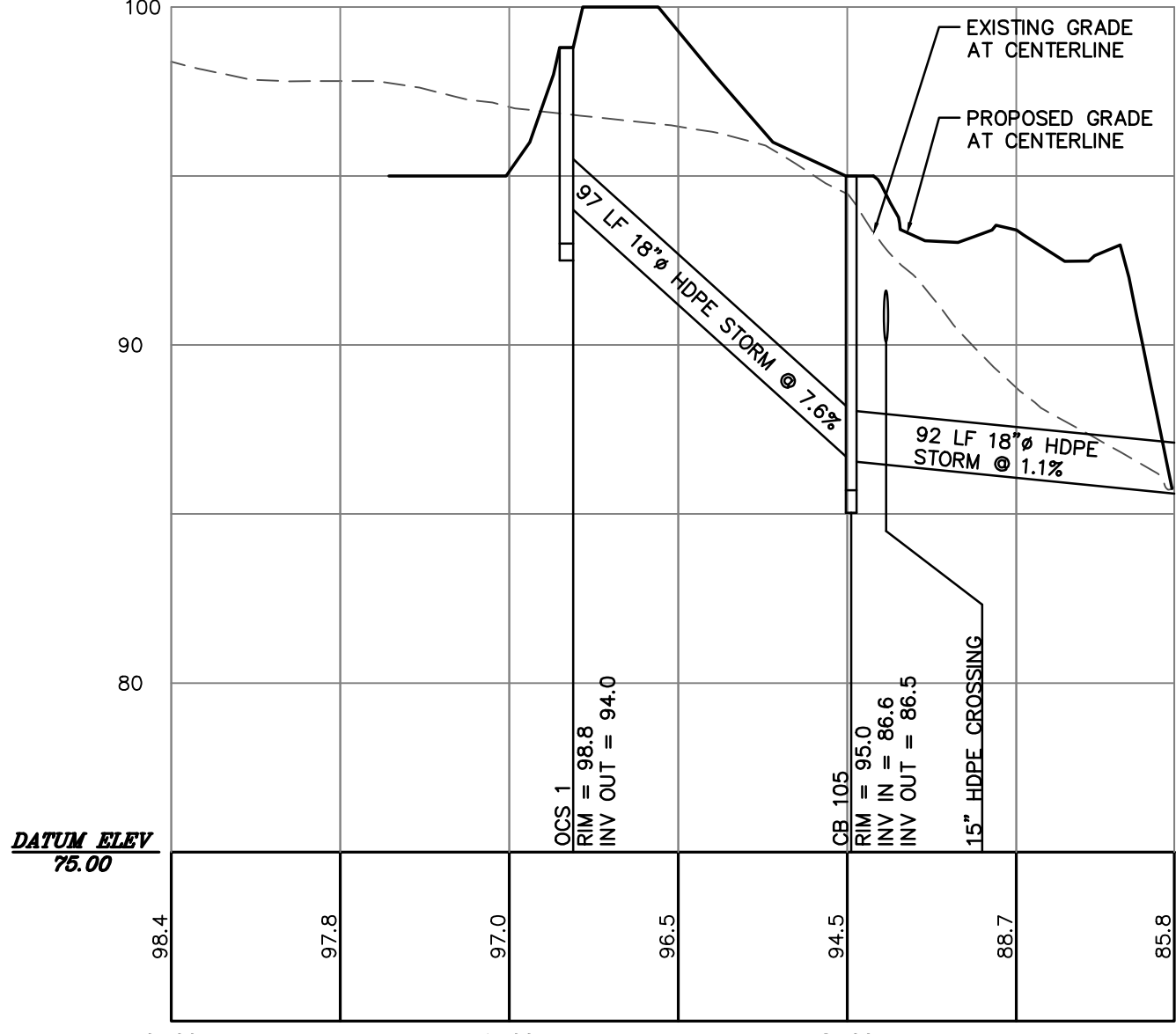
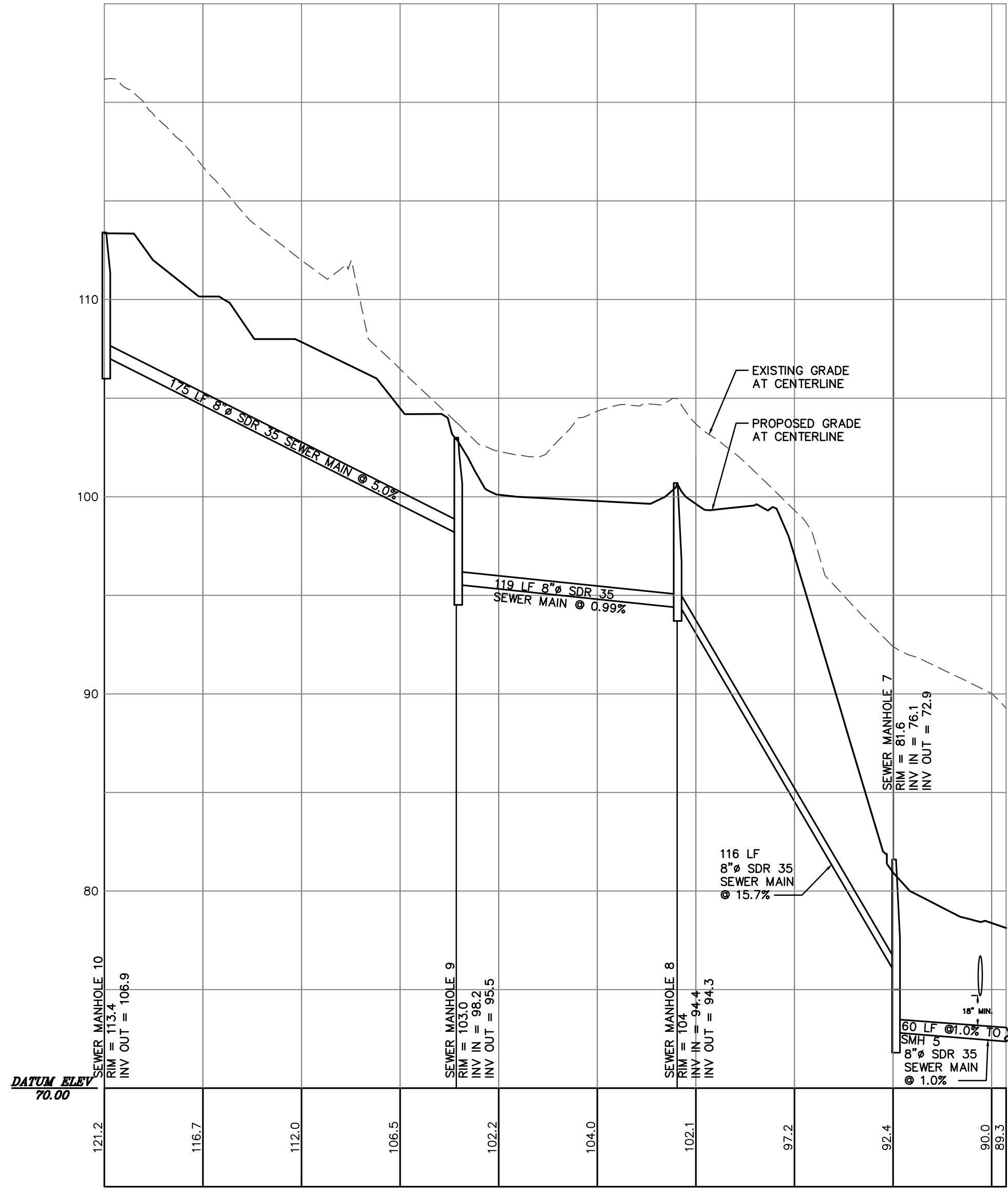
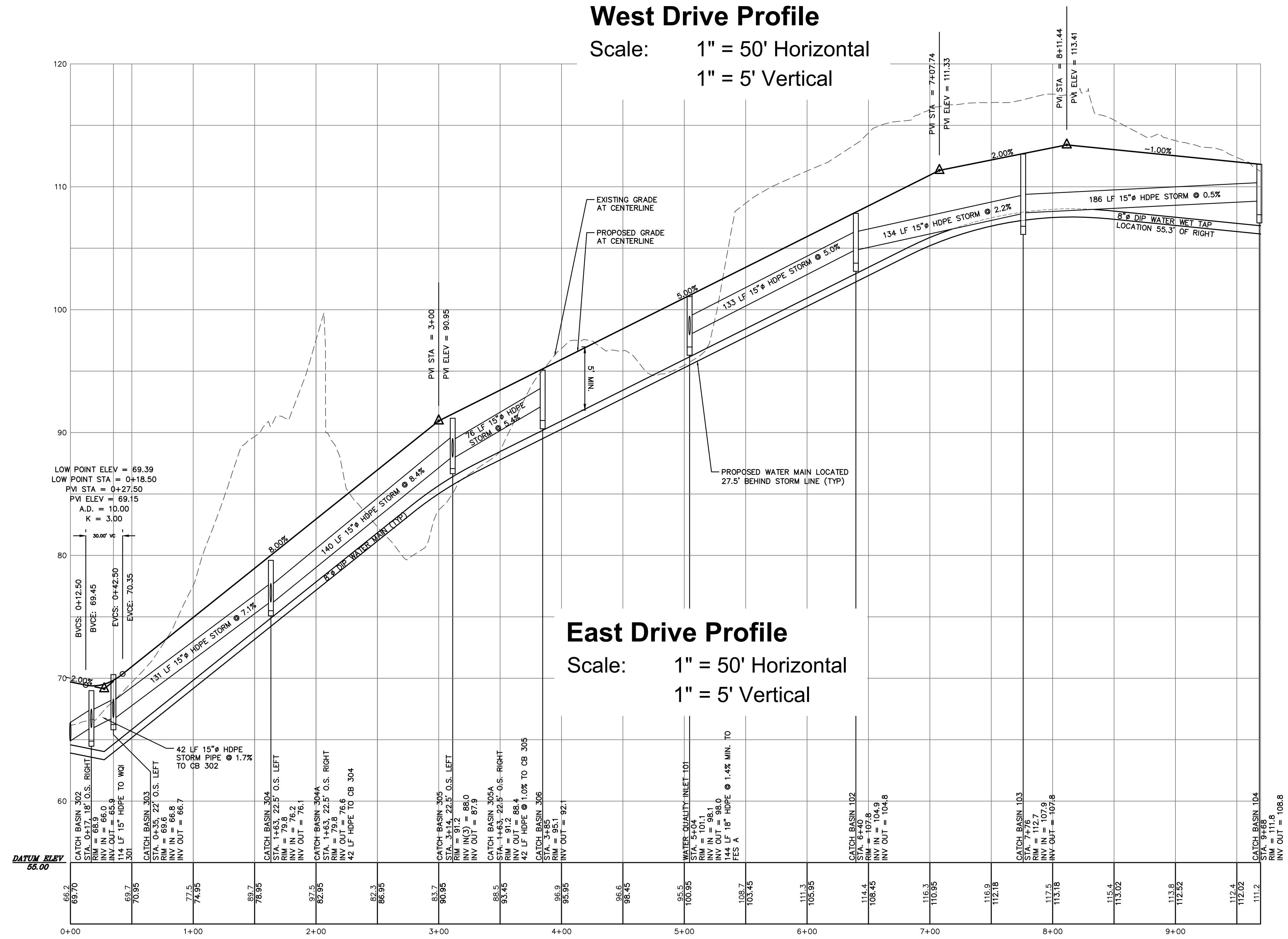
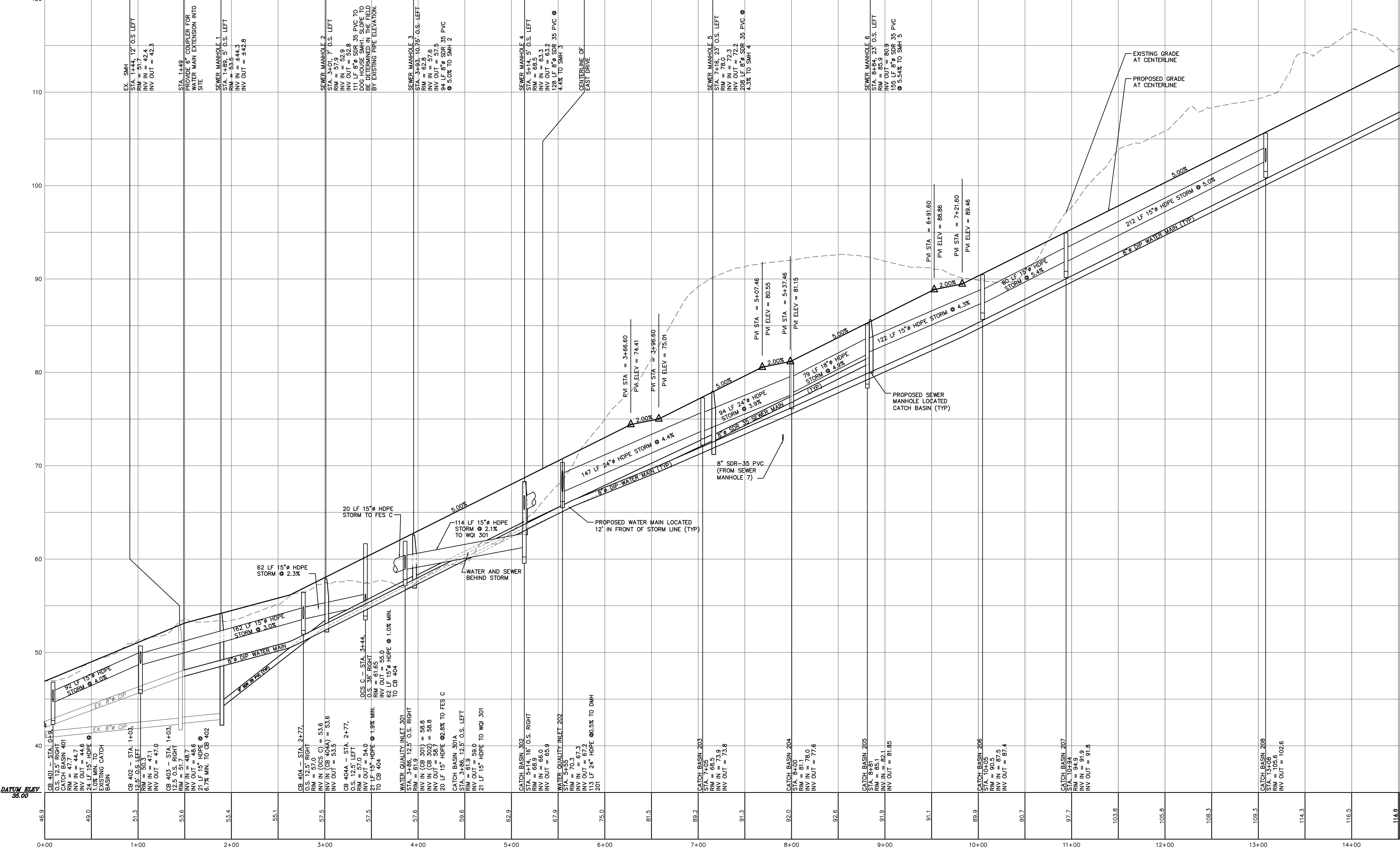
Scale: 1" = 30'

