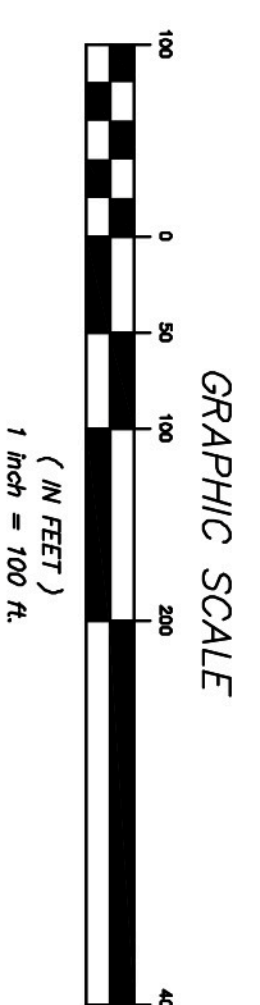
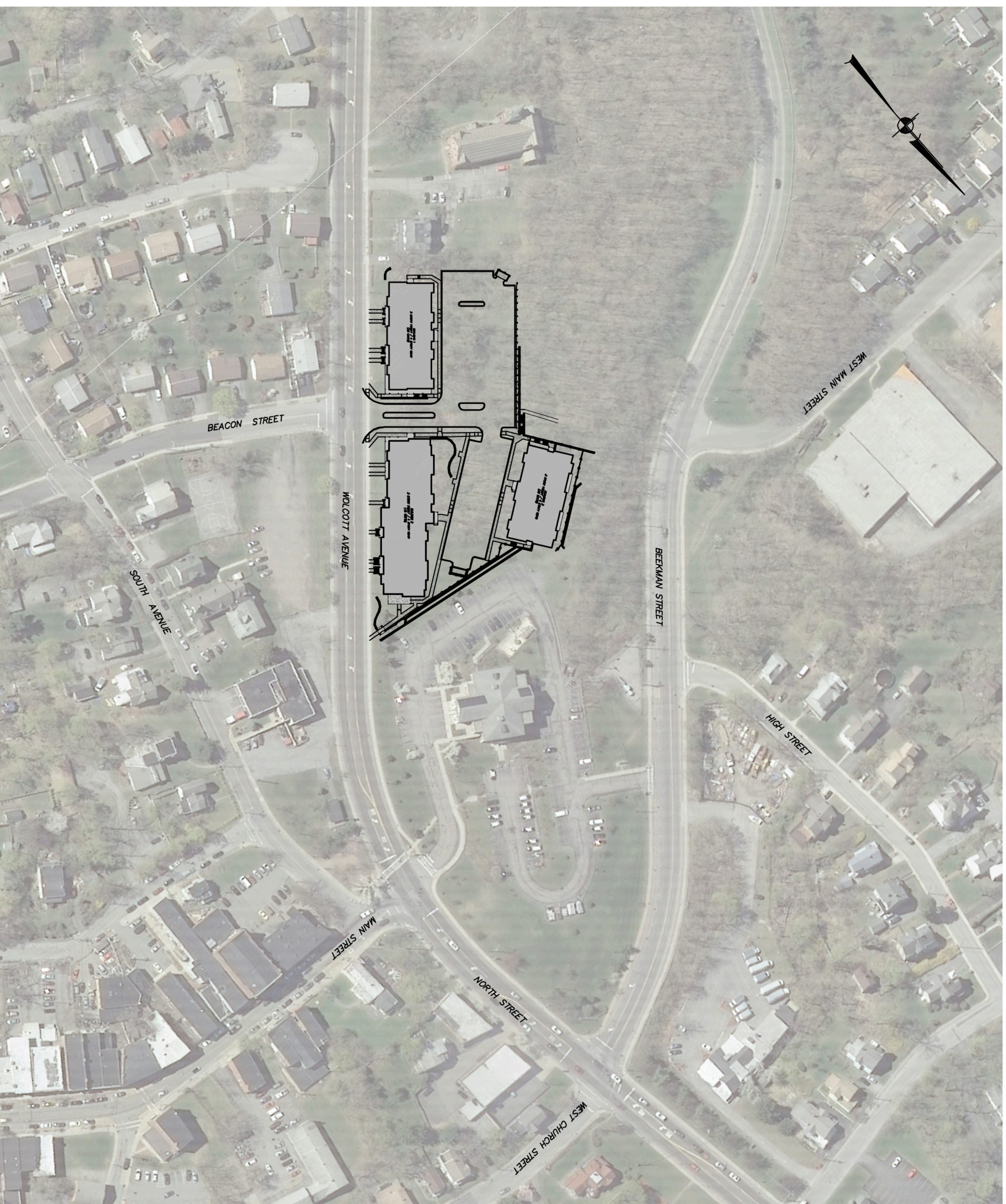
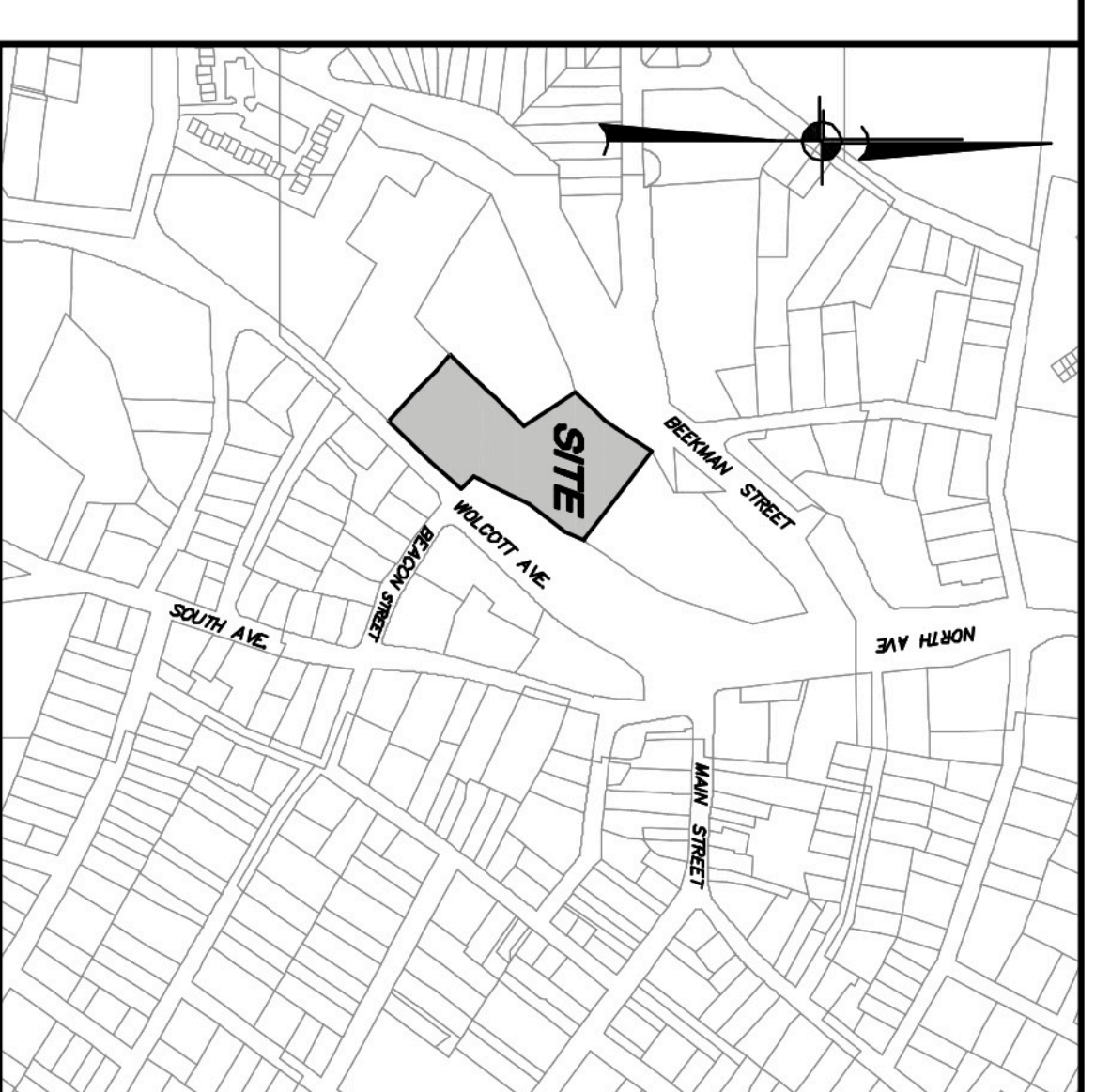


