

ARYEH SIEGEL

ARCHITECT

Jay Sheers - Planning Board Chairman
City of Beacon
One Municipal Plaza
Beacon, NY 12508

Re: Beacon Lofts
Special Use Permit Application – Comment Letters

August 29, 2017

Dear Mr. Sheers & Board Members,

Please find below the Applicant's response to John Clarke Planning & Design comments in his Memorandum dated August 4, 2017; and in Lanc & Tully's Memorandum dated August 4, 2017 regarding the Beacon HIP Lofts application. Hudson Land Design will respond to additional Engineering comments.

John Clarke Planning & Design Comment Responses:

1. The EAF has been updated and resubmitted. Note that the EAF now highlights a significant water savings for this property based on new data regarding the elimination of the commercial laundry.
2. The previously approved Site Plan drawing and Lighting and Landscape drawing has been included in the set for reference.
3. Comment acknowledged. A height variance will be requested at the September Zoning Board hearing to allow Building 16 to exceed the normally required maximum height. Note that a similar variance was granted previously for the new construction of building 9A. Building 9A is now removed from the scope of work and consolidate with the new construction of Building 16.
4. In order to stay with the nature of the existing site and previously approved site plan, the Applicant respectfully requests that the planting strip noted in this comment be omitted. It would only be able to be installed in a small location, and the Applicant feels that it would appear out of place with the rest of the property.

The wide section of entry has been striped as a drop-off zone. Again, parking would be inconsistent with the nature of the site if it were to be added in this location.

The updated parking sections have been designed with 20 foot long spaces and 25' aisles in order to remain consistent with the existing parking immediately adjacent. The Applicant feels

that it would be inconsistent with the adjacent parking if the parking space size and aisle width were changed in this area.

5. The Elevations have been updated to include all sides of Building 9. We are awaiting photorealistic renderings of Building 16, and we will ask Tim Dexter to arrange a meeting with the ARB Subcommittee when the renderings are in hand.
6. Comment acknowledged. The application will require the previously approved Certificate of Appropriateness to be updated to include the newly proposed scope of work.
7. The lighting plan has been updated. Note that the Applicant is not proposing additional light fixtures, and is reconfiguring previously approved fixtures to conform with the newly proposed layout.
8. The Landscaping Plan was revised to include proposed trees and other plantings around the Community Garden
9. There was considerable discussion and negotiation involved in designing the Greenway Trail in its present location. The Applicant has agreed to revisit the layout when they develop the adjacent vacant parcel. The Applicant does not intend to redesign the Greenway Trail along with the current application.

Lanc & Tully Comment Responses:

General

1. Comment acknowledged. A height variance will be requested at the September Zoning Board hearing to allow Building 16 to exceed the normally required maximum height. Note that a similar variance was granted previously for the new construction of building 9A. Building 9A is now removed from the scope of work and consolidate with the new construction of Building 16.
2. Refer to Hudson Land Design response.
3. Refer to Hudson Land Design response.
4. Refer to Hudson Land Design response.
5. Refer to Hudson Land Design response.

Sheet 1 of 10 - Site Plan

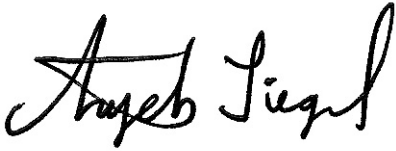
1. Text has been revised for legibility

The wood decks behind the addition to Building 9 are noted to be carefully coordinated with existing utilities. This was how the existing decks were designed and located.

Sheet 3 of 10 – Lighting and Landscape Plan

1. Building numbers and labels have been added to the plan
2. Landscaping has been coordinated with utilities.
3. The lighting plan has been updated. Note that the Applicant is not proposing additional light fixtures, and is reconfiguring previously approved fixtures to conform with the newly proposed layout.

Thank you. Please let me know if you have any questions.

A handwritten signature in black ink, reading "Aryeh Siegel". The signature is fluid and cursive, with the first name "Aryeh" and last name "Siegel" clearly distinguishable.

Sincerely,
Aryeh Siegel
Aryeh Siegel, Architect