Erosion And Sediment Control Plan

Sheet 11 of 15

Edgewater

Beacon, New York
Scale: 1" = 30'
January 31, 2017

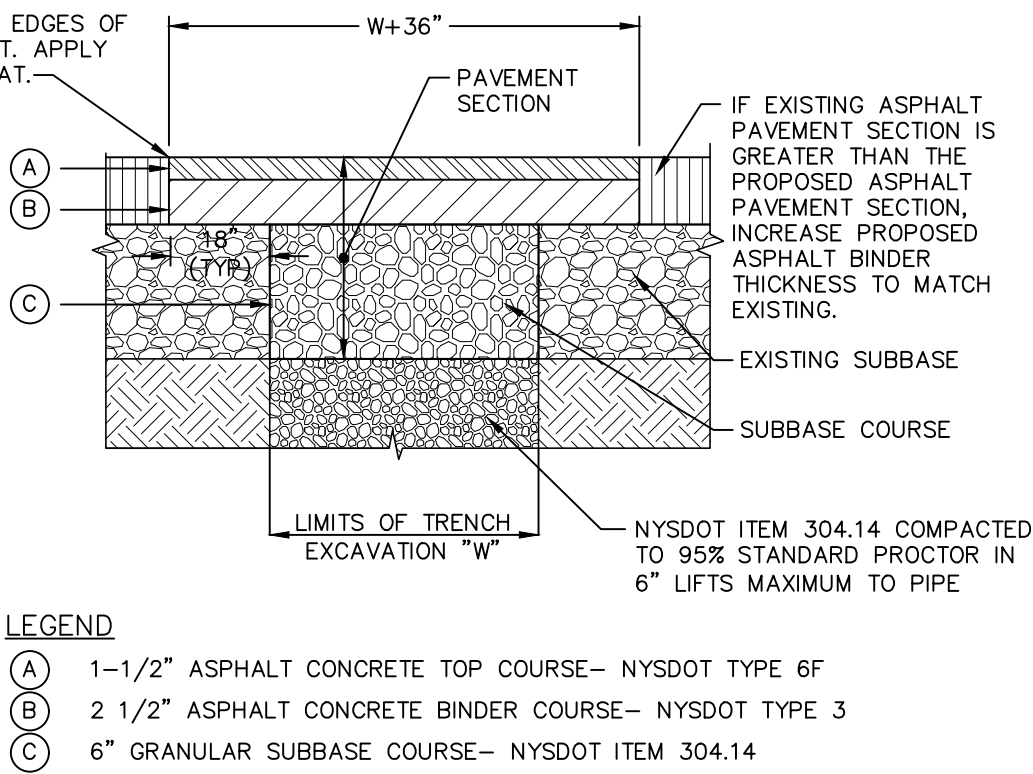
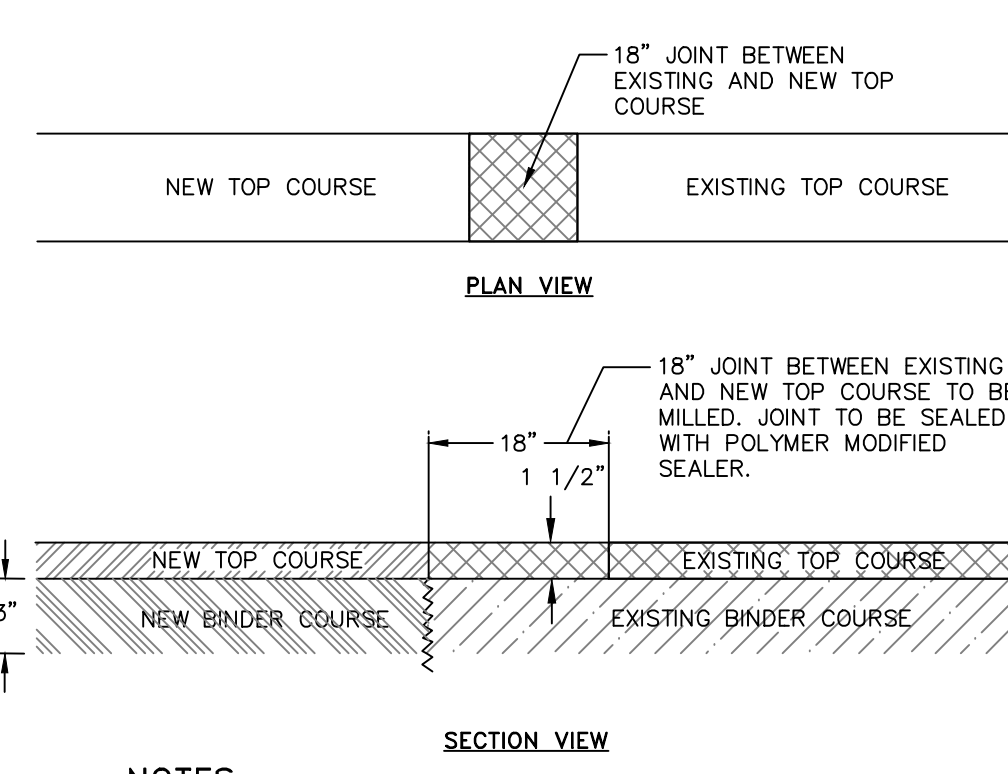


APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE _____ DAY OF _____, 20____, BY _____, CHAIRMAN.