WEST END LOFTS

WOLCOTT AVENUE CITY OF BEACON, NY



ATTENTION: THIS DOCUMENT, UNLESS INDICATED OTHERWISE, IS THE PROPERTY OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 148 OF THE EDUCATION LAW.



LOCATION MAP
SCALE: 1" = 400'±

OWNER:
CITY OF BEACON
100 WOLCOTT AVE
BEACON, NY 12508

SITE DATA:
Zone: L (LINKAGE DISTRICT)
Total Area: 310 AC
Tax Map No.: 3504-28-888931

APPLICANT:
REGENCY REALTY & DEVELOPMENT GROUP
34 CLAYTON BOULEVARD
BALDWIN PLACE, NY 10505

SITE PLAN DRAWING LIST		
DRAWING NO.	DRAWING NAME	SHEET NO.
CS-1	COVER SHEET	1
EX-1	EXISTING CONDITIONS & REMOVALS PLAN	2
SP-1	LAYOUT & LANDSCAPE PLAN	3
SP-2.1	GRADING & DRAINAGE PLAN	4
SP-2.2	UTILITIES PLAN	5
SP-3	EROSION & SEDIMENT CONTROL PLAN	6
PR-1	UTILITY PROFILES	7
S-1	SECTIONS	8
LP-1	LIGHTING PLAN	9
D-1	DETAILS	10
D-2	DETAILS	11
D-3	DETAILS	12
D-4	DETAILS	13
D-5	DETAILS	14

