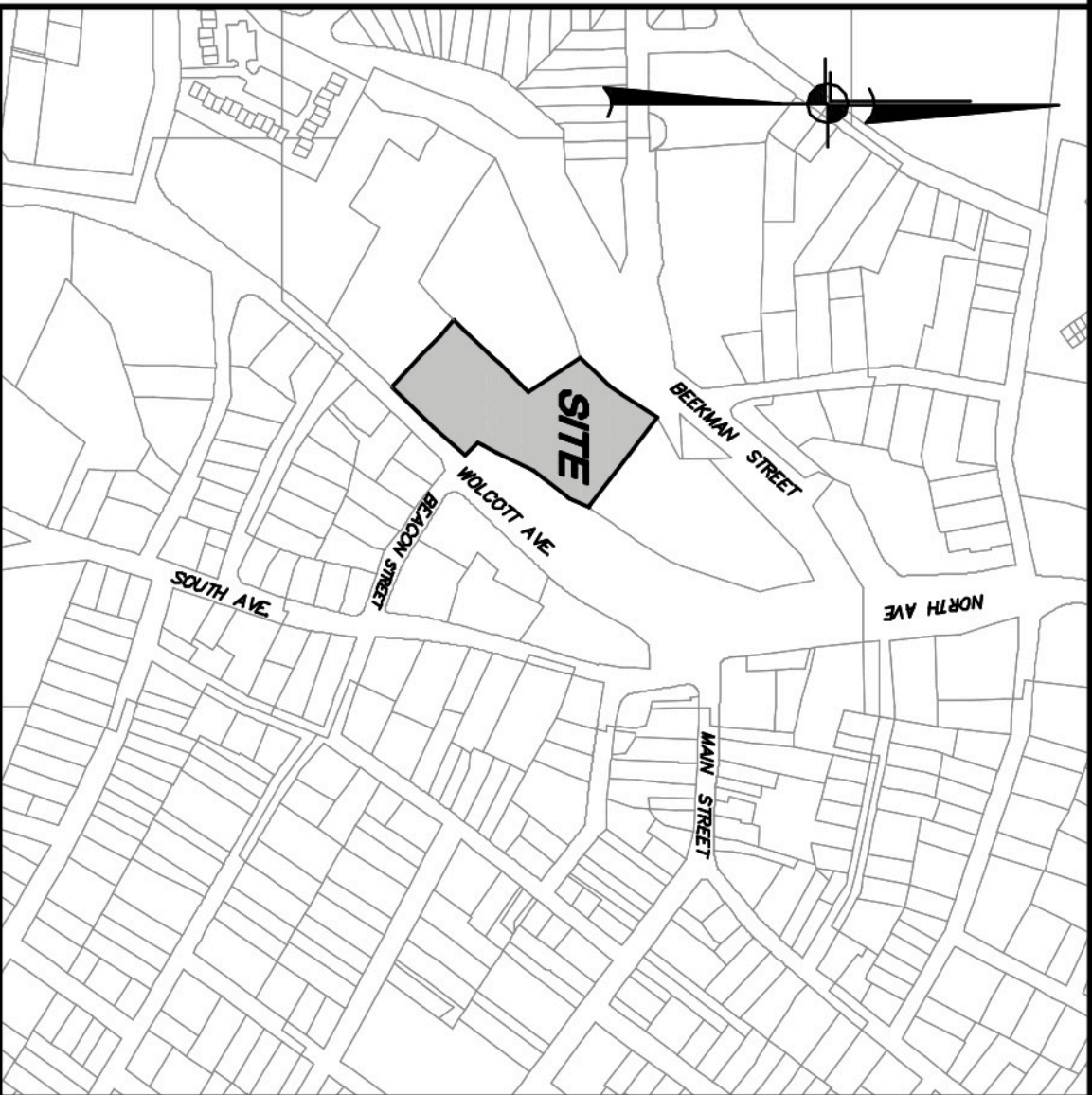
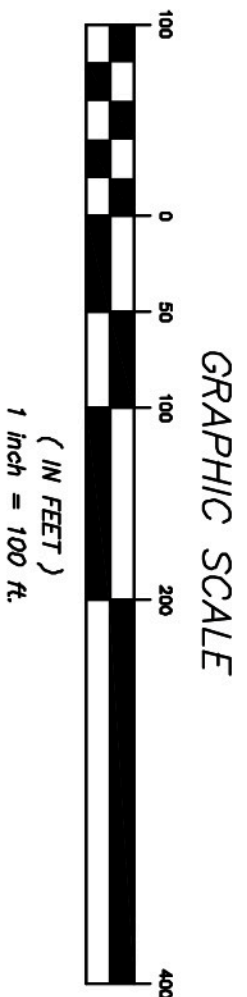


