

EXHIBIT E

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE _____ DAY OF _____, 20____, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION, ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS _____ DAY OF _____, 20____, BY _____, CHAIRMAN

_____, SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

REVISIONS:		
NO.	DATE	DESCRIPTION
1	02/28/17	PROGRESS SUBMISSION
2	03/28/17	REVISE PER PLANNING BOARD COMMENTS
3	04/25/17	REVISE PER PLANNING BOARD COMMENTS
4	05/30/17	NO CHANGE
5	07/25/17	NO CHANGE
6	08/29/17	NO CHANGE
7	09/26/17	NO CHANGE
8	10/31/17	NO CHANGE
9	11/28/17	NO CHANGE
10	01/30/18	NO CHANGE
11	02/27/18	REVISE PER PLANNING BOARD COMMENTS



View From Train Station



Site Section Renderings



Rendering



Rendering



Rendering



Rendering



Aerial View



View From Hudson River

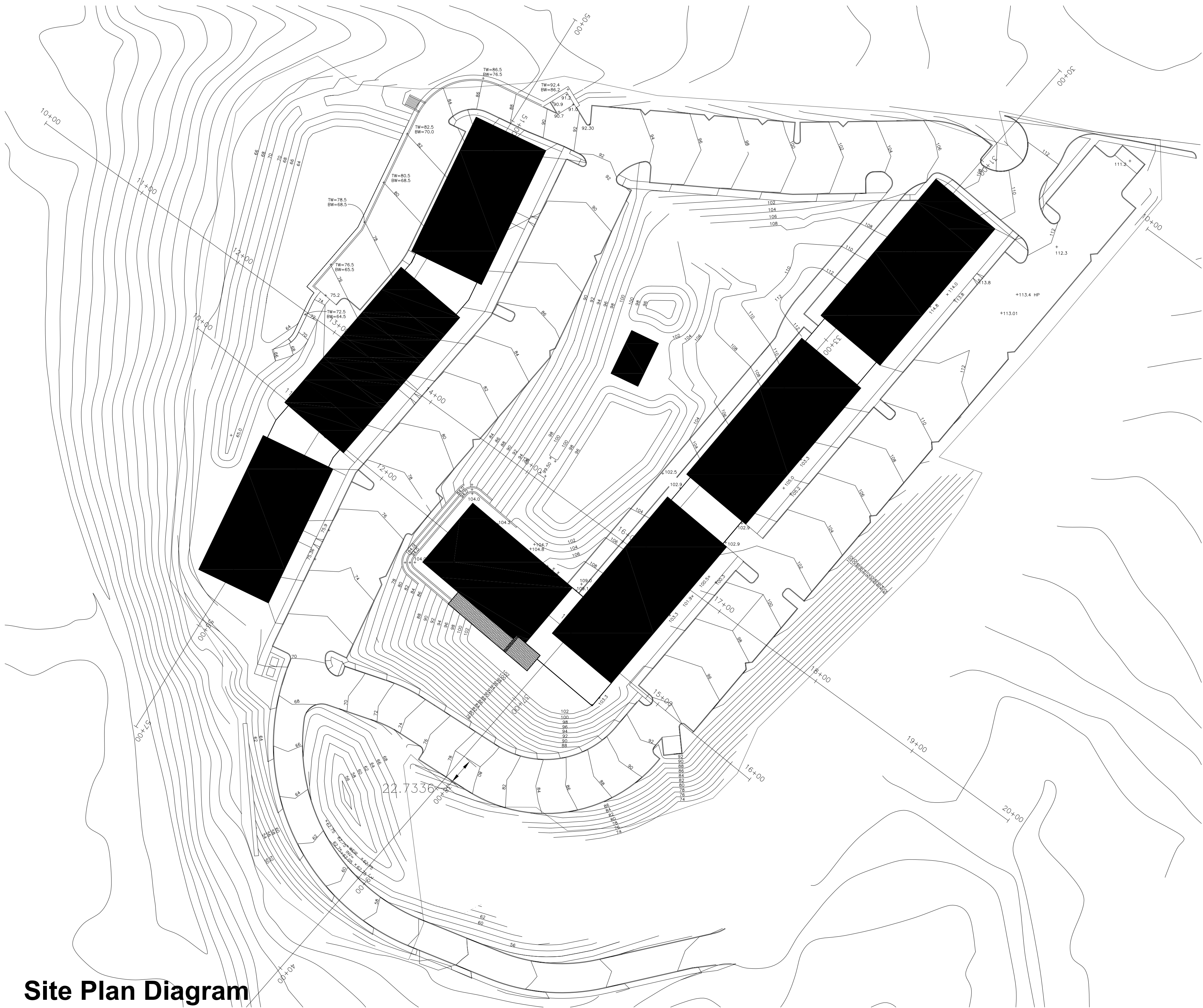
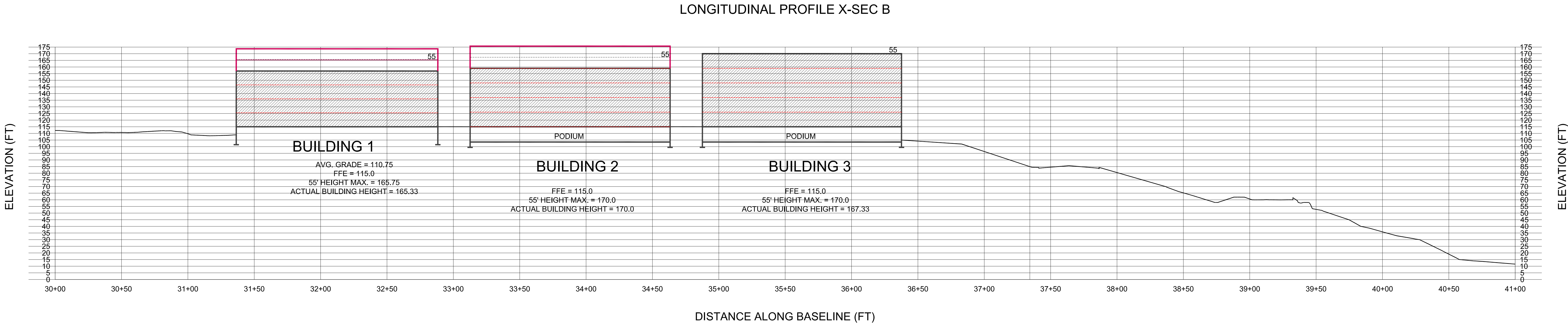
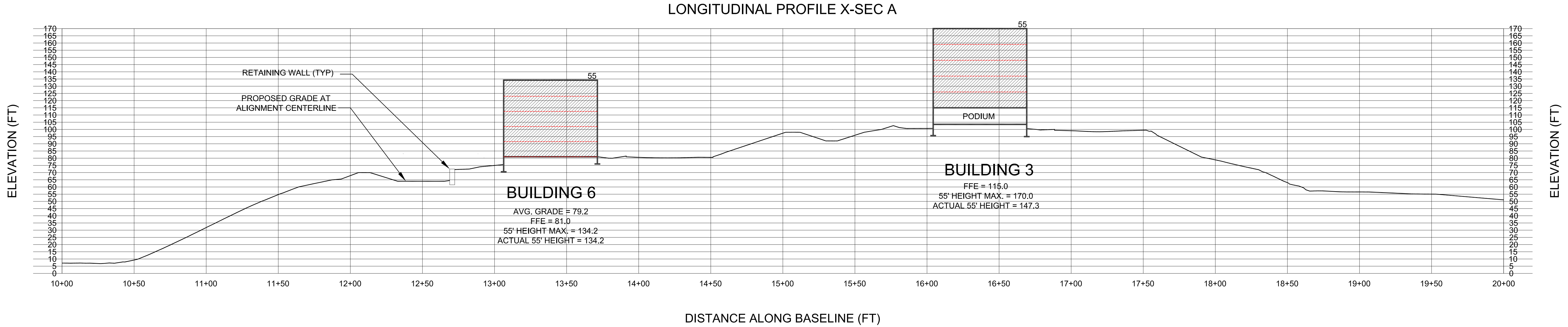
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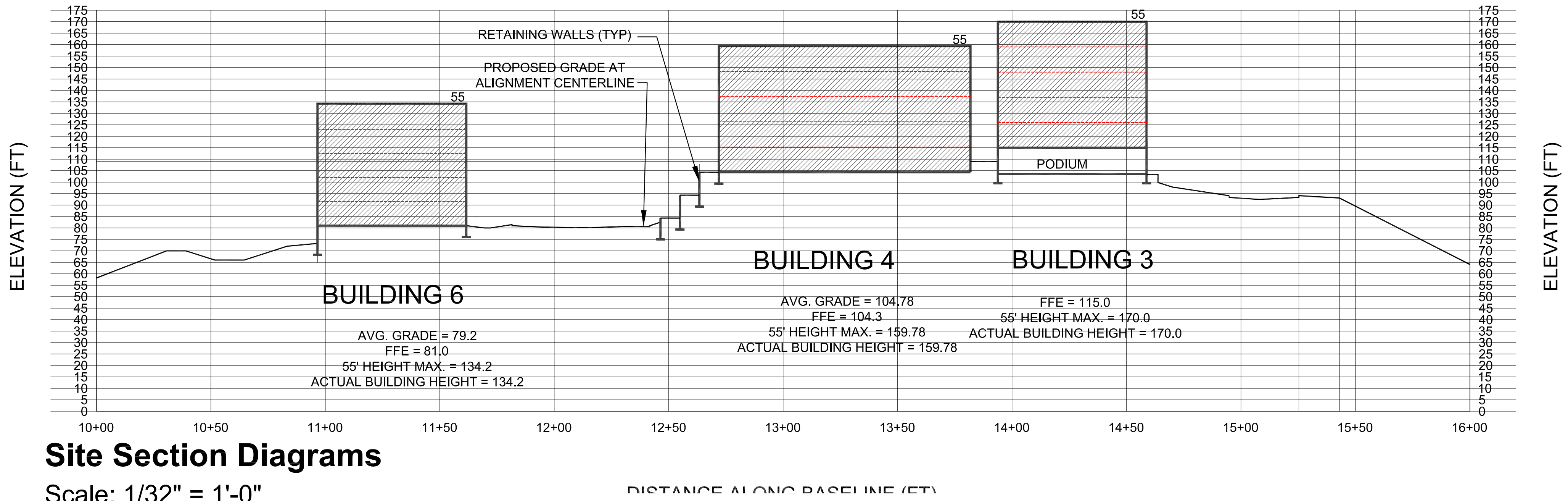
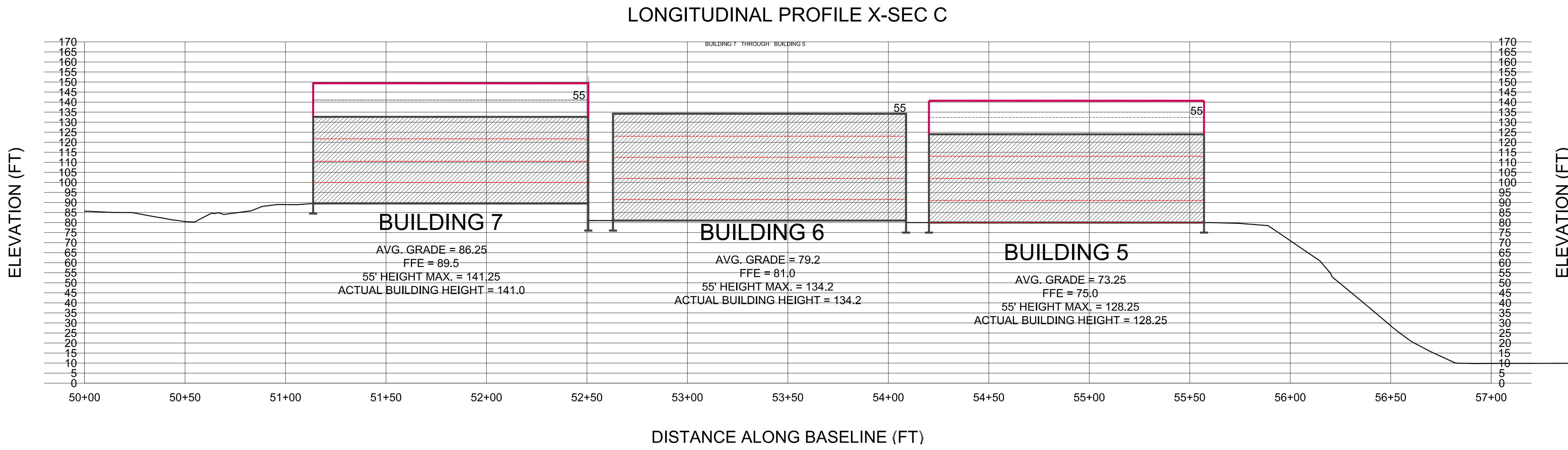
_____, SECRETARY