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

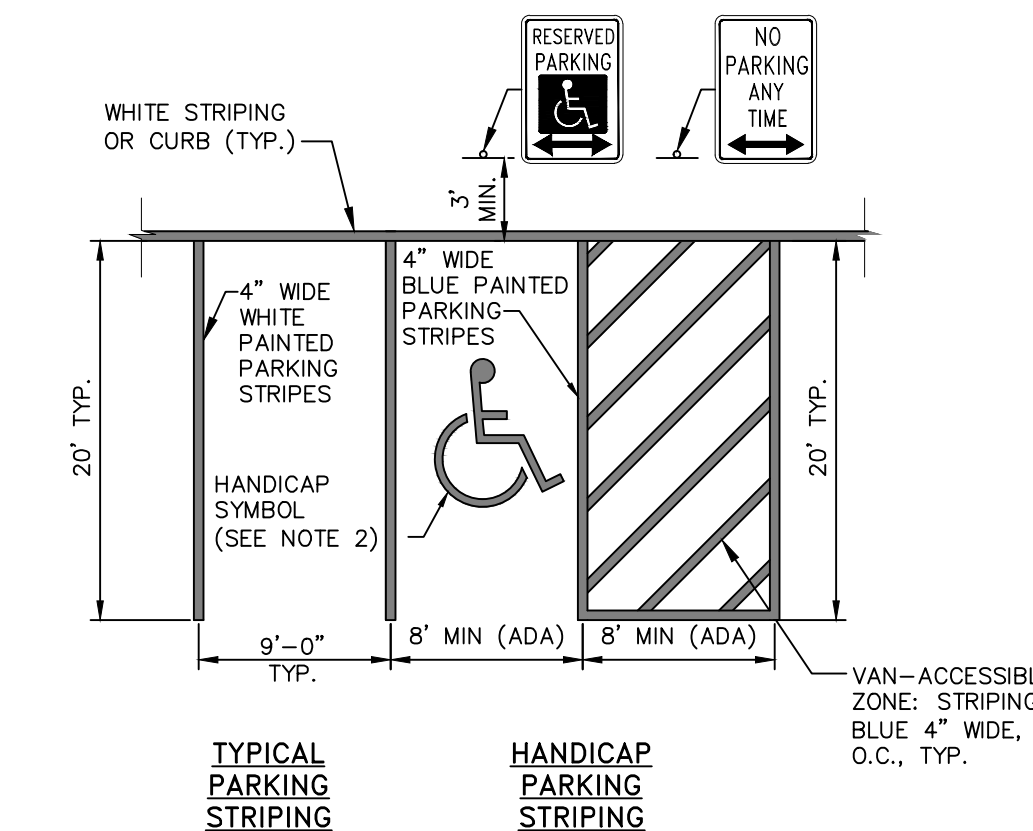
REVISIONS:			
NO.	DATE	DESCRIPTION	BY
1	2/28/17	PER PLANNING BOARD COMMENTS	CMB
2	3/28/17	PER PLANNING BOARD COMMENTS	MAB
3	4/24/17	PER PLANNING BOARD COMMENTS	MAB
4	5/30/17	PER PLANNING BOARD COMMENTS	MAB
5	7/25/17	NO CHANGE THIS SHEET	MAB
6	8/29/17	NO CHANGE THIS SHEET	MAB
7	9/26/17	NO CHANGE THIS SHEET	MAB
8	10/31/17	NO CHANGE	MAB
9	11/28/17	NO CHANGE	MAB

SITE DETAILS



- NOTES:
1. 3" BINDER COURSE AND 18" TOP COURSE TO BE USED FOR RESTORATION OF PAVEMENT WITHIN CITY ROADS.
 2. EXCAVATIONS ARE TO BE SAW CUT SMOOTH. ALL EDGES TACK COATED, AND ALL SEAMS SEALED WITH A HOT POLYMER MODIFIED CRACK SEALANT.
 3. IF EXISTING ASPHALT PAVEMENT DEPTH IS GREATER THAN THE PROPOSED ASPHALT PAVEMENT SECTION, INCREASE PROPOSED ASPHALT BINDER THICKNESS TO MATCH EXISTING.
- LEGEND:
- (A) 1-1/2" ASPHALT CONCRETE TOP COURSE - NYSOT TYPE 6F
 - (B) 2-1/2" ASPHALT CONCRETE BINDER COURSE - NYSOT TYPE 3
 - (C) 6" GRANULAR SUBBASE COURSE - NYSOT ITEM 304.14
- NOTES:
1. SAW CUT MIN. 18" BEYOND EXCAVATION WITH SMOOTH EDGES.
 2. EXPANSION JOINTS OF 1/2" CELLULOSE OR SIMILAR MATERIAL SHALL BE PLACED AT 10 FOOT INTERVALS.
 3. TACK COAT IN ACCORDANCE WITH NYSOT STANDARD SPEC.
 4. FURNISH AND PLACE ASPHALT CONCRETE PAVEMENT AS SPECIFIED.

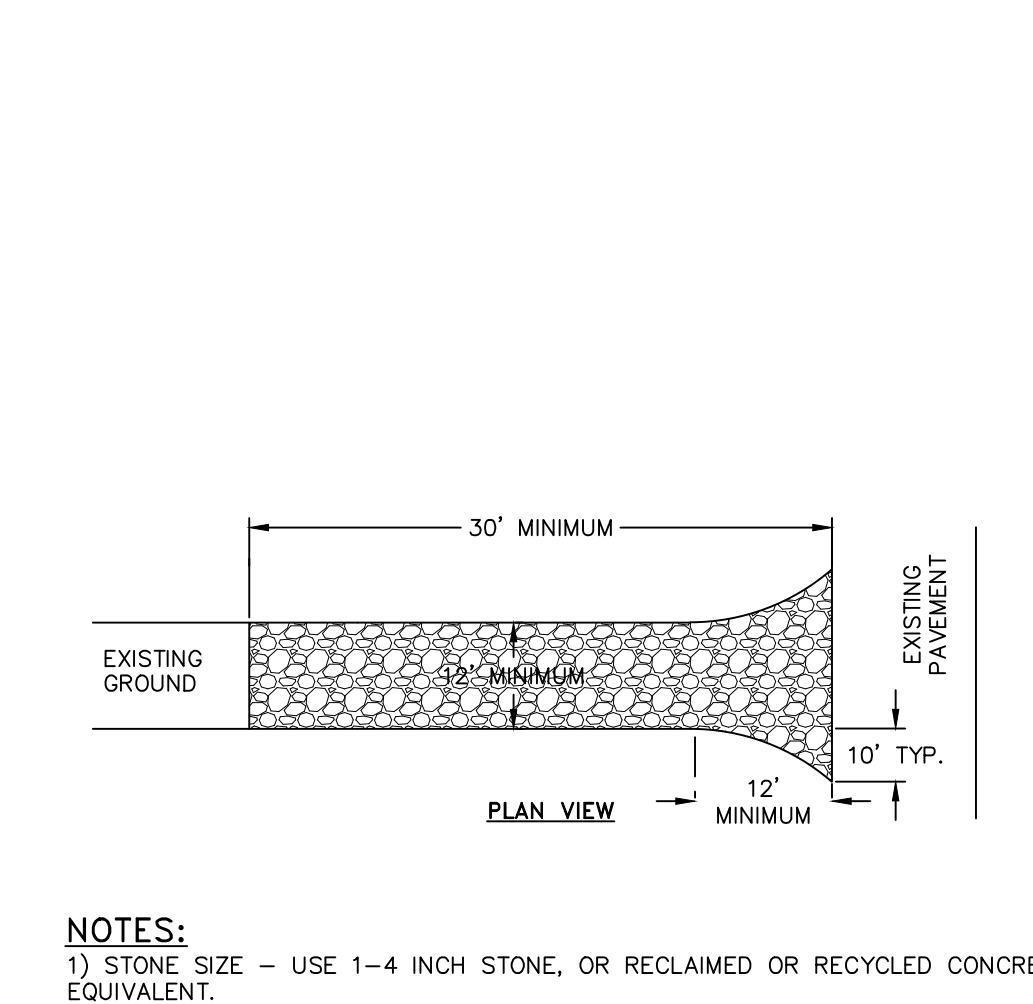
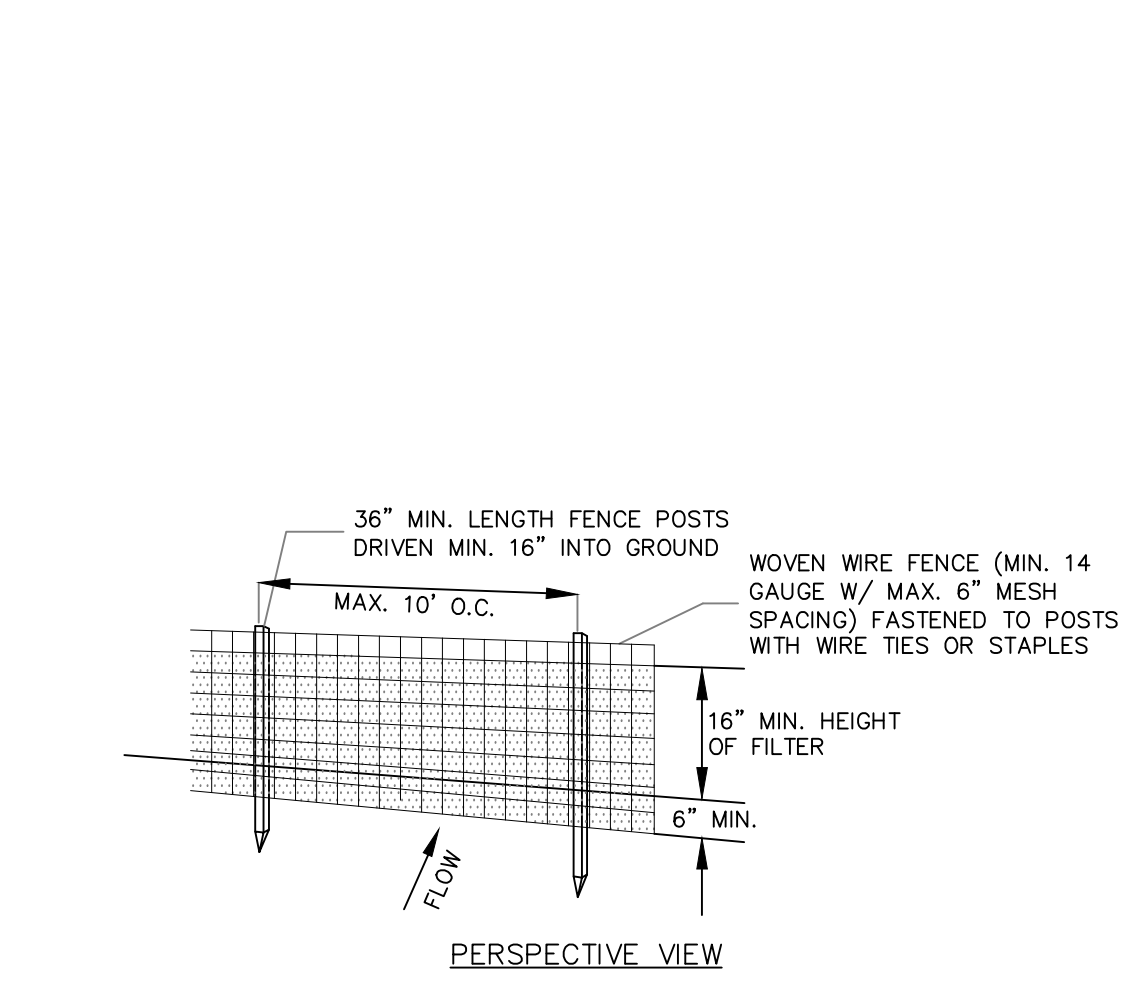
PAVEMENT RESTORATION DETAIL
NOT TO SCALE