NO.	DATE	REVISION	BY
4	7-25-17	REVISIONS PER CITY CONSULTANT COMMENTS	EG
3	6-27-17	REVISIONS PER CITY CONSULTANT COMMENTS	SJC
2	5-30-17	REVISIONS PER CITY CONSULTANT COMMENTS	CTD
1	4-28-17	REVISIONS PER CITY CONSULTANT COMMENTS	CTD

CONSISTE
ENGINEERING, SURVEYING &
LANDSCAPE ARCHITECTURE, P.C.
3 Gerritt Place
Gerritt, NY 10922
(845) 225-9717 fax
www.heller-erig.com

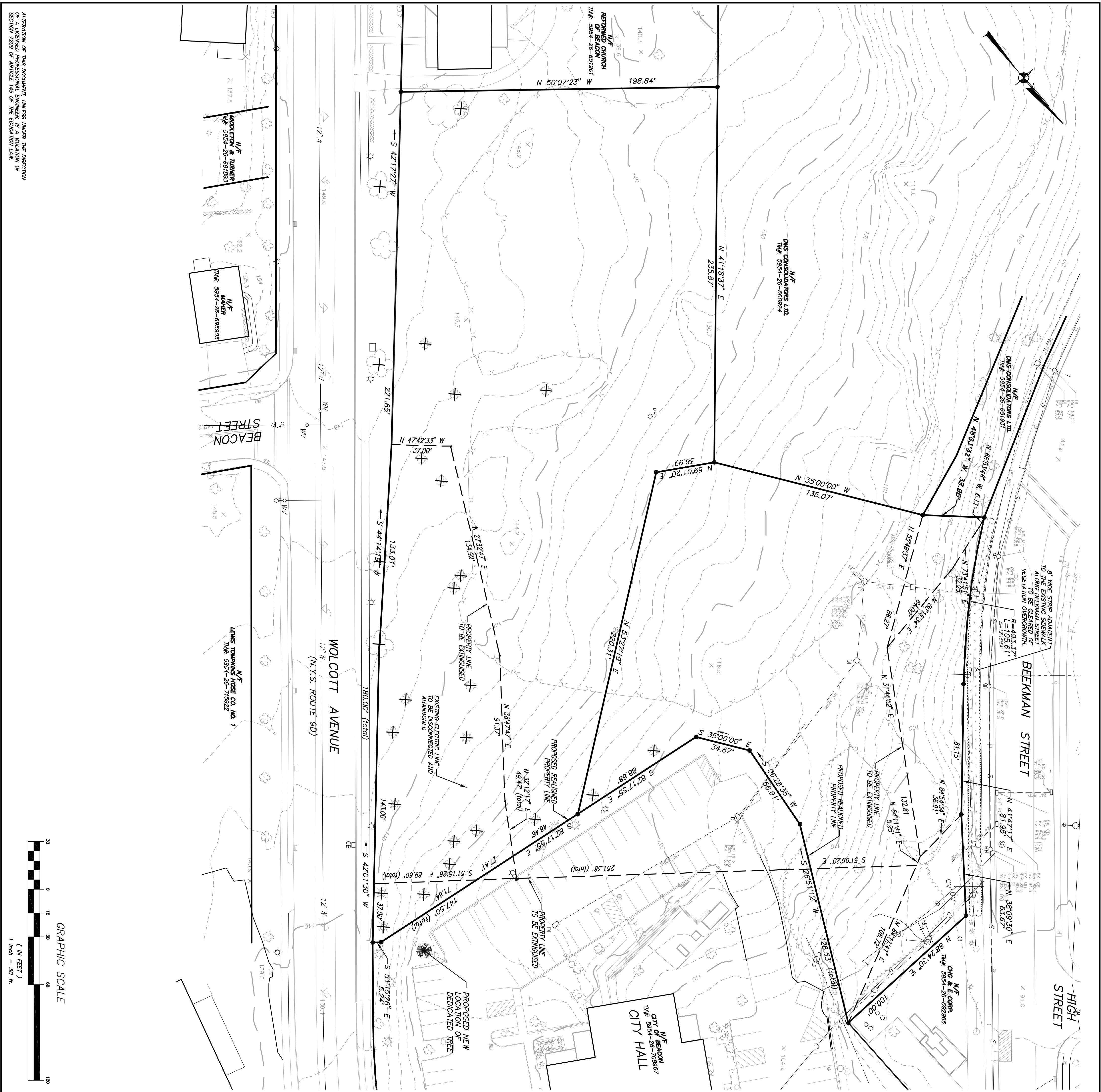
PROJECT:
WEST END LOFTS

DRAWING:
WOLCOTT AVENUE, BEACON, NEW YORK 12508

COVER SHEET

Site Plan
Approved by resolution of the Beacon Planning Board on the _____ day of _____, 20____
Chairman, City Planning Board _____ Date _____

PROJECT NUMBER	PROJECT MANAGER	J.L.C.	DRAWING NO.	SHEET
16228100	J.L.C.	J.L.C.	CS-1	1
DATE	DRAWN	C.T.O.		
3-29-17	J.L.L.	J.L.L.		
SCALE	CHECKED			
1" = 100'	EG			14