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REVISIONS:			
NO.	DATE	DESCRIPTION	BY
10	01/30/18	NO CHANGE	AJS
11	02/27/18	REVISE PER PLANNING BOARD COMMENTS	AJS



Site Plan Diagram
Scale: 1/64" = 1'-0"



Site Section Diagrams

Scale: 1/32" = 1'-0"

- NOTES:
1. MAXIMUM BUILDING HEIGHT IS 55'-0"
 2. FLAT ROOF BUILDINGS ARE MEASURED TO THE TOP OF THE ROOF SURFACE
 3. GABLE ROOF BUILDINGS ARE MEASURED TO THE MID POINT BETWEEN THE ROOF RIDGE AND THE EAVES
 4. BUILDINGS ARE MEASURED FROM THE AVERAGE GRADE AROUND THE BUILDING, EXCEPT FOR BUILDINGS WITH PODIUM PARKING BELOW (SEE NOTE 4)
 5. BUILDINGS WITH PODIUM PARKING BELOW ARE MEASURED FROM THE TOP OF THE 1ST FLOOR FINISHED FLOOR ELEVATION, AND NOT THE AVERAGE GRADE
 6. BUILDING FLOOR TO FLOOR HEIGHT IS GENERALLY 11'-0". WITH SOME EXCEPTIONS WHERE A SLIGHTLY LOWER FLOOR TO FLOOR HEIGHT IS REQUIRED TO COMPLY WITH THE 55'-0" MAXIMUM BUILDING HEIGHT.

Site Sections

Sheet 8A of 15

Edgewater

Beacon, New York
Scale: NTS
January 31, 2017

Owner:
Scenic Beacon Developments, LLC
25 East Main Street
Beacon, NY 12508

Architect:
Aryeh Siegel, Architect
514 Main Street
Beacon, New York 12508

Site / Civil Engineer:
Hudson Land Design
174 Main Street
Beacon, New York 12508

Surveyor:
TEC Land Surveying, P.C.
15C Tioronda Avenue
Beacon, New York 12508

TRELLIS
PAINTED METAL RAILING

DOUBLE GLAZED
INSULATED WINDOWS

42" HIGH TEMPERED
GLASS RAILING IN
FRONT OF DOUBLE
FRENCH DOORS

METAL CANOPY AT
ENTRANCE

TRELLIS WITH PLANTING

CONCRETE FOUNDATION
WALLS

TRELLIS
PAINTED METAL RAILING

DOUBLE GLAZED
INSULATED WINDOWS

42" HIGH TEMPERED
GLASS RAILING IN
FRONT OF DOUBLE
FRENCH DOORS

METAL CANOPY AT
ENTRANCE

CONCRETE FOUNDATION
WALLS



Building Elevation: Building #3, 6

1/16" = 1'-0"



Building Elevation: Building #3, 6

1/16" = 1'-0"

STANDING SEAM
GALVANIZED METAL
ROOF

DOUBLE GLAZED
INSULATED WINDOWS

42" HIGH TEMPERED
GLASS RAILING IN
FRONT OF DOUBLE
FRENCH DOORS

FRENCH DOORS AT
COMMON SPACE

CONCRETE FOUNDATION
WALLS



Building Elevation: Building #4

1/16" = 1'-0"



Building Elevation: Building #4

1/16" = 1'-0"

STANDING SEAM
GALVANIZED METAL
ROOF

DOUBLE GLAZED
INSULATED WINDOWS

42" HIGH TEMPERED
GLASS RAILING IN
FRONT OF DOUBLE
FRENCH DOORS

CONCRETE FOUNDATION
WALLS



Building Elevation: Typical Gable Roof Building # 1, 2, 5, 7

1/16" = 1'-0"

STANDING SEAM
GALVANIZED METAL
ROOF

DOUBLE GLAZED
INSULATED WINDOWS

42" HIGH TEMPERED
GLASS RAILING IN
FRONT OF DOUBLE
FRENCH DOORS

CONCRETE FOUNDATION
WALLS



Building Elevation: Typical Gable Roof Building # 1, 2, 5, 7

1/16" = 1'-0"