- NOTES:
1. MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION (NYSOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, DATED JANUARY 2, 2002.
 2. SUBGRADE SHALL NOT INCLUDE FROZEN MATERIALS, DEBRIS, ORGANIC MATERIALS, LARGE STONES OR OTHER UNSUITABLE MATERIALS.
 3. TACK COAT WHEN SPECIFIED OR CALLED OUT IN THESE DRAWINGS OR REQUIRED BY THE REFERENCED SPECIFICATIONS SHALL CONFORM WITH SECTION 407-TACK COAT OF THE ABOVE REFERENCED NYSOT STANDARD SPECIFICATIONS.
 4. WHERE IT IS NECESSARY TO PLACE FILL FOR PURPOSES OF BRINGING THE SUBGRADE ELEVATION UP TO A SPECIFIED GRADE, THE FILL MATERIAL PLACED SHALL BE IN CONFORMANCE WITH SECTION 203-EXCAVATION AND EMBANKMENT OF THE ABOVE REFERENCED NYSOT STANDARD SPECIFICATIONS.
 5. IT IS EXPECTED THAT THE EXISTING SITE SUB-SOILS ARE SAND AND GRAVEL IN NATURE (CALIFORNIA BEARING RATIO RANGE BETWEEN 40 AND 80) - IF UNSUITABLE SOILS ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE ENGINEER FOR POSSIBLE MODIFICATIONS TO THE PAVEMENT DETAIL.
- NOTES:
1. ALL DIMENSIONS SUBJECT TO CURRENT MUNICIPALITY ZONING AND SITE REGULATIONS.
 2. PAINTED HANDICAP SYMBOL TO BE IN ACCORDANCE WITH NYSOT AND ADA STANDARDS.
 3. IF PARKING ADJACENT TO A SIDEWALK, THEN THE REGULATORY SIGNS SHALL BE PLACED BEHIND THE SIDEWALK.

PARKING AND STRIPING DETAIL
NOT TO SCALE

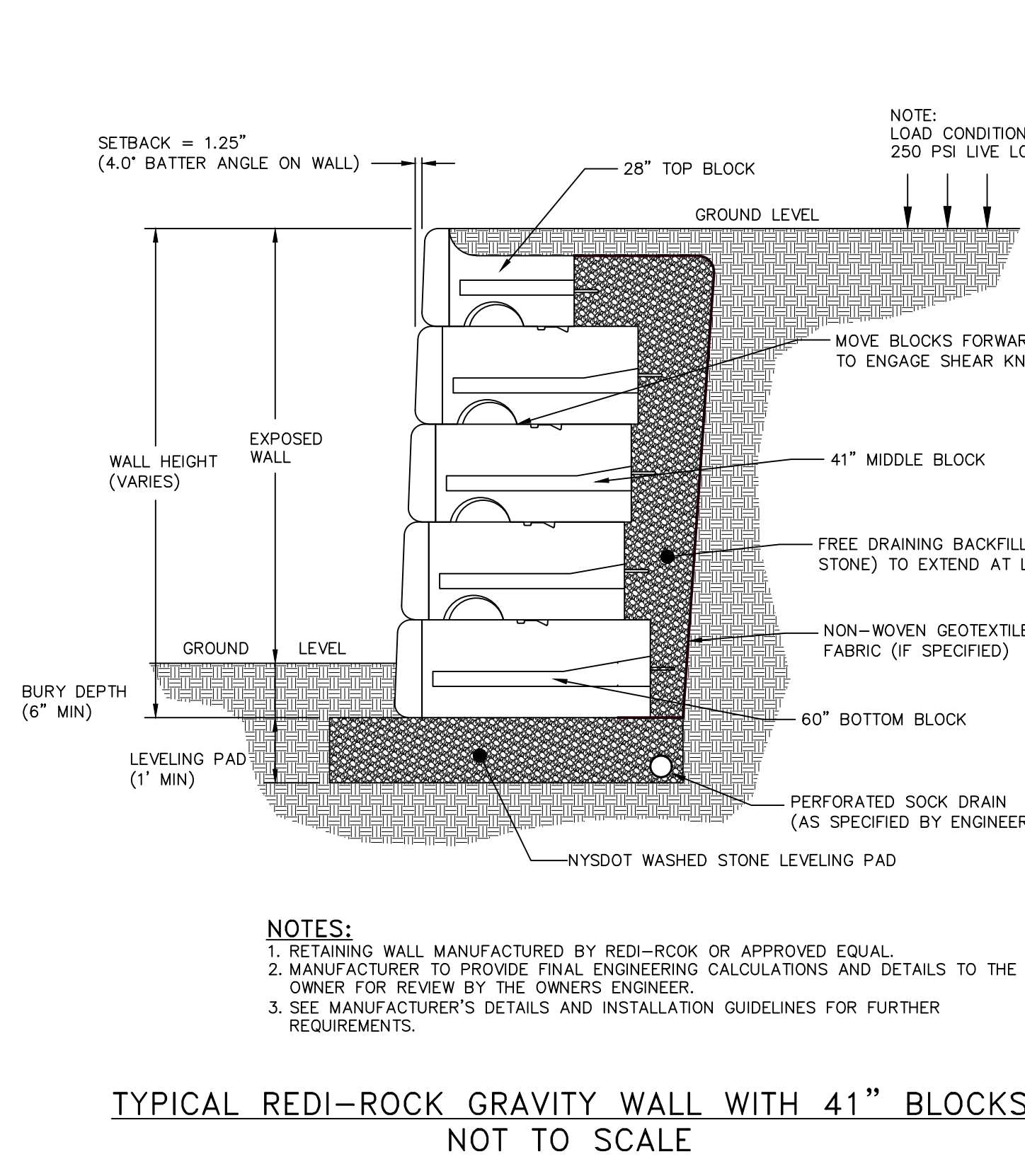
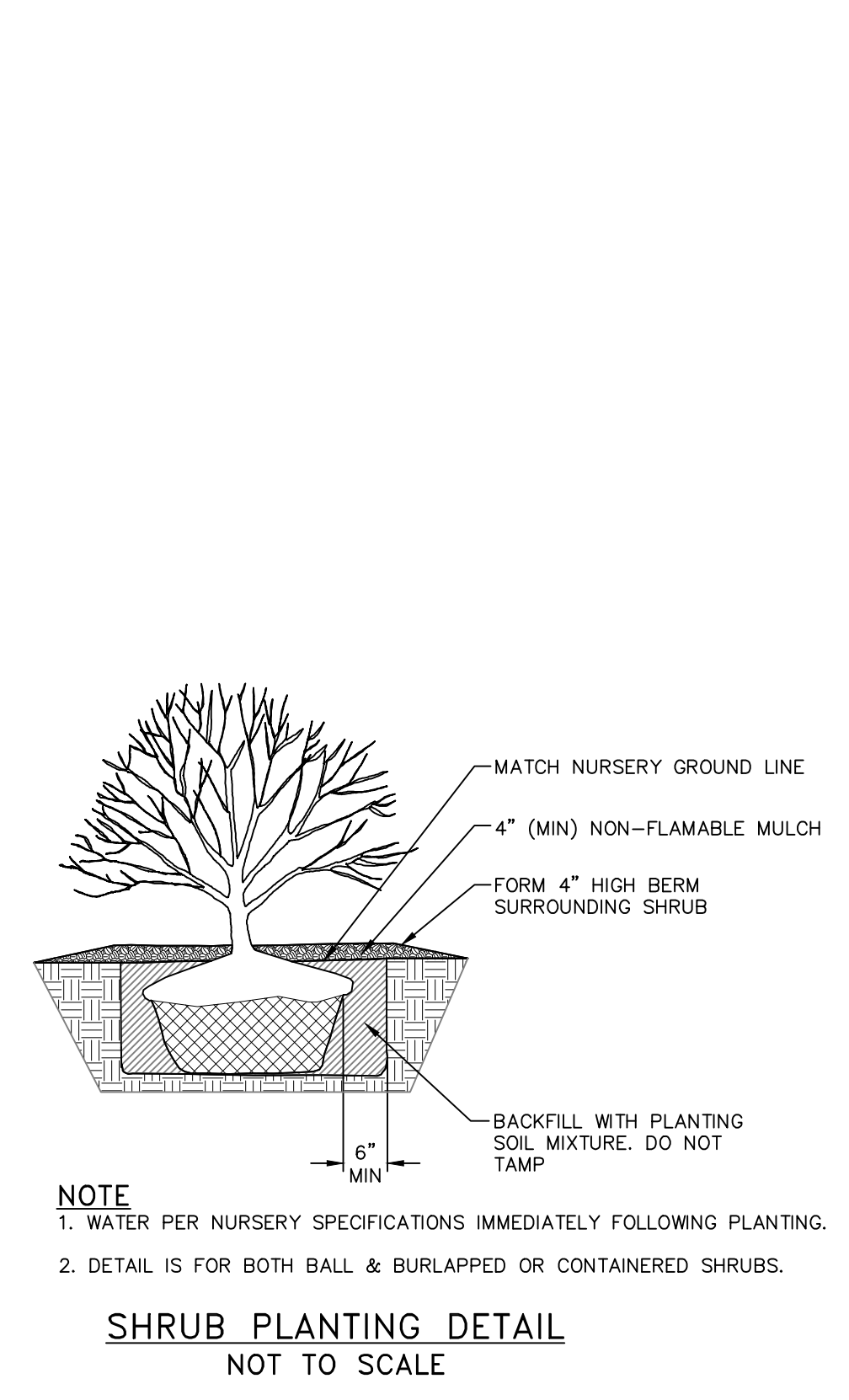
EROSION AND SEDIMENT CONTROL DETAILS