WEST END LOFTS
WOLCOTT AVENUE
CITY OF BEACON, NY



LOCATION MAP SCALE: 1" = 400'±

OWNER:
CITY OF BEACON
100 WOLCOTT AVENUE
BEACON, NY 12508

SITE DATA:
Zone: L (UNIQUE DISTRICT)
Total Acreage: 3.10 AC
Tax Map No.: 3554-25-68831

APPLICANT:
KERANEY REALTY & DEVELOPMENT GROUP
34 CLAYTON BOULEVARD
BALDWIN PLACE, NY 10505

SITE PLAN DRAWING LIST		
DRAWING NO.	DRAWING NAME	SHEET NO.
CS-1	COVER SHEET	1
EX-1	EXISTING CONDITIONS & REMOVALS PLAN	2
SP-1	LAYOUT & LANDSCAPE PLAN	3
SP-2.1	GRADING & DRAINAGE PLAN	4
SP-2.2	UTILITIES PLAN	5
SP-3	EROSION & SEDIMENT CONTROL PLAN	6
PR-1	UTILITY PROFILES	7
S-1	SECTIONS	8
LP-1	LIGHTING PLAN	9
D-1	DETAILS	10
D-2	DETAILS	11
D-3	DETAILS	12
D-4	DETAILS	13
D-5	DETAILS	14

6	1-5-18	REVISIONS PER CITY CONSULTANT COMMENTS	MEU
5	8-29-17	REVISIONS PER CITY CONSULTANT COMMENTS	BD
4	7-25-17	REVISIONS PER CITY CONSULTANT COMMENTS	EG
3	6-27-17	REVISIONS PER CITY CONSULTANT COMMENTS	SJC
2	5-30-17	REVISIONS PER CITY CONSULTANT COMMENTS	CTO
1	4-25-17	REVISIONS PER CITY CONSULTANT COMMENTS	CTO
NO.	DATE	REVISION	BY

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LANDSCAPE ARCHITECTURE, P.C.

3 Garrett Place
Garrett, NY 10526
(845) 225-9717 fax
www.insite-ny.com

PROJECT: WEST END LOFTS

DRAWING: WOLCOTT AVENUE, BEACON, NEW YORK 12508

COVER SHEET

Approved by resolution of the Beacon Planning Board on the _____ day of _____, 20____			
Chairman, City Planning Board		Date	
Project: WEST END LOFTS		Drawing No. CS-1	
Project Number: 16226.100		Project Manager: J.L.C.	
Date: 3-29-17		Drawn: C.T.O.	
Scale: 1" = 100'		Checked: J.L.L.	



GRAPHIC SCALE

(IN FEET)
1 inch = 30 ft.

1. Properly this shown hereon is based on contact of site and requires a lot line rejoinment with the city parcel to the north.
2. No special flood areas are associated with this project parcel.
3. Topography shown hereon is based upon aerial photography dated April 14, 2003 and is photogrammetrically computed. Elevation shown hereon conform to the North American Vertical Datum of 1989 (NAVD, 1989) as derived by GPS observation. The contour interval is 2'.