STANDING SEAM
GALVANIZED METAL
ROOF

DOUBLE GLAZED
INSULATED WINDOWS

42" HIGH TEMPERED
GLASS RAILING IN
FRONT OF DOUBLE
FRENCH DOORS

CONCRETE FOUNDATION
WALLS



Building Elevation: Typical Gable Roof Building Over Podium # 1, 2, 5, 7

STANDING SEAM
GALVANIZED METAL
ROOF

DOUBLE GLAZED
INSULATED WINDOWS

42" HIGH TEMPERED
GLASS RAILING IN
FRONT OF DOUBLE
FRENCH DOORS

CONCRETE FOUNDATION
WALLS



Building Elevation: Typical Gable Roof Building Over Podium #1, 2, 5, 7

1/16" = 1'-0"

NOTE: THESE BUILDING ELEVATIONS ARE COMPOSITE DRAWINGS
INTENDED TO SHOW THE DESIGN OF THE BUILDINGS IN VARIOUS
CONFIGURATIONS. THESE ELEVATIONS ARE INTENDED TO AID THE
ARCHITECTURAL REVIEW BOARD IN EVALUATING THE DESIGN.

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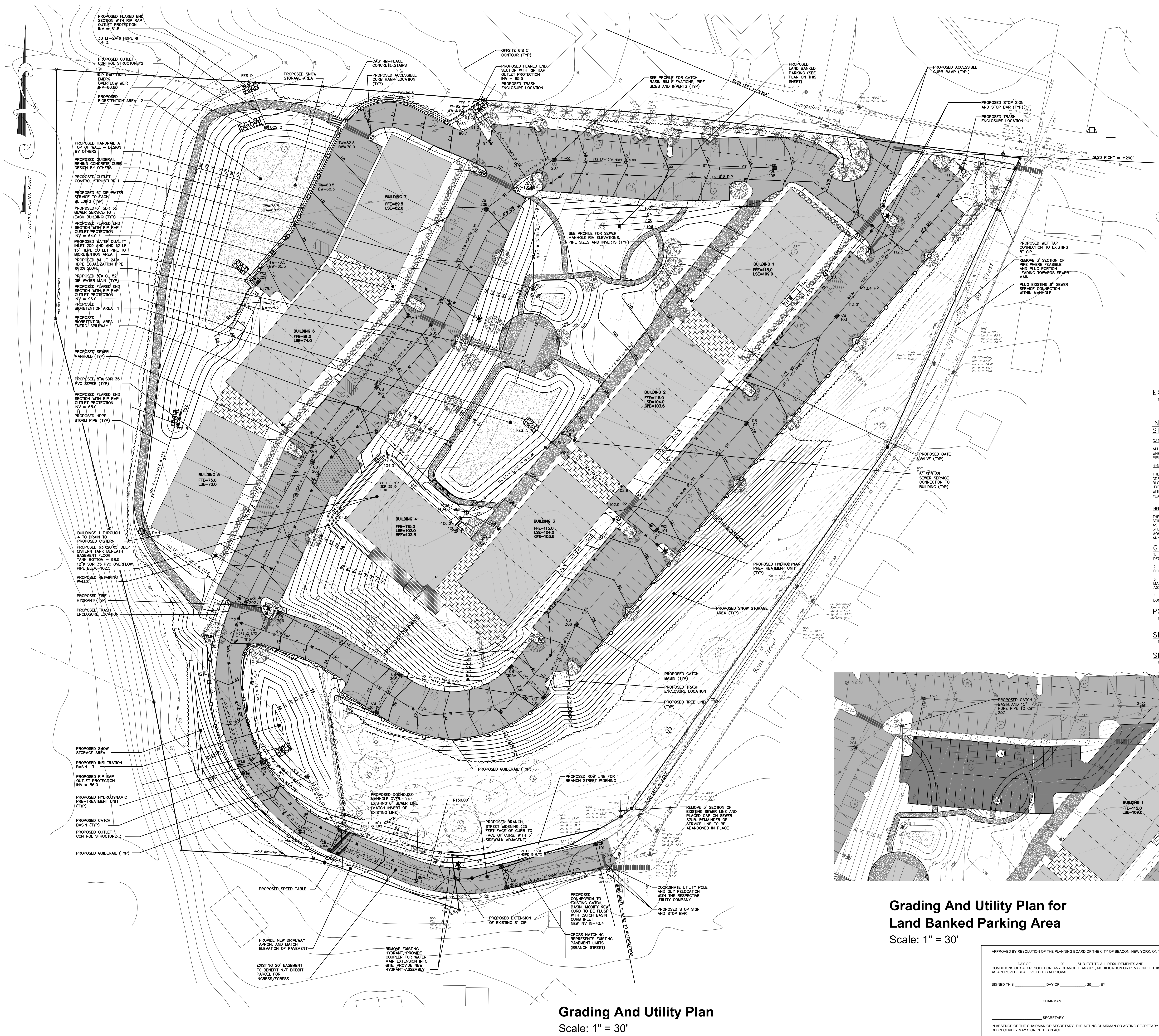
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CHAIRMAN