- NOTES:
1. STONE SIZE - USE 1-4 INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 2. LENGTH - NOT LESS THAN 30 FEET FOR A SINGLE RESIDENCE LOT.
 3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
 4. WIDTH - 12 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. 24 FOOT MINIMUM IF SINGLE ENTRANCE TO SITE.
 5. GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
 6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED BENEATH THE ENTRANCE, IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PROVIDED.
 7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURE USED TO TRAP SEDIMENT. ALL SEDIMENT SKIPPED, DROPPED, WASHED OR TRACED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.
- NOTES:
1. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
 2. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N OR APPROVED EQUAL.
 3. PREFABRICATED UNITS SHALL BE GEOTAF, ENVIROFENCE OR APPROVED EQUAL.
 4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

STABILIZED CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE

LANDSCAPING DETAILS



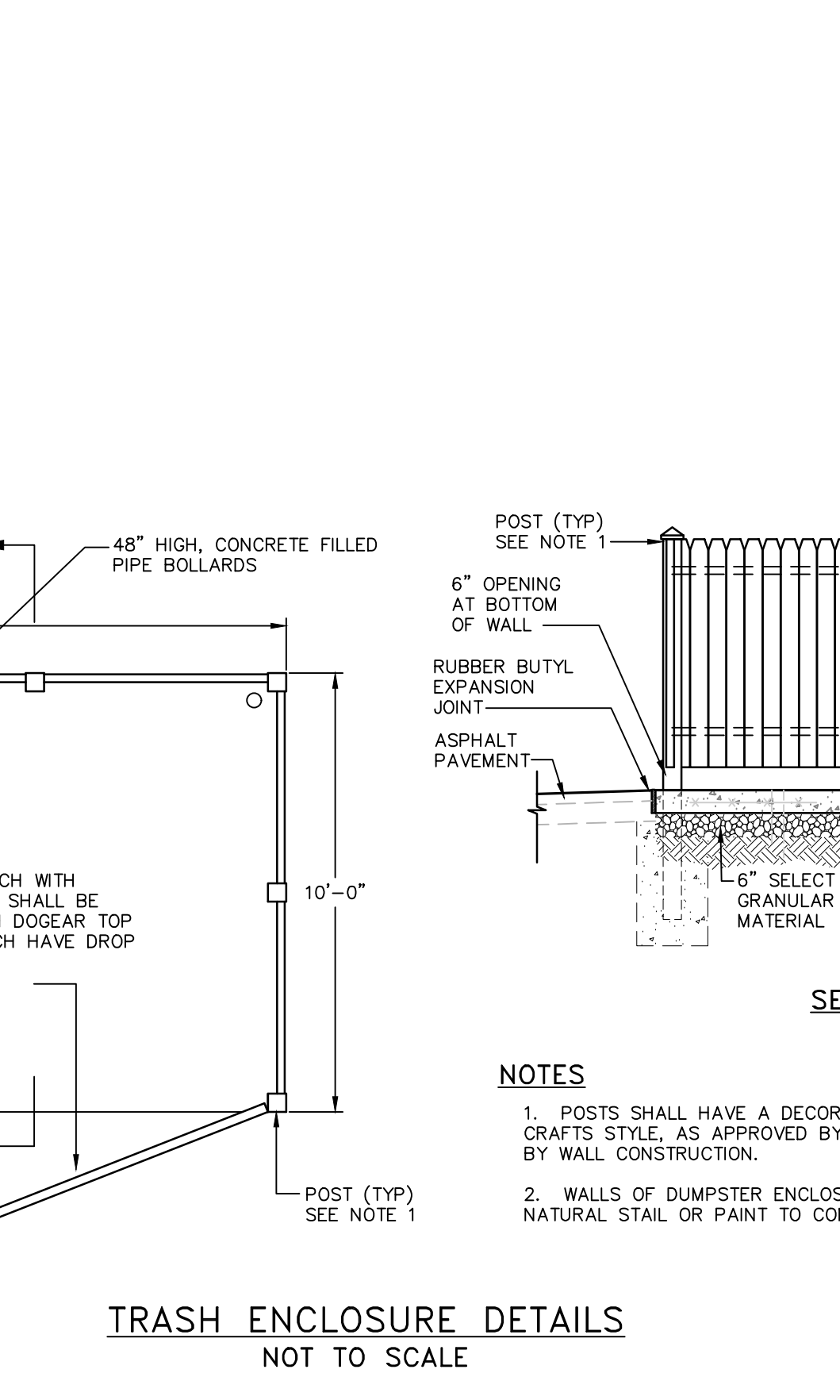
TYPICAL REDI-ROCK GRAVITY WALL WITH 41" BLOCKS
NOT TO SCALE

ROCK OUTLET PROTECTION DETAIL
NOT TO SCALE

OUTLET PIPE ID	PIPE Ø	30% W	Lo	Ø	#50 RIPRAP SIZE
FES A	15 INCHES	3.75 FEET	10.5 FEET	23 FEET	3 INCHES
FES B	14 INCHES	3.6 FEET	9 FEET	9 INCHES	4 INCHES
FES C	15 INCHES	3.75 FEET	5 FEET	8 FEET	3 INCHES
FES D	15 INCHES	3.75 FEET	10.5 FEET	9 FEET	3 INCHES
FES E	24 INCHES	6 FEET	15 FEET	13 FEET	14 INCHES

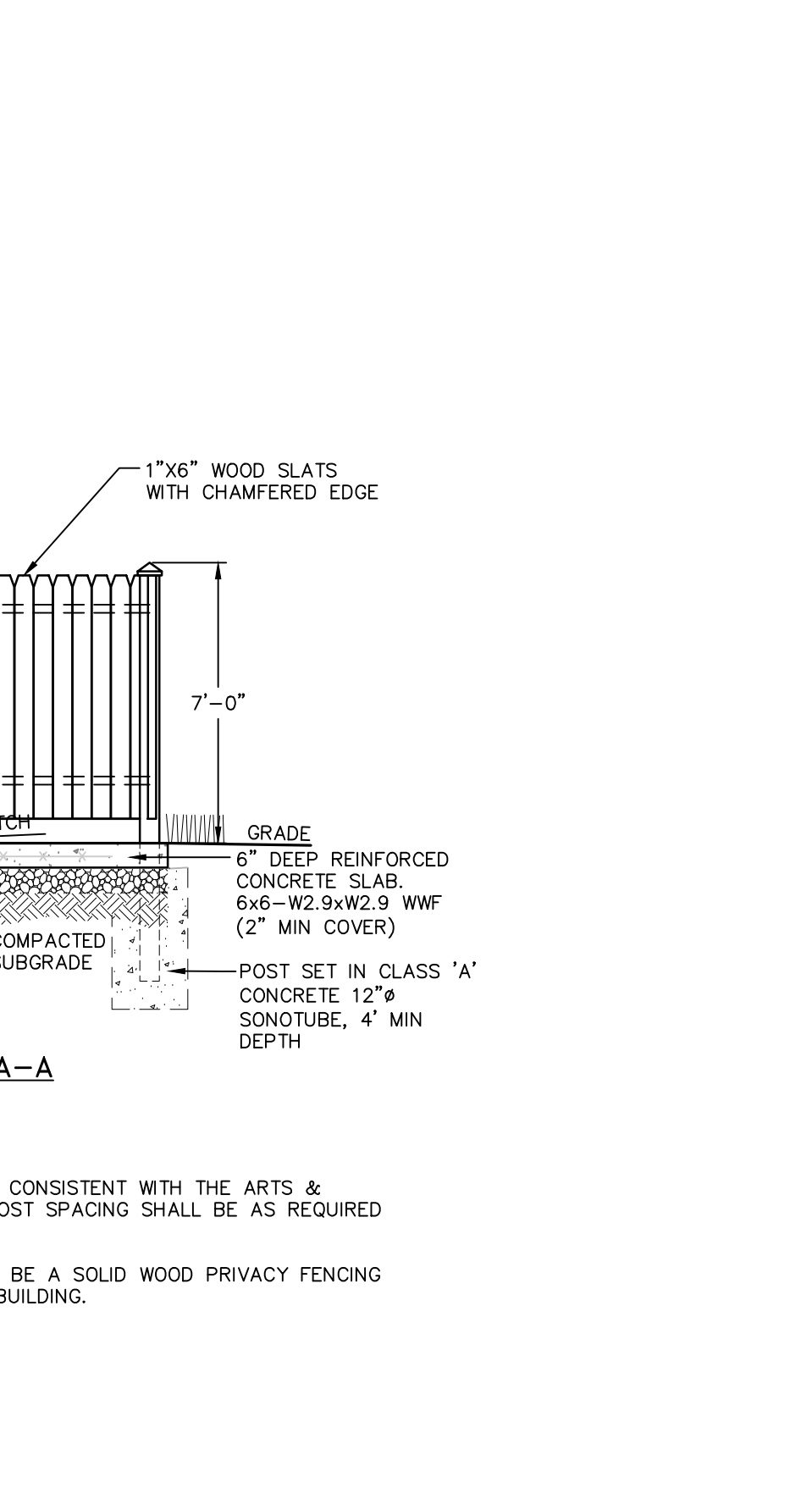
ROCK OUTLET PROTECTION TABLE
NOT TO SCALE