LEGEND

---	EXISTING PROPERTY LINE TO BE EXTINGUISHED
---	PROPOSED PROPERTY LINE
---	EXISTING CONCRETE CURB
---	EXISTING TREE LINE
✕	EXISTING TREES
✕	EXISTING TREE TO BE REMOVED
---	EXISTING FENCE
---	EXISTING 10' CONTOUR
---	EXISTING 2' CONTOUR
---	EXISTING UTILITY POLES WITH OVERHEAD WIRES
---	EXISTING GAS LINE
---	EXISTING WATER MAIN
---	EXISTING DRAINAGE PIPE
---	EXISTING DAMAGE STRUCTURE
---	EXISTING SEWER MAIN
---	EXISTING LIGHT POLE
---	EXISTING ELECTRIC LINE

- GENERAL NOTES:**
- Property line shown herein is based on contract of sale and requires a lot line readjustment with the City parcel to the north.
 - No special flood areas are associated with this project parcel.
 - Topography shown herein is based upon aerial photography dated April 14, 2003 and is a photogrammetric derivation of the National Aeronautics and Space Administration Vertical Datum of 1988 (N.A.V.D. 1988) as derived by GPS observation. The contour interval is 2'.
 - Refer to General Notes on Drawing SP-1 for additional information.

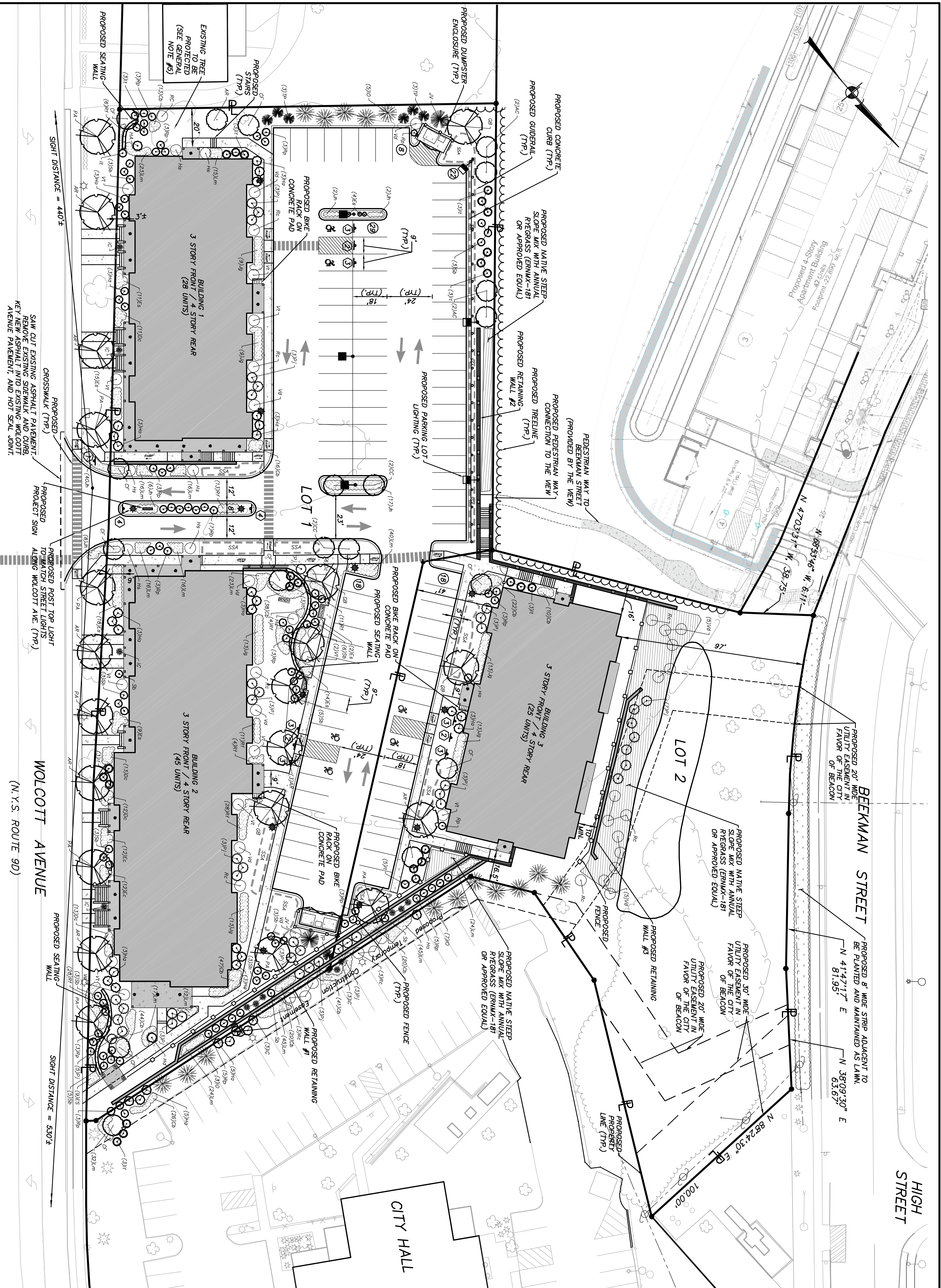
Site Plan
 Approved by resolution of the Beacon Planning Board on the _____ day of _____, 20____.
 Chairman, City Planning Board _____ Date _____