4. Refer to General Notes on Drawing SP-1 for additional information.

LEGEND	
---	EXISTING PROPERTY LINE
---	TO BE EXTINGUISHED
---	PROPOSED PROPERTY LINE
---	EXISTING CONCRETE CURB
	EXISTING TREE LINE
	EXISTING TREES
	EXISTING TREE TO BE REMOVED
	EXISTING FENCE
---	EXISTING 10' COUNTOUR
---	EXISTING 2' COUNTOUR
	EXISTING UTILITY POLES WITH OVERHEAD WIRES
---	EXISTING GAS LINE
1.2" W	EXISTING WATER MAIN
---	EXISTING DRAINAGE PIPE
☐ D	EXISTING DRAINAGE STRUCTURE
☐ CB	EXISTING SEWER MAIN
S	EXISTING LIGHT POLE
	EXISTING ELECTRIC LINE
E	

7	1-5-17	REVISIONS PER CITY CONSULTANT COMMENTS	MCU
6	6-29-17	REVISIONS PER CITY CONSULTANT COMMENTS	ED
5	7-29-17	REVISIONS PER CITY CONSULTANT COMMENTS	RG
4	6-27-17	REVISIONS PER CITY CONSULTANT COMMENTS	SJC
3	5-30-17	REVISIONS PER CITY CONSULTANT COMMENTS	CRQ
2	4-25-17	REVISIONS PER CITY CONSULTANT COMMENTS	CRQ
1	3-28-17	REVISIONS PER CITY CONSULTANT COMMENTS	BY
NO.	DATE	REVISION	

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(845) 225-9171 fax
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WEST END LOFTS