SECRETARY

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LEGEND:	
RL	EXISTING ROOF LEADER
○	LOCATION
○	SEWER MANHOLE
○	UNKNOWN MANHOLE
○	GUY WIRE ANCHOR
○	UTILITY POLE
○	ELECTRIC BOX
○	HYDRANT
○	WATER VALVE
○	ROUND DROP INLET
○	ELECTRIC METER
○	UTILITY POLE WITH LIGHT
○	COMMUNICATION BOX
○	OVERHEAD WIRES
○	FENCE
○	DROP INLET
○	GAS METER
○	LAMP
○	UNKNOWN VALVE
○	EXISTING WATER EDGE
○	EXISTING EASEMENT LINE
○	PROPOSED CATCH BASIN WITH INLET PROTECTION
○	PROPOSED CLEANOUT
○	PROPOSED HYDRANT
○	PROPOSED WATER VALVE
○	PROPOSED SANITARY MANHOLE
○	PROPOSED RETAINING WALL
○	PROPOSED CULVERT
○	PROPOSED UNDERDRAIN
○	PROPOSED ROOF LEADER PIPE
○	PROPOSED MINOR CONTOUR
○	PROPOSED MAJOR CONTOUR
○	PROPOSED SPOT ELEVATION
○	EXISTING CATCH BASIN
○	EXISTING UTILITY POLE
○	PROPOSED CLEANOUT
○	PROPOSED SEWER SERVICE LINE
○	PROPOSED WATER SUPPLY LINE
○	PROPOSED FENCE
○	IMPERVIOUS SURFACE
○	PROPOSED R/R RAP
○	UTILITY CROSSING LOCATION
○	PROPOSED ROOF LEADER LOCATION
○	PROPOSED WATER SERVICE LINE
○	PROPOSED WATER SHUT-OFF VALVE

EXISTING UNDERGROUND UTILITY NOTES:

1. CONTRACTOR SHALL DIG TEST PITS TO VERIFY LOCATION, SIZE AND PIPE MATERIAL OF EXISTING UNDERGROUND UTILITIES. IF ANY EXISTING UTILITIES ARE NOT IN THE LOCATION WHERE THEY ARE SHOWN ON THE PLAN, IT SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION IMMEDIATELY.

INSPECTION SCHEDULE & LONG TERM MAINTENANCE OF STORMWATER STRUCTURES

CATCH BASINS AND PIPING:

ALL CATCH BASINS SHALL BE INSPECTED AFTER EACH STORM EVENT FOR SEDIMENT ACCUMULATION, AND DEBRIS, AND REMOVE AS NECESSARY. WHEN SEDIMENT ACCUMULATION WITHIN THE CATCH BASIN REACHES 1/2 OF THE SHARP DEPTH, IT SHALL BE REMOVED. ASSOCIATED PIPING SHALL BE INSPECTED ANNUALLY AND ACCUMULATED SEDIMENT SHALL BE REMOVED AS NEEDED.

HYDRODYNAMIC DEVICES:

THE VORTEX UNITS SHALL BE INSPECTED QUARTERLY DURING THE FIRST YEAR OF OPERATION. THE MANUFACTURER RECOMMENDS THAT THE CDS UNITS BE INSPECTED BI-ANNUALLY (ONCE IN THE SPRING AND ONCE IN THE FALL). THE STRUCTURE SHALL BE VISUALLY INSPECTED FOR BLOCKAGES OR OBSTRUCTIONS IN THE INLET OR SEPARATION SCREEN. THE INSPECTION SHOULD ALSO QUANTIFY ACCUMULATION OF HYDROCARBONS, SEDIMENT AND TRASH WITHIN THE SYSTEM. INSPECTIONS AND MAINTENANCE SHALL BE PERFORMED BY QUALIFIED PERSONNEL WITH ADEQUATE TRAINING IN THESE TYPES OF UNITS. THE UNITS SHALL BE CLEANED BY VACUUM TRUCK ONCE A YEAR (EXCEPT FOR THE FIRST YEAR WHERE MORE FREQUENT CLEANINGS MAY BE REQUIRED).