NO.	DATE	REVISIONS PER CITY CONSULTANT COMMENTS	REVISION	BY
5	7-26-17	REVISIONS PER CITY CONSULTANT COMMENTS		EG
4	6-27-17	REVISIONS PER CITY CONSULTANT COMMENTS		SJC
3	5-30-17	REVISIONS PER CITY CONSULTANT COMMENTS		CTD
2	4-26-17	REVISIONS PER CITY CONSULTANT COMMENTS		CTD
1	3-29-17	REVISIONS PER CITY CONSULTANT COMMENTS		CTD

INSITE
 ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.
 3 Garrett Place
 Great Neck, NY 11032
 (516) 466-1800
 (516) 466-1801
 (516) 466-1802
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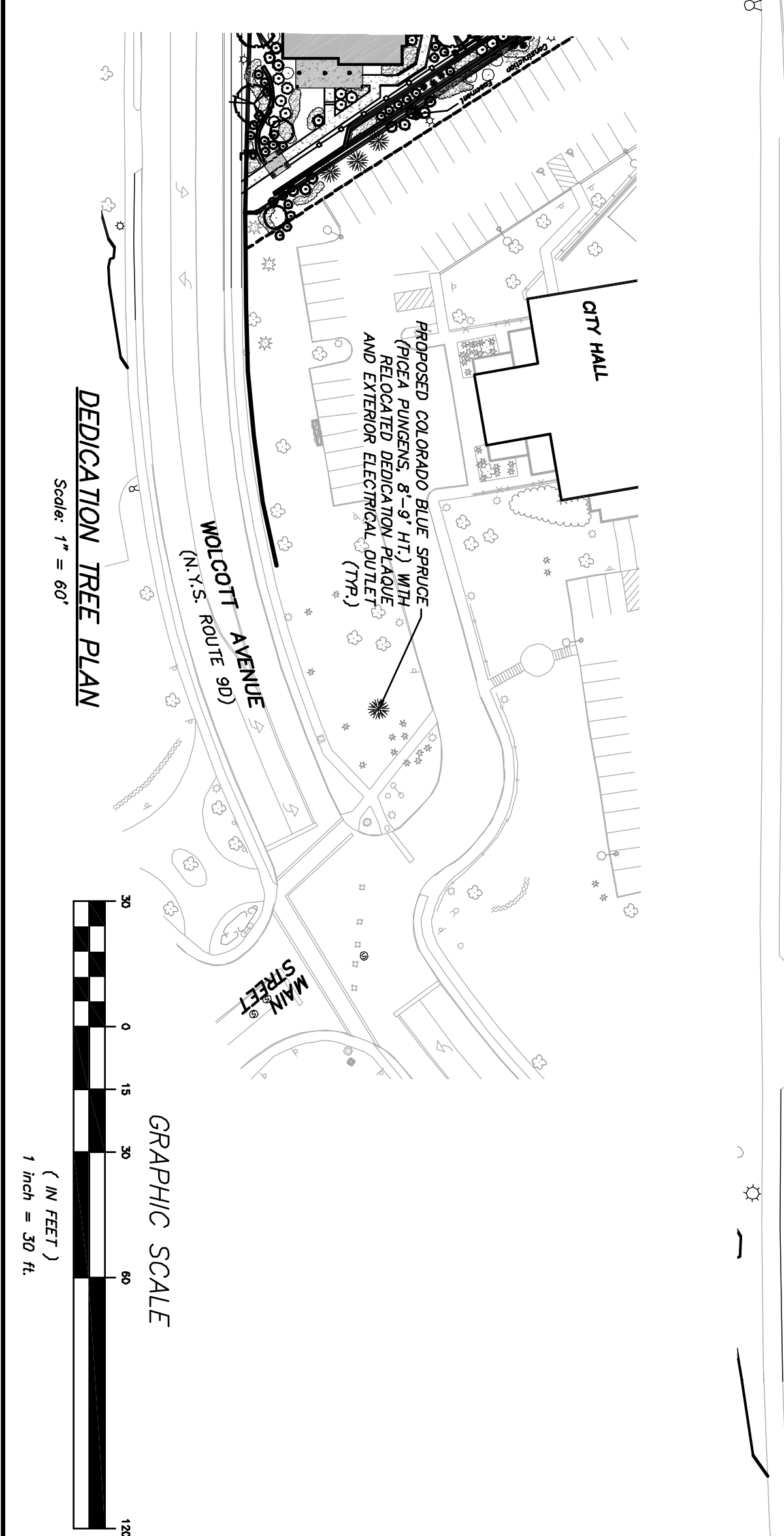


ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 174 OF THE EDUCATION LAW.