WOLCOTT AVENUE, BEACON, NEW YORK 12508

EXISTING CONDITIONS & REMOVALS

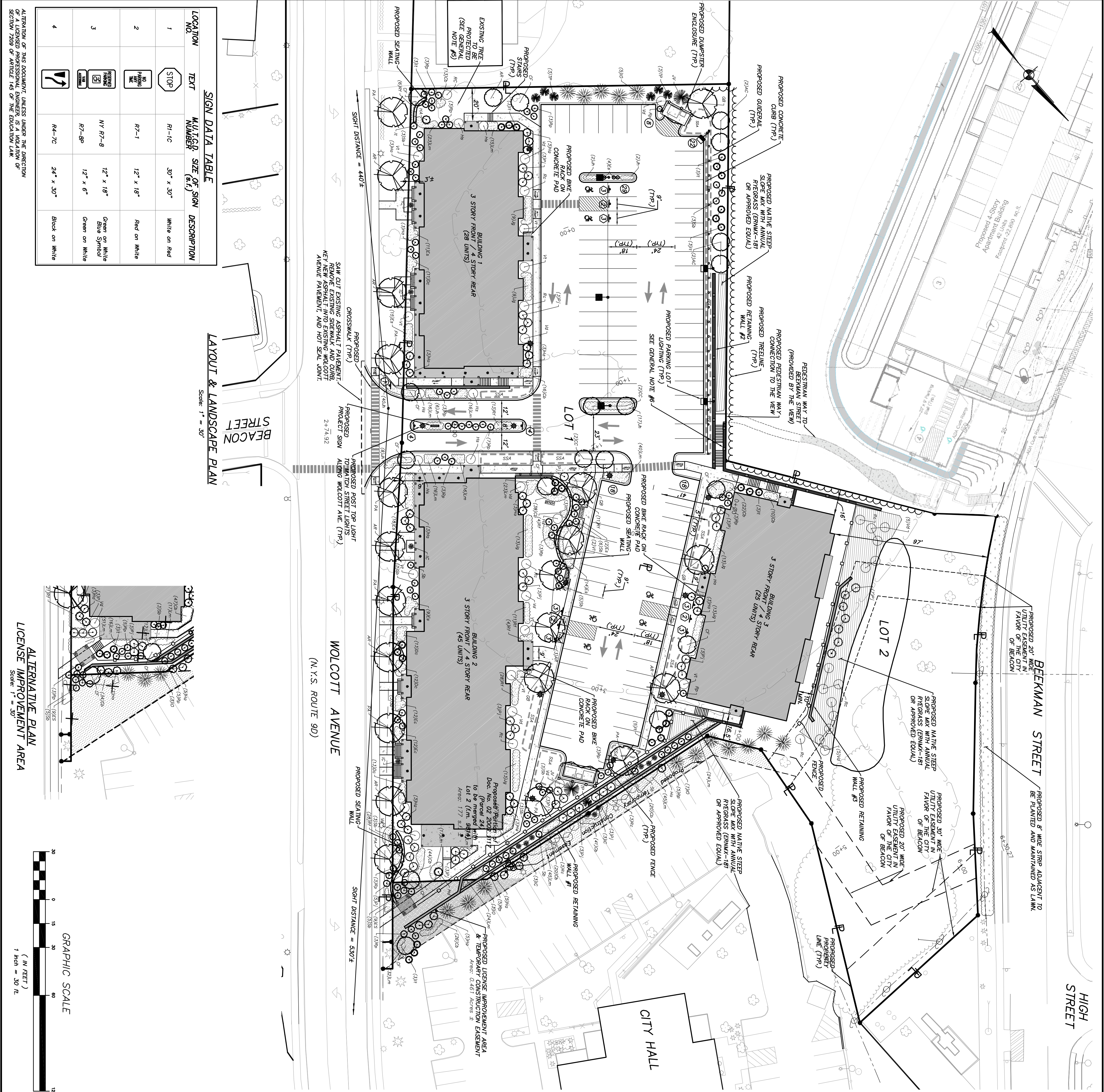
Site Plan

Approved by resolution of the Beacon Planning Board on the
 day of 20

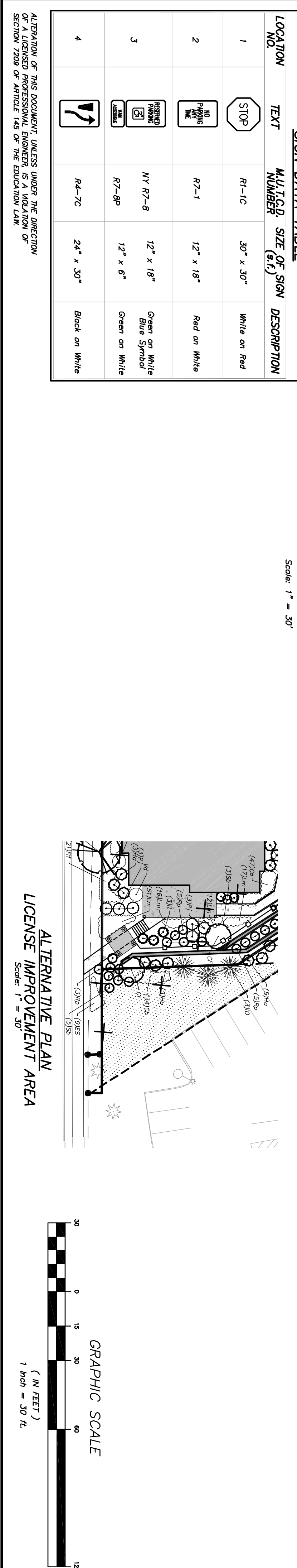
Chairman, City Planning Board

Date _____

PROJECT NUMBER	16226.100	PROJECT MANAGER	J.J.C.	DRAWING NO. EX-1	SHEET 2 14
DATE	1-31-17	DRAWN BY	C.T.Q.		
SCALE	1" = 30'	CHECKED BY	J.L.L.		



