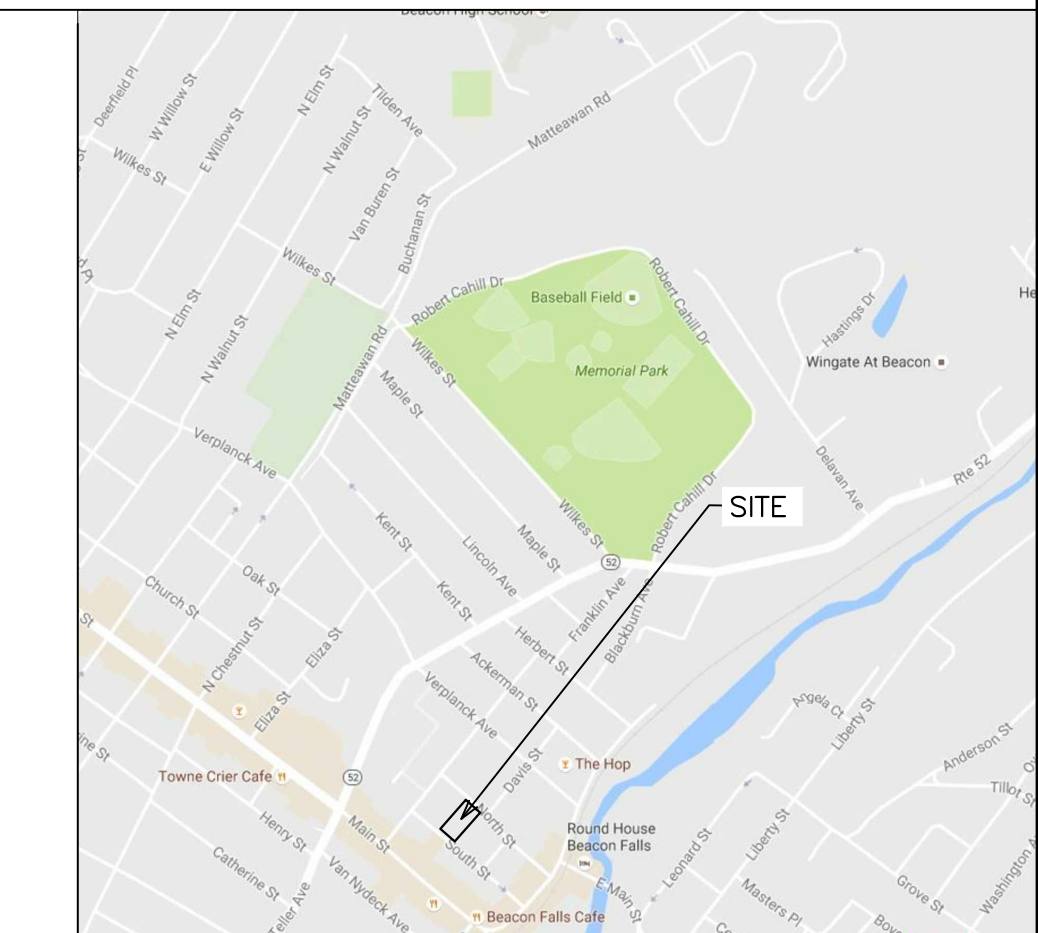
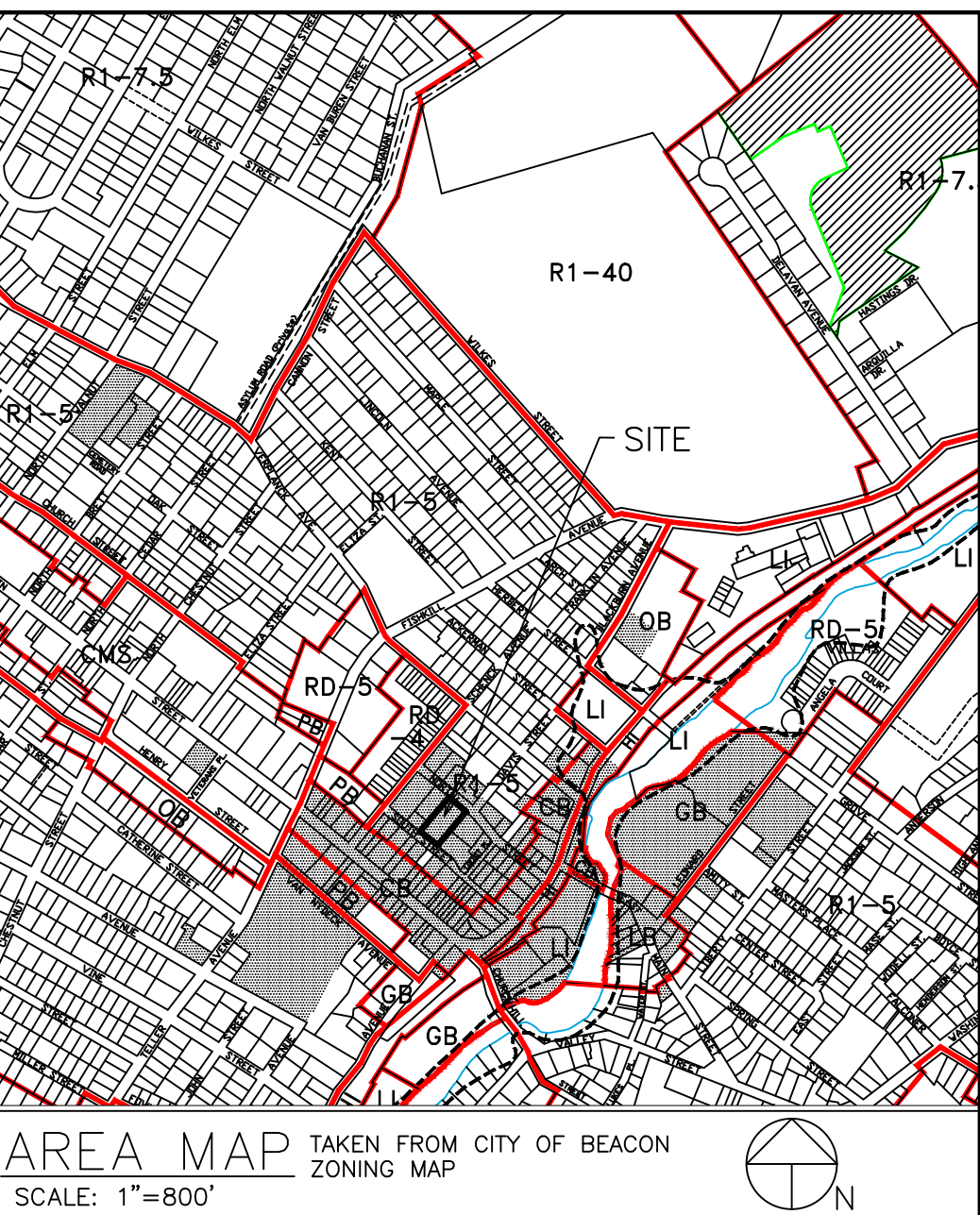