CATCH BASIN INLET PROTECTION DETAIL
NOT TO SCALE



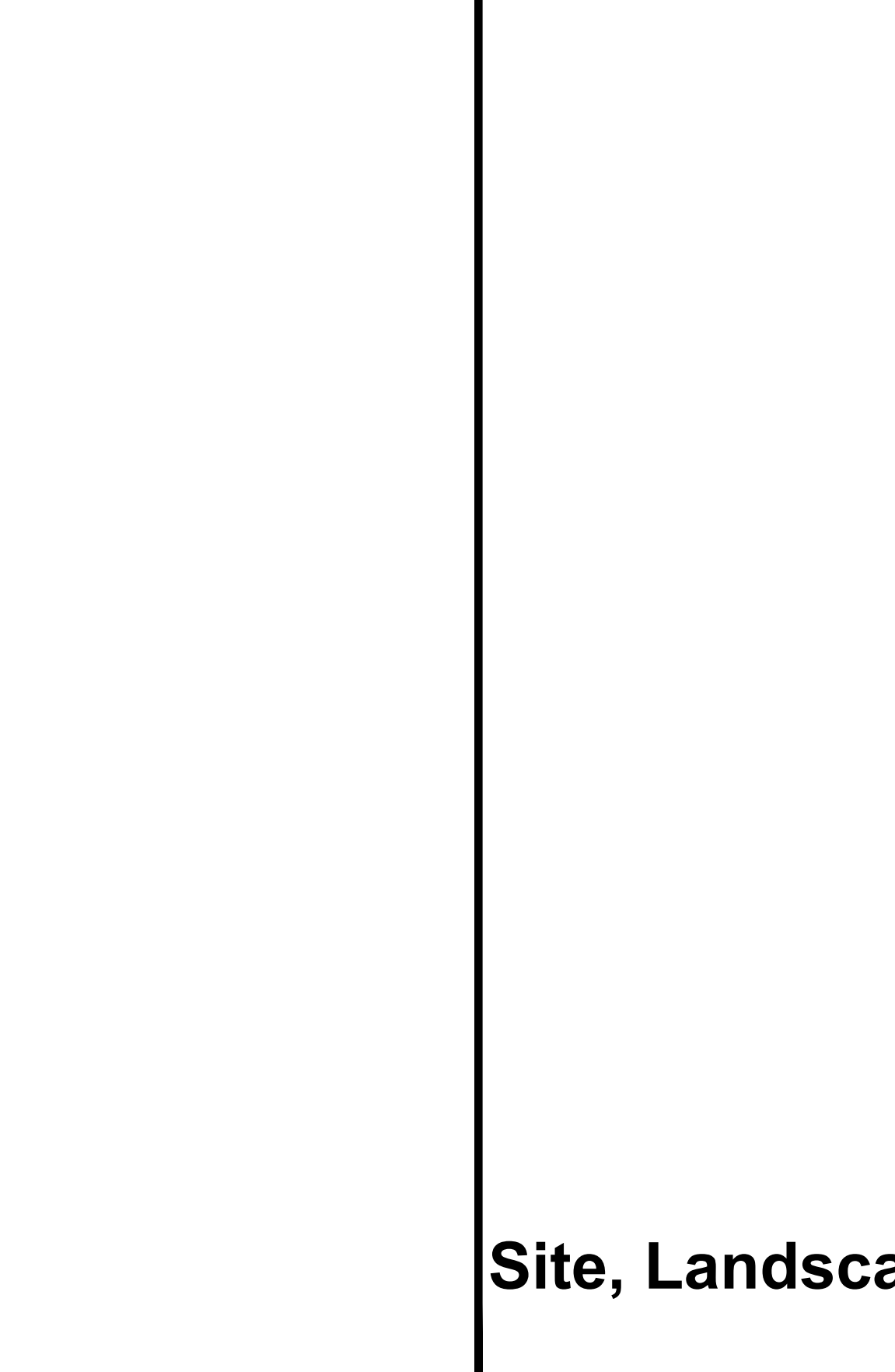
TRASH ENCLOSURE DETAILS
NOT TO SCALE

TOPSOIL, SEED AND MULCH DETAIL
NOT TO SCALE



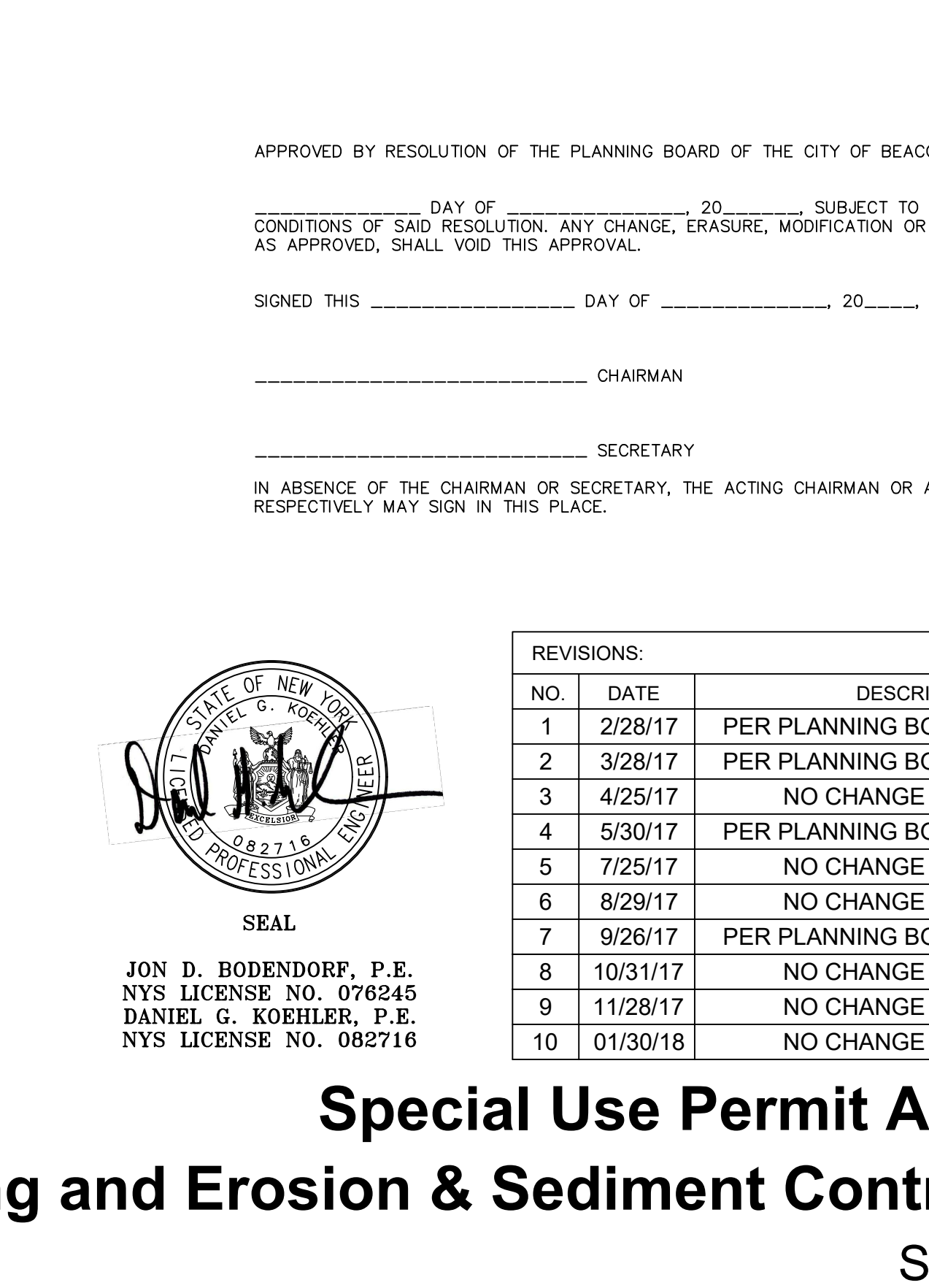
TOPSOIL, SEED AND MULCH DETAIL
NOT TO SCALE