LOCATION NO.	TEXT	MULTIPLIER	SIZE OF SIGN (S.F.)	DESCRIPTION
1	STOP	R1-1C	30" x 30"	White on Red
2	NO PARKING	R2-1	12" x 18"	Red on White
3	NO PARKING	R7-R7-8	12" x 18"	Green on White
4	NO PARKING	R7-R7-8	12" x 6"	Blue Symbol
	NO PARKING	R4-7C	24" x 30"	Black on White



LINKAGE DISTRICT REQUIREMENTS:

Subcode	Min./Max. Front	Min. Rear	Min./Max. Side	Min./Max. Building Height	Min. Landscape Area
	0 ft. Min. / 20 ft. Max.	25 ft.	0 ft. Min. / 30 ft. Max.	2 Stories Min. / 4 Stories Max.	15%

PARKING REQUIREMENTS:

1 per Dwelling Unit x 98 units = 98 spaces Required

95 Spaces Provided *

* Weir requested based on proximity to train station & Main Street area.

West End Lofts, Beacon, NY - Unit Breakdown

Building #	1 Br Apartment	2 Br Apartment	Totals
743 s.f.	741 s.f.	969 s.f.	
1	0	14	14
2	3	28	14
3	0	11	14
TOTALS	3	53	42
# of Units	3	53	42
Total Area	2239	3973	4106

PLANT LIST

QTY.	KEY	BOTANICAL/COMMON NAME	SIZE	ROOT
10	AR	SHADE TREES		
4	GB	Acer rubrum / Red Maple	3"-3 1/2" CAL.	B & B
8	PA	Ginkgo biloba / Ginkgo	3"-3 1/2" CAL.	B & B
2	JV	Juniperus virginiana / Eastern Redcedar	7"-8" HT.	B & B
10	IC	Ilex crenata 'Sky Pencil' / Sky Pencil Japanese Holly	4"-5" HT.	B & B
15	IO	Ilex opaca / American Holly	7"-8" HT.	B & B
7	TP	Thuja plicata / Western Arborvitae	6"-7" HT.	B & B
5	AC	AEOLINUS/SPECIMEN TREES		
4	CC	Cercis canadensis / Snowblow Serviceberry	10"-12" HT.	B & B
9	CF	Cornus florida / Eastern Redbud	2'-2 1/2" CAL.	B & B
44	HA	SHRUBS		
7	HA	Hydrangea arborescens / Smooth Hydrangea	21"-24" HT.	#3 CONT.
30	HA	Hibiscus syriacus / Rose of Sharon	3'-4' HT.	B & B
14	HA	Ilex virginica Henry's Garnet / Sweetshrub	15"-18" SPR.	#2 CONT.
40	HA	Pieris japonica / Japanese Andromeda	24"-30" HT.	#3 CONT.
16	HA	Prodracdonia canadensis / Ceyxioa Rhododendron	30"-38" HT.	#3 CONT.
40	HA	Rhododendron x 'PJM' / PJM Rhododendron	18"-24" SPR.	#3 CONT.
40	HA	Spiraea dumalis 'Gold Mound' / Gold Mound Spiraea	18"-24" SPR.	#2 CONT.
52	HA	Viburnum acerifolium / Doublefile Viburnum	2'-3" HT.	#3 CONT.
12	HA	Viburnum acerifolium / Compact American Oakleaf	3'-4' HT.	#3 CONT.
258	HA	BEECHNUTS/COMMON TREES		
44	HA	Cornus canadensis / Bunchberry	4" FOOT	#1 CONT.
80	HA	Desmodium illinoense / Tufted Hair Grass	24" O.C.	#1 CONT.
75	HA	Eryngium yuccifolium / Purple Longears	15"-18" SPR.	#2 CONT.
52	HA	Juniperus horizontalis 'Bar Harbor' / Bar Harbor Juniper	15"-18" SPR.	#2 CONT.
237	HA	Juniperus virginiana 'Grey Owl' / Grey Owl Juniper	15"-18" SPR.	#2 CONT.
86	HA	Juniperus muscicola 'Vanguard' / Vanguard Juniper	15"-18" SPR.	#2 CONT.
86	HA	Rudbeckia hirta 'Goldstrum' / Blood-eyed Susan	24" O.C.	#1 CONT.