SIGN DATA TABLE

LOCATION NO.	TEXT	MULTIPLY NUMBER	SIZE OF SIGN (S.F.)	DESCRIPTION
1	STOP	R1-1C	30" x 30"	White on Red
2	NO PARKING	R2-1	12" x 18"	Red on White
3	NO PARKING	R7-R9	12" x 18"	Green on White Blue Symbol
4	NO PARKING	R4-7C	24" x 30"	Black on White



GENERAL NOTES:

- Should snow storage areas shown herein become full with snow, the entire parking is available for residents.
- All landscaping proposed within the Route 9 right-of-way shall be maintained by the project owner.
- Refer to General Notes on Drawing EX-1 for additional information.
- The removal shall take place between October 31st and March 31st during the winter season to avoid the removal of trees being utilized by the adjacent site as existing trees.
- Existing 42" oak located in the southeast corner of the property adjacent to the intersection of Beacon Street and Wolcott Avenue shall be protected and maintained. If the tree is found after construction to be dead or dying, the contractor shall be responsible for the removal and replacement of the tree. The tree shall be planted in the same location and shall be maintained for a minimum of 10 years. All measures shall be taken during construction to protect the tree.

PLANT LIST

QTY.	KEY	BOTANICAL/COMMON NAME	SIZE	ROOT
10	AR	SLADE TREES	3'-3 1/2' CAL.	B & B
4	GB	Acer rubrum / Red Maple	3'-3 1/2' CAL.	B & B
4	GB	Ginkgo biloba / Ginkgo	3'-3 1/2' CAL.	B & B
8	PA	Prunus pennsylvanica / Black Cherry	3'-3 1/2' CAL.	B & B
2	IC	EMERGENT TREES	7'-8' HT.	B & B
10	JV	Juniperus virginiana / Eastern Redcedar	4'-5' HT.	B & B
15	IO	Ilex opaca / American Holly	7'-8' HT.	B & B
7	TP	Thuja plicata / Western Arborvitae	6'-7' HT.	B & B
5	AC	FLOWERING/SEMI-TREES	10'-12' HT.	B & B
4	CC	Amelanchier canadensis / Shadblow Serviceberry	2'-3 1/2' CAL.	B & B
9	CF	Cornus florida / White Flowering Dogwood	2'-2 1/2' CAL.	B & B
44	HO	SHRUBS	2'-2 1/2' HT.	#3 CONT.
7	Hs	Hydrangea obtusifolia / Smooth Hydrangea	3'-4' HT.	B & B
30	II	Ilex verticillata / Wintergreen	15'-18' SHR.	#2 CONT.
40	PJ	Pieris japonica / Japanese Andromeda	24'-30' HT.	#3 CONT.
18	PE	Rhododendron canadense / Canadian Rhododendron	30'-35' HT.	#3 CONT.
49	NP	Rhododendron x 'FAL' / P.M. Rhododendron	18'-24' HT.	#3 CONT.
40	SB	Spiraea bumalda / Gold Mound Spirea	2'-3 1/2' SHR.	#2 CONT.
18	VV	Viburnum tomentosum / Doublefile Viburnum	2'-3 1/2' SHR.	#2 CONT.
12	VV	Viburnum trilobum / Compact American Cranberry	3'-4' HT.	#3 CONT.
268	CB	BERBERIS/DOGWOODS/GRASSES	4" POT.	18" O.C.
44	DE	Cornus canadensis / Bunchberry	#1 CONT.	24" O.C.
80	ES	Desmodium illinoense / Turtled Hair Grass	30" O.C.	24" O.C.
75	ES	Eryngium yuccifolium / Purple Lovegrass	15'-18" SHR.	#2 CONT. / 36" O.C.
52	Jy	Juniperus horizontalis 'Bar Harbor' / Bar Harbor Juniper	15'-18" SHR.	#2 CONT. / 36" O.C.
237	Ln	Linum catharticum / Catnip	#1 CONT.	24" O.C.
86	Rl	Rubus odoratus / Black-eyed Susan	#1 CONT.	24" O.C.