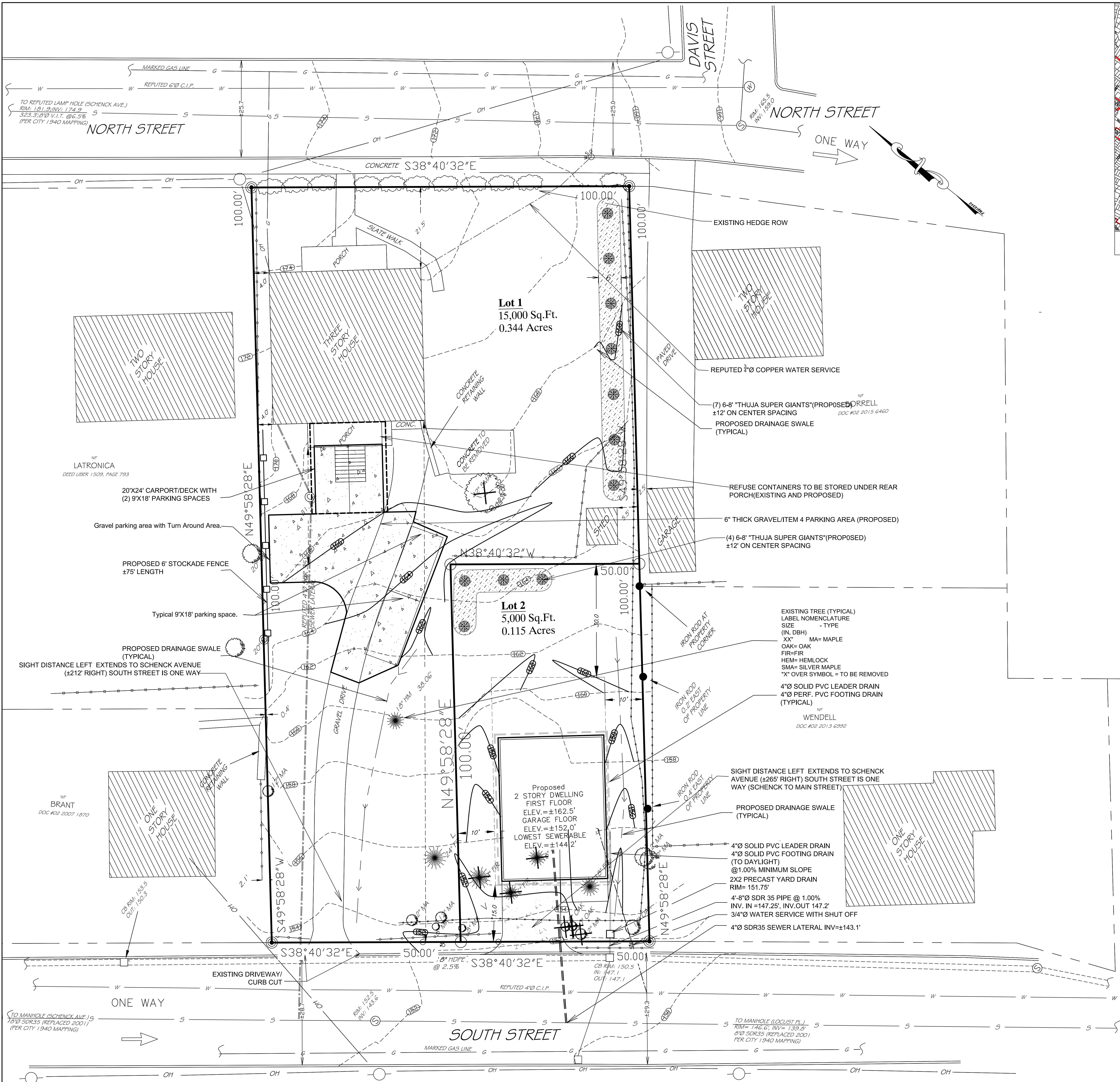