GENERAL NOTES:

- Shaded areas shall be removed when trees become full with snow. The owner/operator shall remove access snow from the site to ensure all on-site parking is available for residents.
- All landscaping proposed within the Route 9 right-of-way shall be maintained by the project owner.
- Refer to General Notes on Drawing EX-1 for additional information.
- The removal shall take place between October 31st and March 31st during the cold weather period to avoid the removal of trees being utilized by the residents as landscaping trees.
- Existing 12" oak located in the southeast corner of the property adjacent to the existing parking lot shall be removed and replaced with a new tree of similar size and species. The tree shall be planted per the arborist's recommendation. If the tree is found alive construction to be completed, the tree shall be removed and replaced with a new tree of similar size and species. The tree shall be planted per the arborist's recommendation. All measures shall be taken during construction to protect the tree.
- Proposed temporary construction access and final connection to the view to the City Hall shall be coordinated with the owners of the view prior to construction.
- The Proposed Ontario Blue Spruce (Picea pungens, 8'-9" H.), with relocated dedication plaque and exterior electrical outlet, will be relocated onto City property in consultation with the family who donated the tree.

Site Plan

Approved by resolution of the Beacon Planning Board on the _____ day of _____, 20____.

Chairman, City Planning Board _____ Date _____

WEST END LOFTS

WOLCOTT AVENUE, BEACON, NEW YORK 12508

ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

3 Garrett Place
Beacon, NY 12508
(845) 225-9172 fax
www.hsieh-eng.com

LAYOUT & LANDSCAPE PLAN

PROJECT: WEST END LOFTS

DRAWING: WOLCOTT AVENUE, BEACON, NEW YORK 12508

PROJECT NUMBER: 16226.100 PROJECT MANAGER: J.L.C.

DATE: 10-25-16 DRAWN BY: C.T.O. CHECKED BY: J.L.L.

SCALE: AS SHOWN

SHEET: SP-1 / 14

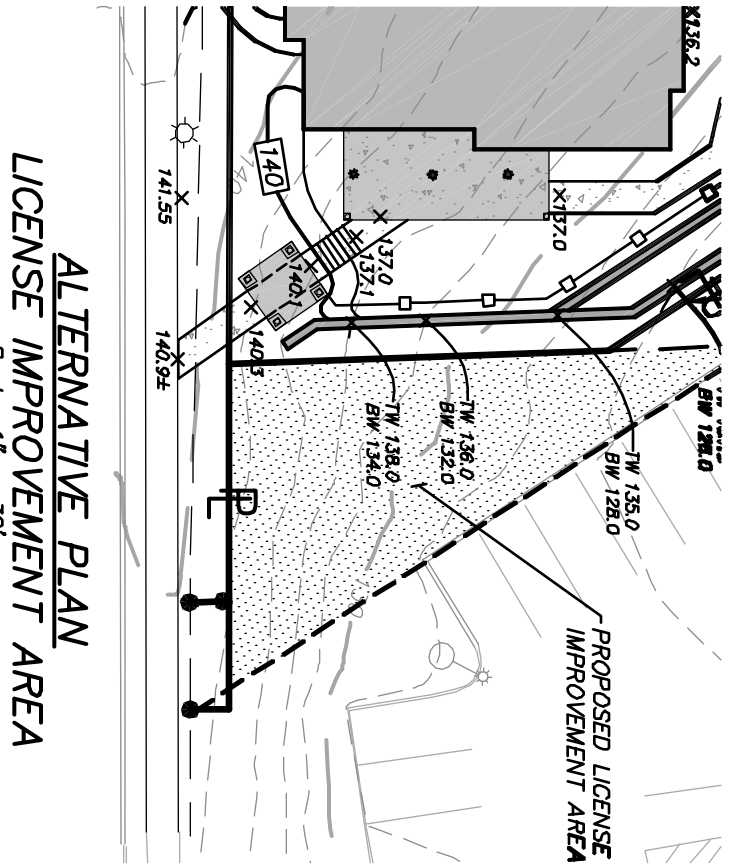
PERMANENT STORMWATER FACILITIES MAINTENANCE SCHEDULE			
PRACTICE/FACILITY	MONTHLY	AFTER MAJOR STORM EVENTS	YEARLY
SURFACE STORMWATER COLLECTION SYSTEMS	-	-	Inspect & clean
SURFACE SAND FILTER	Ensure contributing areas are clean of debris, no evidence of erosion and passing solid structure	Inspect for erosion, soil permeability and passing solid structure	Inspect and clean sediment
STORMWATER CISTERNS	Inspect cisterns for debris or obstructions. Inspect cistern overflow pipes for functionality.	Inspect cisterns to ensure overflow pipes are functioning as designed.	Inspect cisterns for sediment prior to winter weather. Inspect for evidence of sediment for spring snow melt and to be tested and serviced prior to spring.