TEMPORARY TREE PROTECTION DETAIL
NOT TO SCALE



TEMPORARY TREE PROTECTION DETAIL
NOT TO SCALE

TEMPORARY SOIL STOCKPILE DETAIL
NOT TO SCALE



TEMPORARY SOIL STOCKPILE DETAIL
NOT TO SCALE

Owner:
Scenic Beacon Development, LLC
29 E. Main Street
Beacon, NY 12508

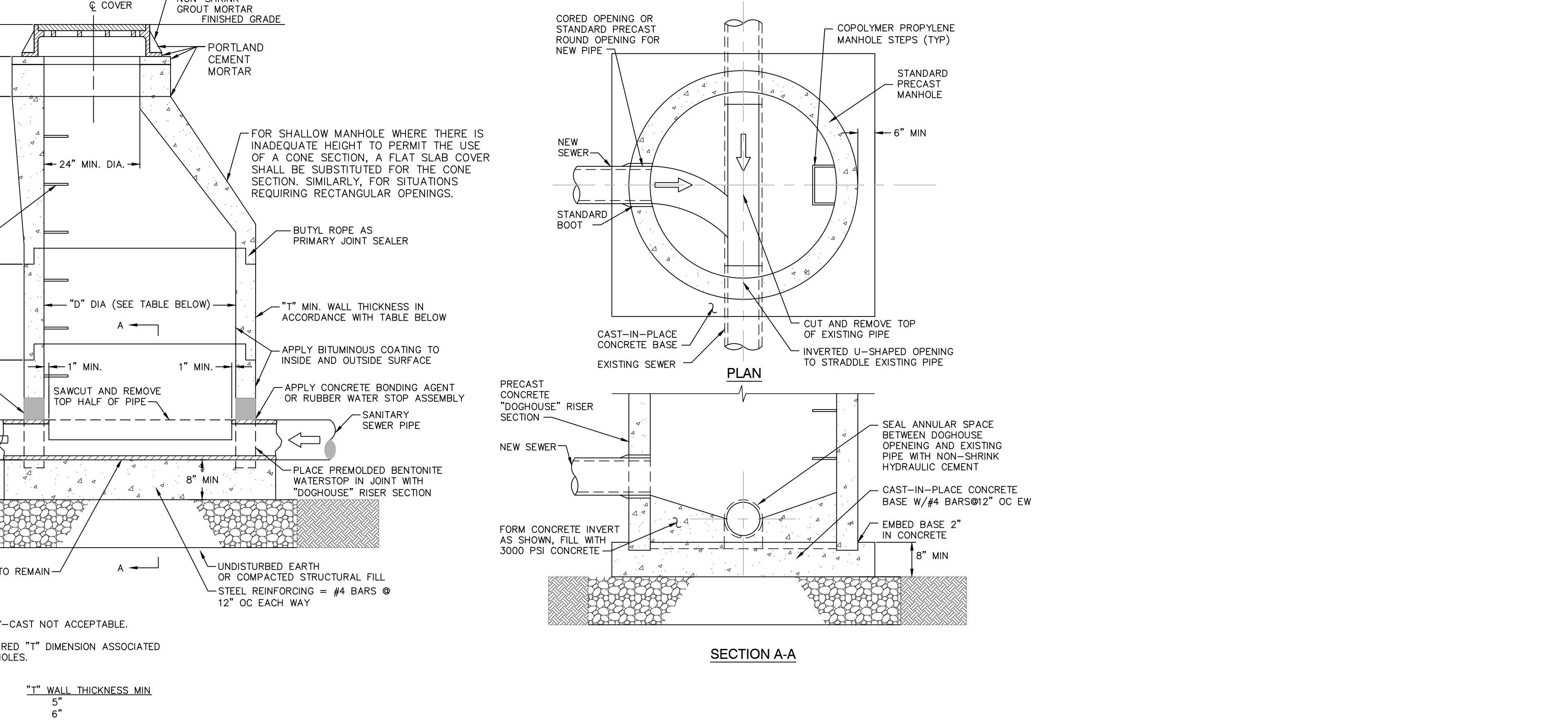
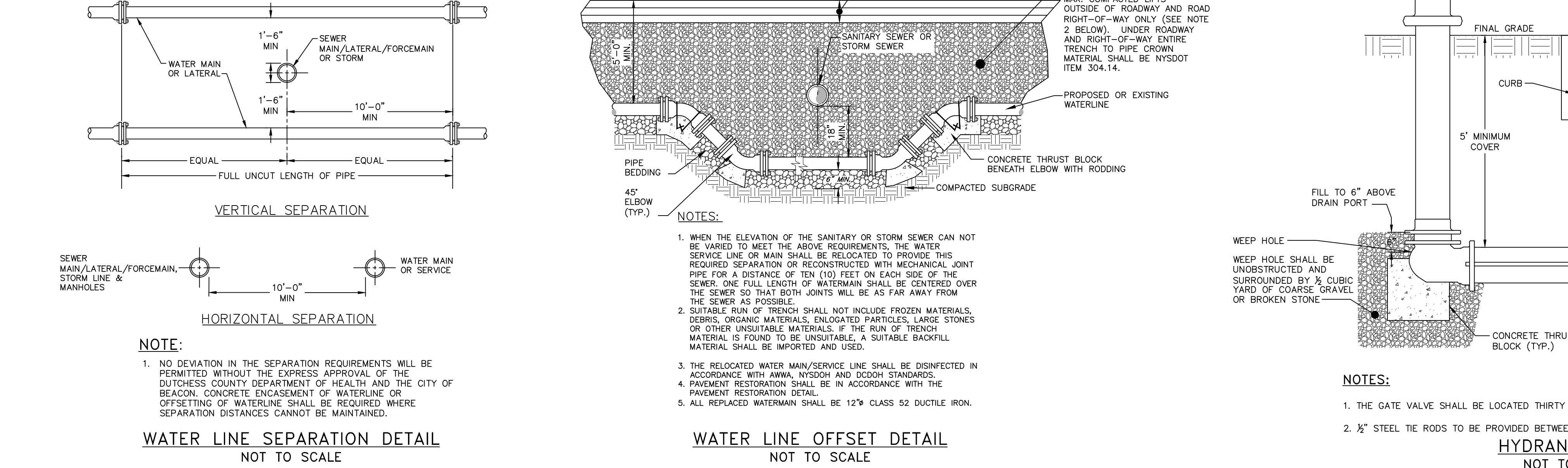
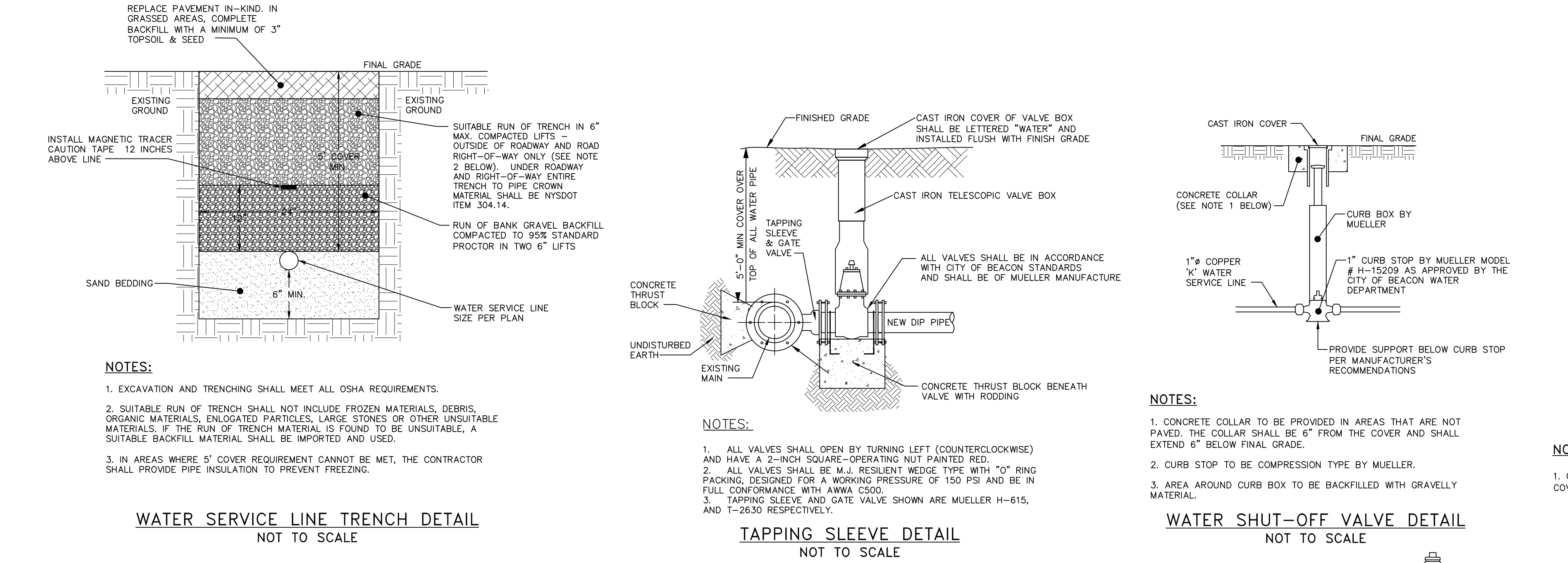
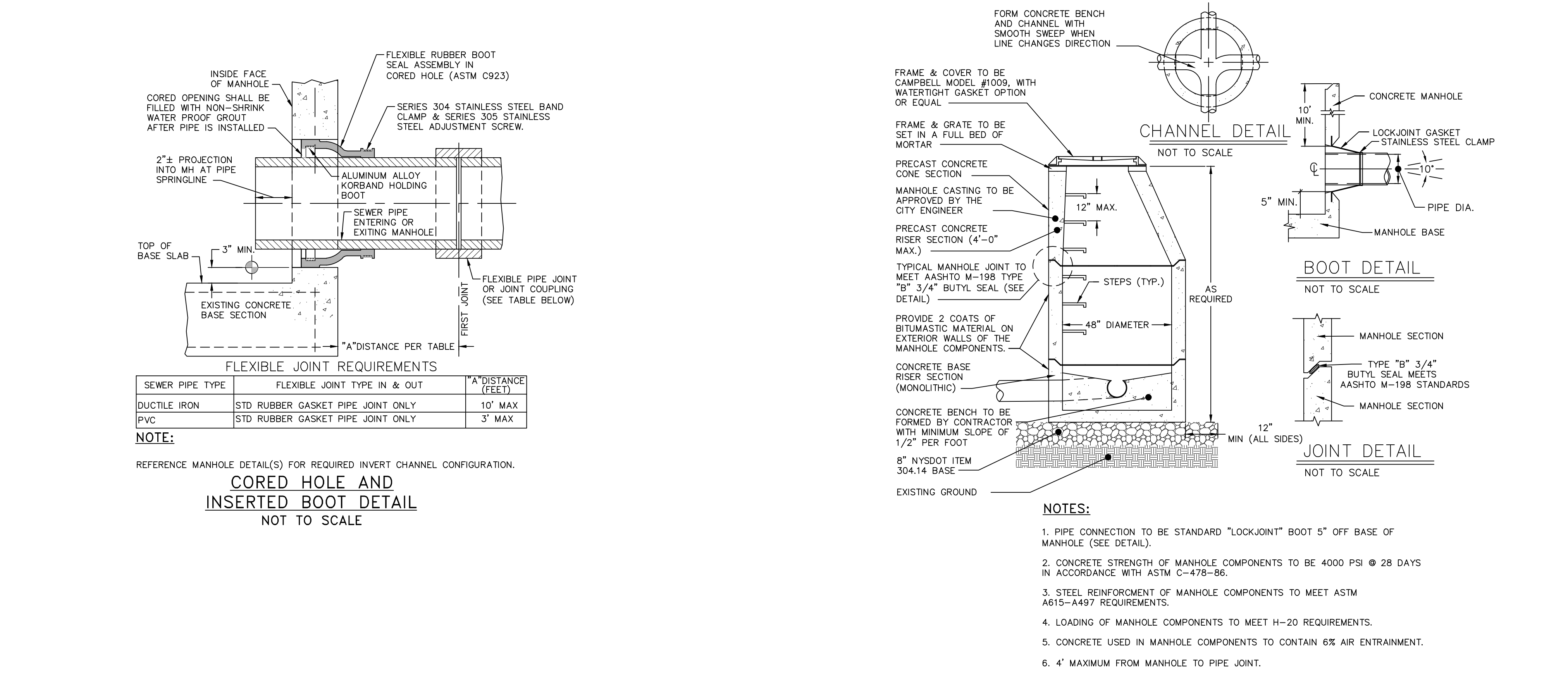
Architect:
Aryeh Siegel, Architect
514 Main Street
Beacon, NY 12508