GENERAL NOTES:

- OWNER/APPLICANT: BEACON RESIDENTIAL, LLC. (C/O TIM OWEN)
50 RED SCHOOLHOUSE ROAD
FISHKILL, NEW YORK 12524
- ZONING DISTRICT - R 1-5; 1 FAMILY (5,000 SQ.FT./DWELLING)
**Historic District and Landmark Overlay Zone
- TAX MAP PARCEL # 6054-29-086785
- FIRE DISTRICT - BEACON
- Required Setbacks
Front= 30'
Side= 10'
Total of Two Sides= 20'
Rear= 30'
Lot Width= 50'
Lot Depth= 100'
- Existing Setbacks
3' Story Building (4 Family Dwelling)
Front ±21.5'
Side ±4' & ±56'
Rear ±138'
*Existing Non-Conforming Setback
Lot Depth 200'
- Proposed Setbacks
LOT 1 (Area=15,000 Sq.Ft.)
Two Family Dwelling (Existing Building)
Front ±22'
Side ±4' & ±56'
Rear ±38'
*Existing Non-Conforming Setback
Lot Width 100'
Lot Depth 100'
LOT 2 (Area=5,000 Sq.Ft.)
Single Family Dwelling
Front 15' (to match neighborhood)
Side 10' & 10'
Rear 30'
Lot Width 50'
Lot Depth 100'
- Proposed Parking
Minimum Off-Street Parking Required
Multifamily dwelling and/or apartment or artist live/work space
[Amended 8-6-2001 by L.L. No. 12-2001]
1 space for each dwelling unit, plus 1/4 space for each bedroom, plus 1/2 space for each live/work space containing retail area
(2) Four Bedroom Units requires 4 Spaces

Front Yard Setback Note
§223-13 Yards: Building Projections
K. Exception for existing alignment of buildings. If on one side of a street within 250 feet of any lot there is pronounced uniformity of alignment of the fronts of existing buildings and of the depths of front yards greater or less than the depth specified in the Schedules of Regulations, (1) a front yard shall be required in connection with any new building which shall conform as nearly as practicable to those existing on the adjacent lots, except that no such building shall be required to set back from the street a distance greater than 40 feet.

Sight Distance Note
All driveways shall be constructed in compliance with Section 192-9(B) of the City of Beacon Code.

REVISION NUMBER	DESCRIPTION	DRAWN BY:	DATE:
1	REDUCED TO 2 LOT SUBDIVISION/ ADDED PARKING FOR MF	SKB	08/29/17



Beacon Residential LLC, Subdivision	Burns Engineering Services, P.C. 58 Teller Avenue Beacon, New York 12508 TEL: 845-546-3310 FAX: 845-546-6613 SBurns@BurnsEngineeringServices.com
SUBDIVISION PLAT	DATE: SCALE: SHEET DRAWN BY: 1 OF 2