ALTERNATE OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7809 OF ARTICLE 145 OF THE EDUCATION LAW.

Note: The party responsible for the permanent maintenance schedule is: Agency, Ready & Development Group
Bridget Place, NY 10505
or any future owner/operator

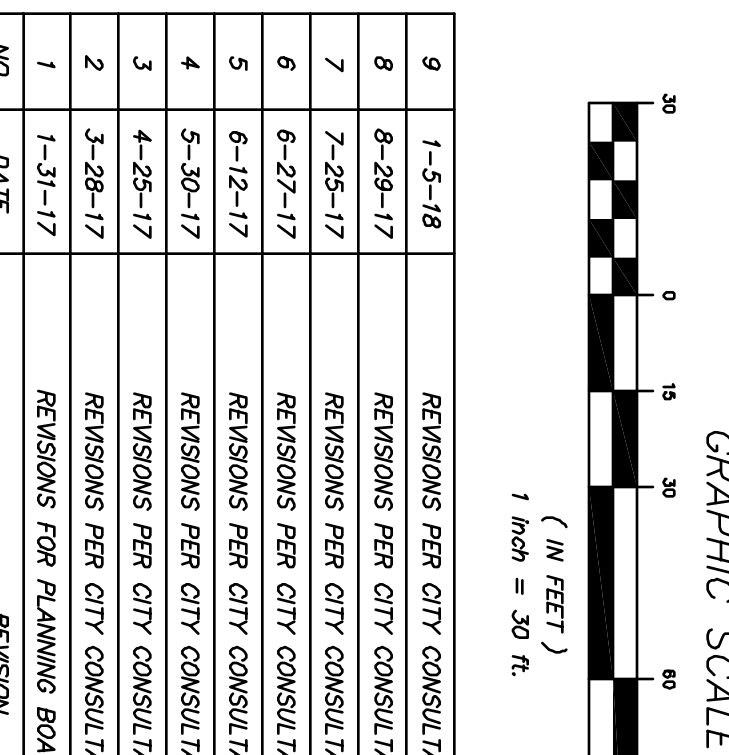
GRADING & DRAINAGE PLAN

SCALE: 1" = 30'

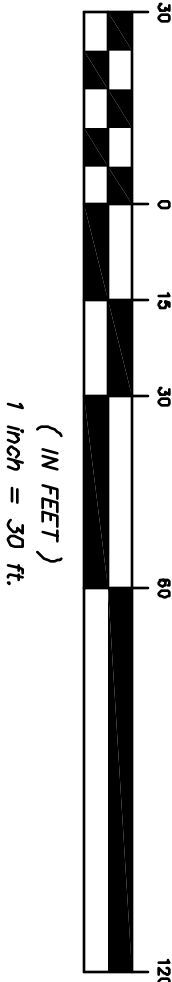


ALTERNATIVE PLAN
LICENSE IMPROVEMENT AREA

SCALE: 1" = 30'