Site/Civil Engineer:
Hudson Land Design
174 Main Street
Beacon, NY 12508

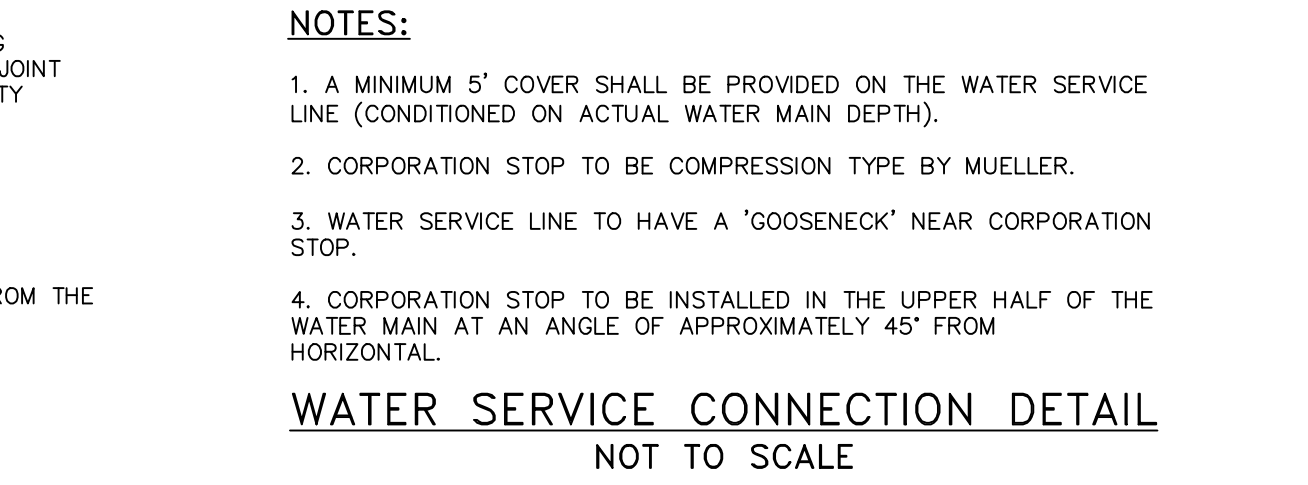
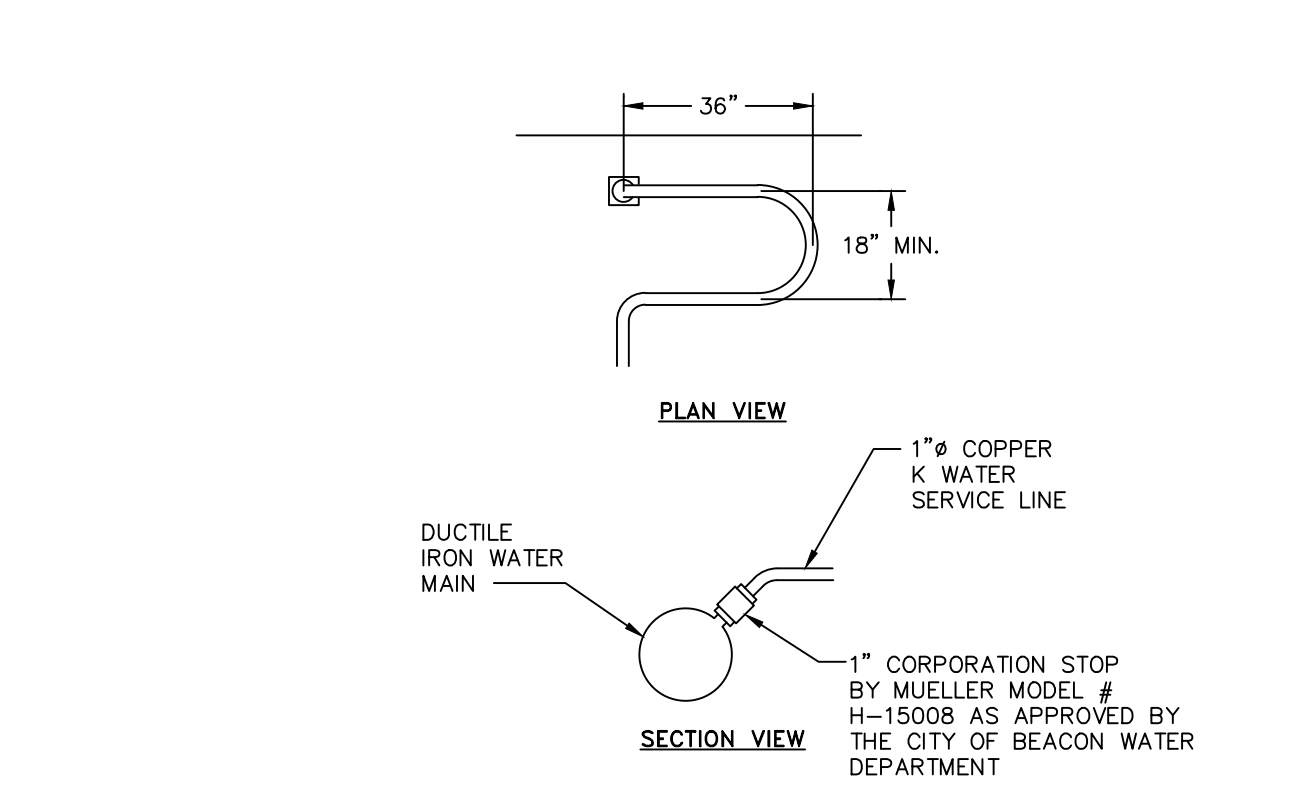
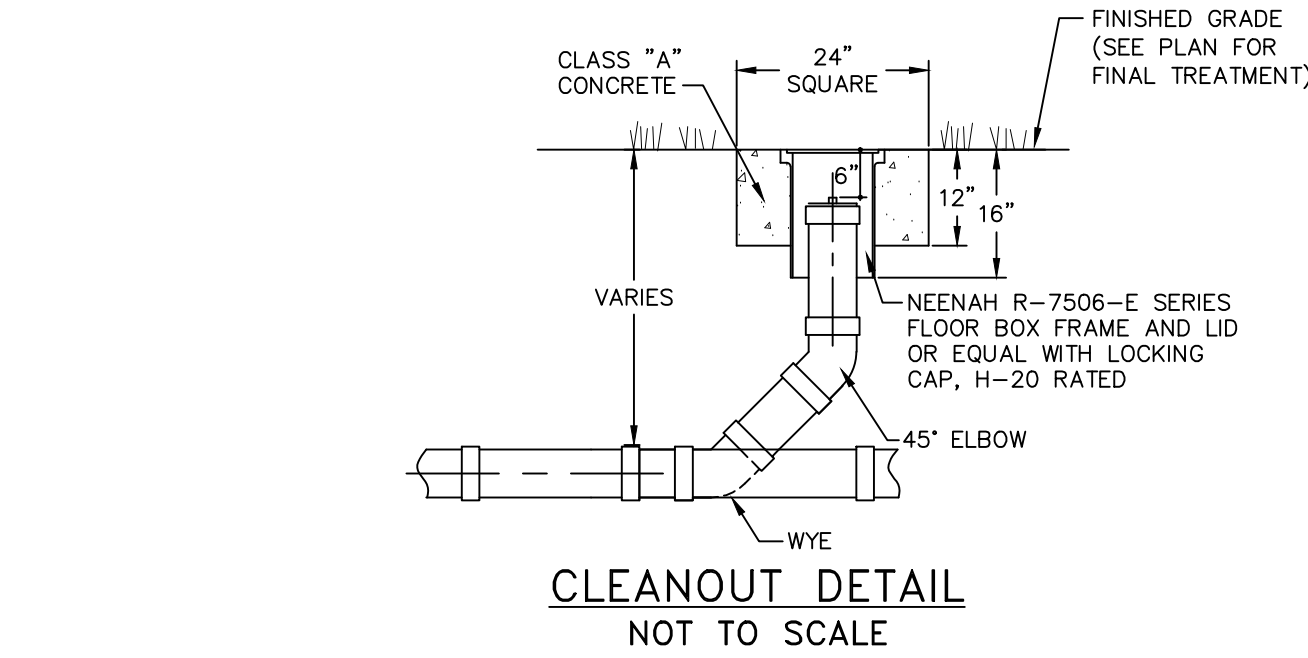
Surveyor:
TEC Land Surveying
Main Street
Beacon, NY 12508

Special Use Permit Application
Site, Landscaping and Erosion & Sediment Control Details
Sheet 13 of 15

Edgewater
Beacon, New York
Scale: AS NOTED
December 22, 2016



PRECAST CONCRETE INSERTION "DOGHOUSE" MANHOLE DETAIL
NOT TO SCALE



RECOMMENDED FOR APPROVAL:

MAYOR OF THE CITY OF BEACON _____ DATE _____

APPROVED BY RESOLUTION OF THE CITY COUNCIL OF THE CITY OF BEACON

ON THE _____ DAY OF _____ 20____

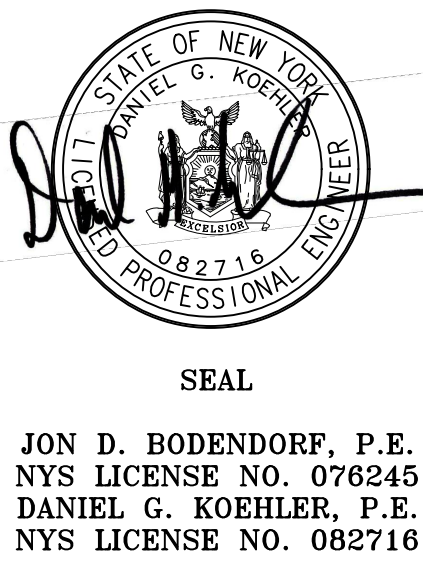
APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE _____ DAY OF _____ 20____

CONDITIONS OF SAID RESOLUTION, ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS _____ DAY OF _____ 20____ BY _____

CHAIRMAN _____ SECRETARY _____

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.



REVISIONS:			
NO.	DATE	DESCRIPTION	BY
1	2/28/17	PER PLANNING BOARD COMMENTS	CMB
2	3/28/17	PER PLANNING BOARD COMMENTS	MAB
3	4/25/17	NO CHANGE THIS SHEET	MAB
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6	8/29/17	NO CHANGE THIS SHEET	MAB
7	9/26/17	NO CHANGE THIS SHEET	MAB
8	10/31/17	NO CHANGE THIS SHEET	MAB
9	11/28/17	NO CHANGE THIS SHEET	MAB
10	01/30/18	NO CHANGE THIS SHEET	MAB