INFILTRATION BASIN:

THE INFILTRATION BASIN SHALL BE INSPECTED MONTHLY FOR SEDIMENT AND DEBRIS ACCUMULATION. INFLOW PIPES, OUTLET STRUCTURES AND SPILLWAYS SHOULD ALSO BE INSPECTED FOR SEDIMENT AND DEBRIS MONTHLY. ANY ACCUMULATED SEDIMENT OR DEBRIS SHOULD BE REMOVED AS NECESSARY. PLANTINGS SHALL BE INSPECTED MONTHLY FOR HEIGHT, FERTILIZER, QUANTITY AND UNAUTHORIZED INVASIVE OR INAPPROPRIATE SPECIES. AFTER STORM EVENTS THE INFILTRATION BASIN DEMATERING DURATION SHOULD ALSO BE MONITORED. THE BASIN FLOOR SHALL BE MOWED AS REQUIRED; HOWEVER, THE GRASS HEIGHT SHALL NOT EXCEED 18". SEDIMENT SHALL BE CLEANED OUT OF THE INFILTRATION BASIN ANNUALLY.

GENERAL CONSTRUCTION NOTES:

1. ALL OTHER UTILITIES (TELEPHONE, ELECTRIC, GAS, CABLE, ETC.) SHALL BE INCORPORATED PRIOR TO CONSTRUCTION. ALL SUCH UTILITY DESIGNS SHALL BE DEVELOPED IN COOPERATION WITH THE RESPECTIVE UTILITY COMPANIES.
2. THE CONTRACTOR SHALL PERFORM A UTILITIES CALL-OUT PRIOR TO CONSTRUCTION TO VERIFY ALL UNDERGROUND UTILITY LOCATIONS BY CONTACTING UPPO @ 1-800-962-7862.
3. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS AND INVERTS OF ALL CATCH BASINS & STORM SEWER LINES, SANITARY MANHOLES & SEWER LINES, WATERLINES AND OTHER UNDERGROUND UTILITY LINES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOT ASSUME THAT ALL LOCATIONS AS SHOWN ON THE PLAN ARE CORRECT. INVESTIGATIVE TEST PITS MAY BE REQUIRED TO VERIFY LOCATIONS.
4. PIPE CONNECTIONS TO ALL CATCH BASINS SHALL BE MADE WATER-TIGHT, WITH PARTICULAR ATTENTION BEING PAID TO CONNECTIONS LOCATED WITHIN 10 FEET OF SEWER MAINS (AND SERVICE LATERALS).

POST CONSTRUCTION NOTES:

1. UPON COMPLETION OF CONSTRUCTION OF THE STORMWATER FACILITIES, AS-BUILT DRAWINGS OF ALL STORMWATER PRACTICES AND AN OPERATION AND MAINTENANCE PLAN MANUAL SHALL BE PROVIDED TO THE CITY OF BEACON.

SNOW STORAGE NOTES:

1. THE SITE OWNER WILL UTILIZE A LOADER TO MOVE SNOW TO THE AREAS DESIGNATED FOR SNOW STORAGE.

SITE CLEARING NOTES:

1. SITE SHALL OCCUR BETWEEN OCTOBER 1ST THROUGH MARCH 31ST IN ACCORDANCE WITH NYSDEC REGULATIONS.



Grading And Utility Plan for Land Banked Parking Area

Scale: 1" = 30'

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REVISIONS:			
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2	3/28/17	PER PLANNING BOARD COMMENTS	MAB
3	4/24/17	PER PLANNING BOARD COMMENTS	MAB
4	5/30/17	PER PLANNING BOARD COMMENTS	MAB
5	7/25/17	PER PLANNING BOARD COMMENTS	MAB
6	8/29/17	PER PLANNING BOARD COMMENTS	MAB
7	9/26/17	PER PLANNING BOARD COMMENTS	MAB
8	10/31/17	PER PLANNING BOARD COMMENTS	MAB
9	11/28/17	NO CHANGE	MAB
10	01/30/18	PER PLANNING BOARD COMMENTS	MAB
11	02/16/18	PER PLANNING BOARD COMMENTS	MAB

Grading And Utility Plan
Sheet 10 of 15