GRAPHIC SCALE



 POINT SITE	
ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.	
3 Garrett Place Corrall, NY 10512 (845) 225-9890 (845) 225-9870 fax www.point-site.com	
PROJECT:	WEST END LOFTS
DRAWING:	GRADING & DRAINAGE PLAN
WALCOTT AVENUE, BEDFORD, NEW YORK 12508	
PROJECT NUMBER	16226.100
DATE	10-25-16
SCALE	1" = 30'
PROJECT MANAGER	J.L.C.
DRAWN BY	C.I.O.
CHECKED	
DATE	11/1
DRAWING NO.	SP-2.1
SHEET	4
	14

REVISIONS PER CITY CONSULTANT COMMENTS		REVISIONS PER CITY CONSULTANT COMMENTS	
9	1-5-16	REVISIONS PER CITY CONSULTANT COMMENTS	MEU
8	8-29-17	REVISIONS PER CITY CONSULTANT COMMENTS	BD
7	7-25-17	REVISIONS PER CITY CONSULTANT COMMENTS	EG
6	6-27-17	REVISIONS PER CITY CONSULTANT COMMENTS	SJC
5	6-12-17	REVISIONS PER CITY CONSULTANT COMMENTS	CIO
4	5-30-17	REVISIONS PER CITY CONSULTANT COMMENTS	CIO
3	4-25-17	REVISIONS PER CITY CONSULTANT COMMENTS	CIO
2	3-28-17	REVISIONS PER CITY CONSULTANT COMMENTS	CIO
1	1-31-17	REVISIONS PER CITY CONSULTANT COMMENTS	MEU
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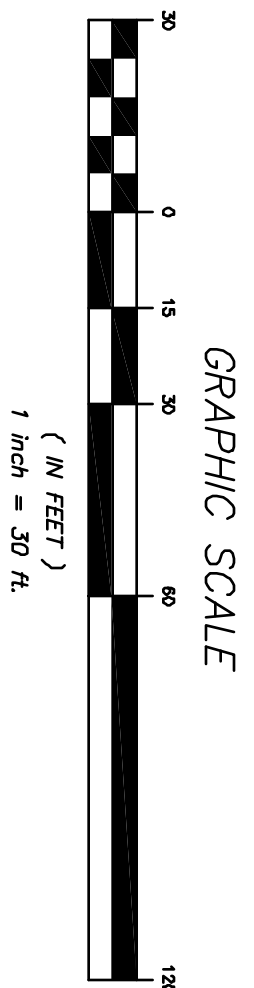
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9	1-5-18	REVISIONS PER CITY CONSULTANT COMMENTS	MEU
8	8-28-17	REVISIONS PER CITY CONSULTANT COMMENTS	BO
7	7-28-17	REVISIONS PER CITY CONSULTANT COMMENTS	EIG
6	6-22-17	REVISIONS PER CITY CONSULTANT COMMENTS	SAC
5	6-12-17	REVISIONS PER CITY CONSULTANT COMMENTS	JLL
4	5-30-17	REVISIONS PER CITY CONSULTANT COMMENTS	CTO
3	4-28-17	REVISIONS PER CITY CONSULTANT COMMENTS	CTO
2	3-28-17	REVISIONS PER CITY CONSULTANT COMMENTS	CTO
1	1-31-17	REVISIONS FOR PLANNING BOARD SUBMISSION	MEU
NO	DATE	REVISION	BY



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www.insite-eng.com

WEST END LOFTS

WOLCOTT AVENUE, BEACON, NEW YORK 12508

DRAWING:

UTILITIES PLAN

--	--

NUMBER	MANAGER
10220.100	J.J.C.

DATE	10/20/20	BY	S.L.B.
SP-2.2 / 14			