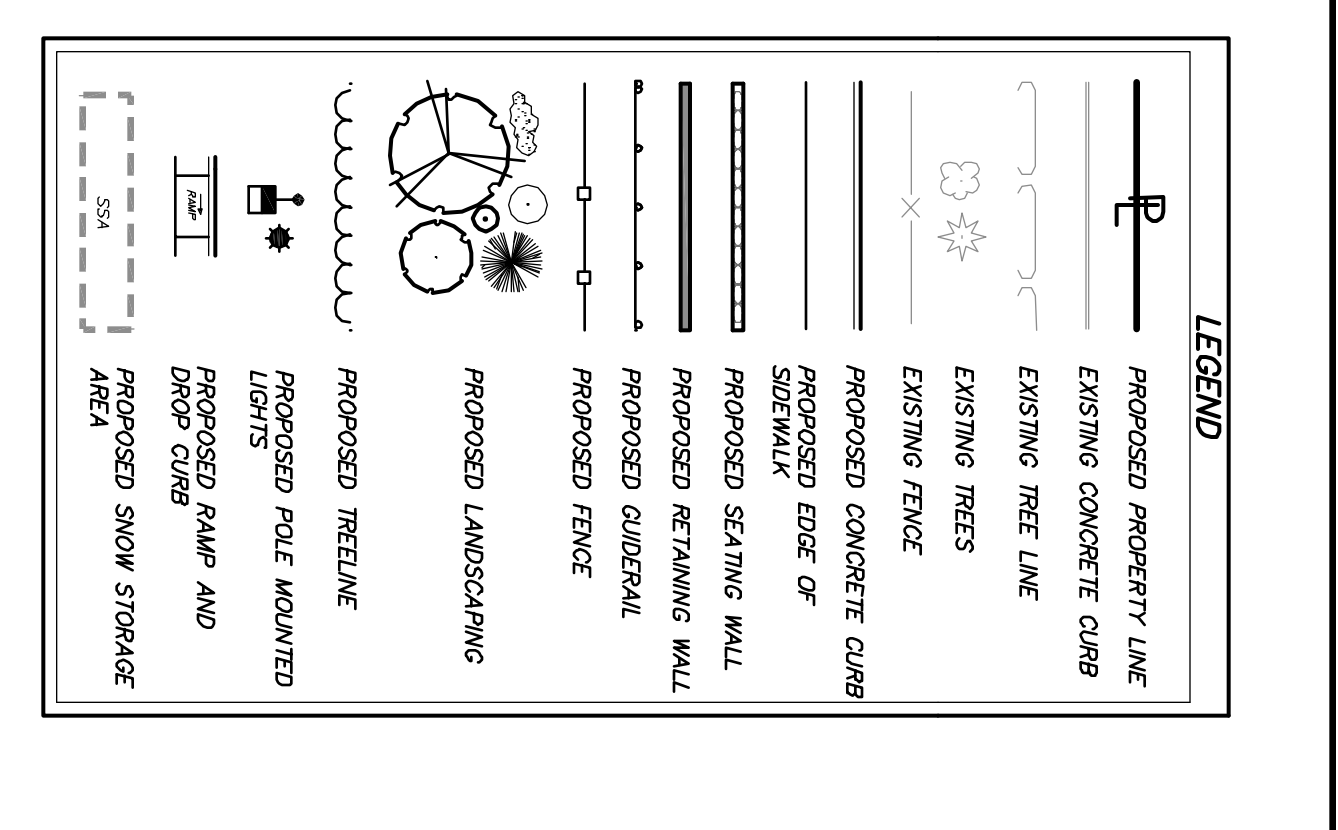
LINKAGE DISTRICT REQUIREMENTS:

Category	Required	Proposed
Setbacks:	0 ft. Min. / 20 ft. Max.	3 ft. / 17 ft. ±
Min. Rear:	20 ft.	102 ft. ±
Min./Max. Side:	0 ft. Min. / 30 ft. Max.	16 ft. / 24 ft. ±
Min./Max. Building Height:	2 Stories Min. / 4 Stories Max.	3 1/2 Stories
Min. Landscape Area:	15%	40%

PARKING REQUIREMENTS:

1 per Dwelling Unit x 98 units = 98 spaces Required
= 98 Spaces Provided

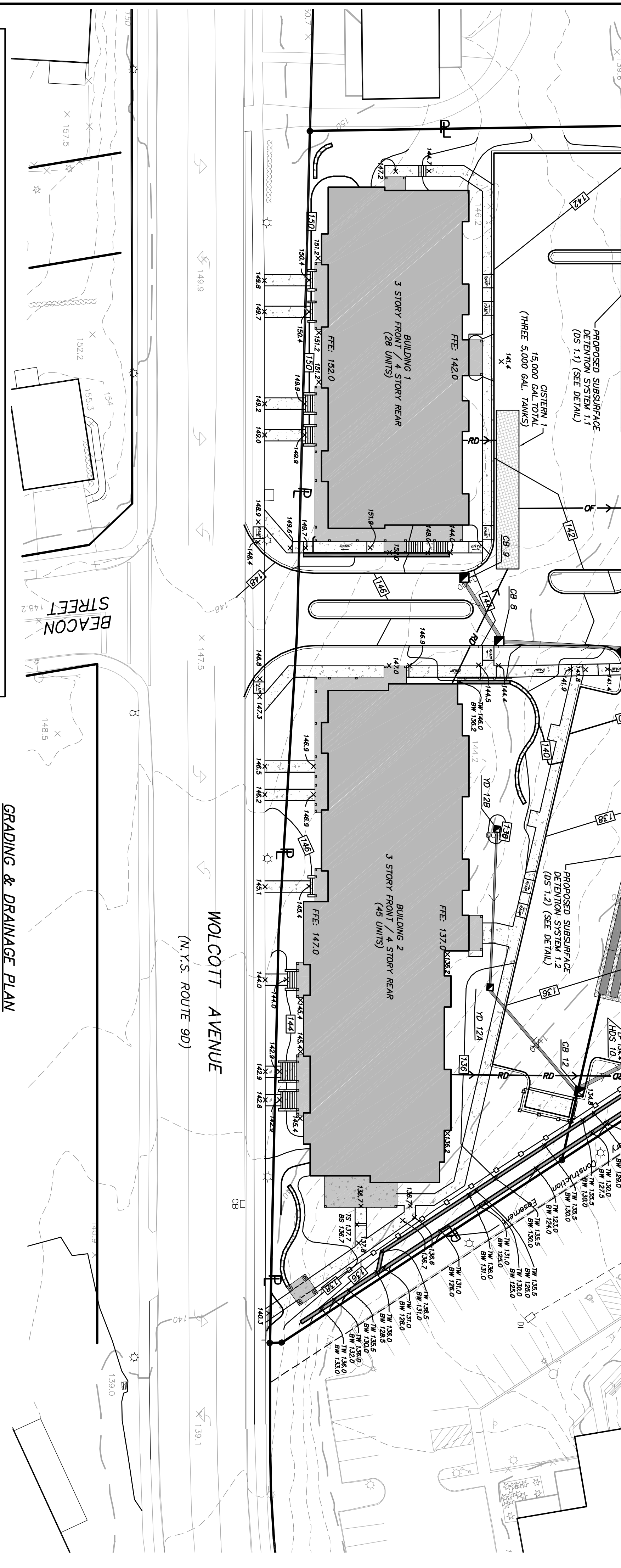
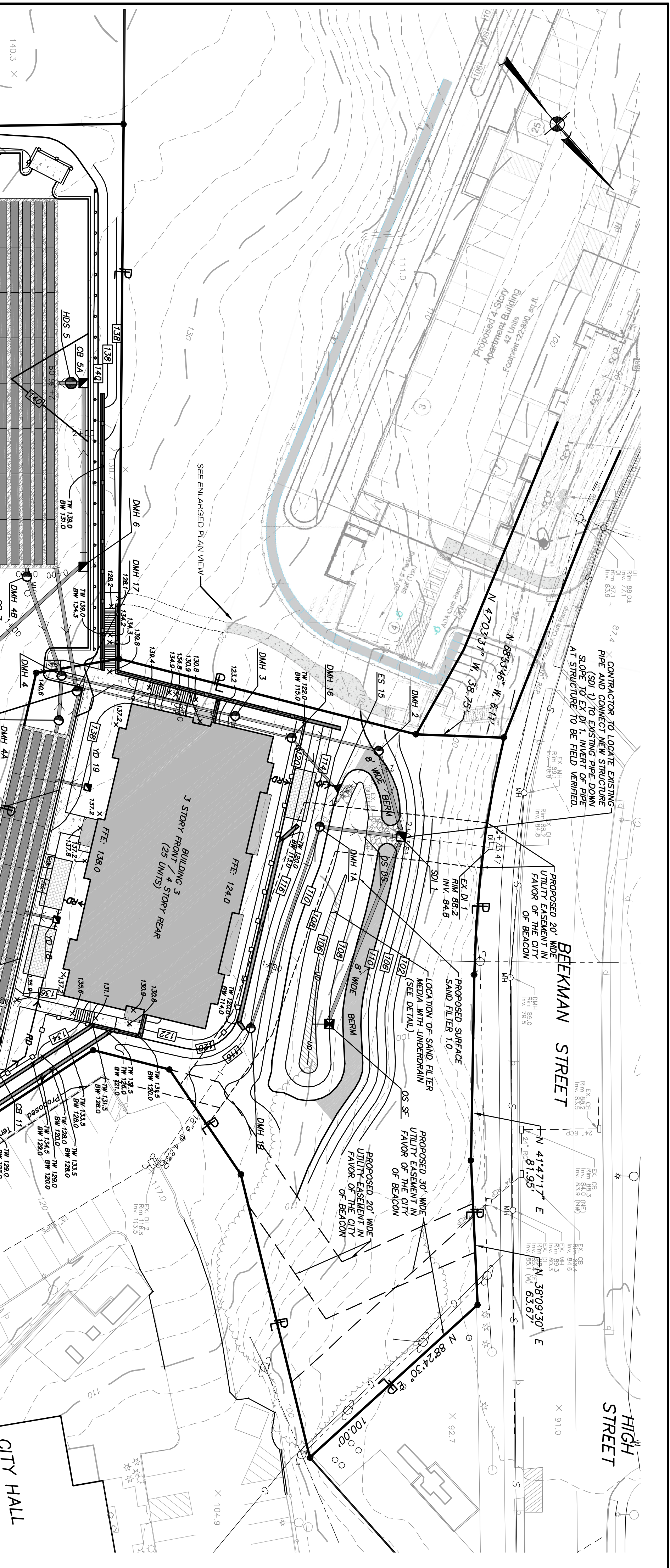
* Number requested based on proximity to train station & Main Street area.



West End Lofts, Beacon, NY - Unit Breakdown

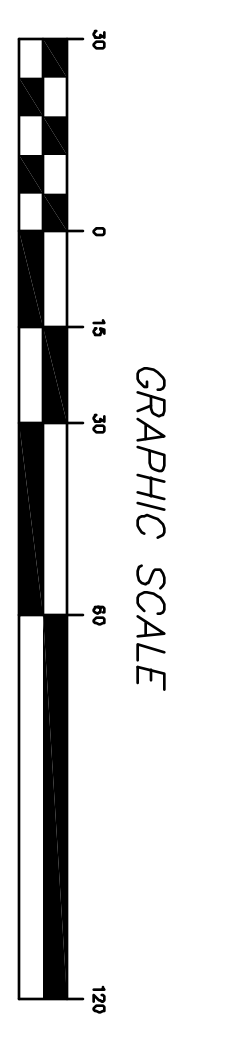
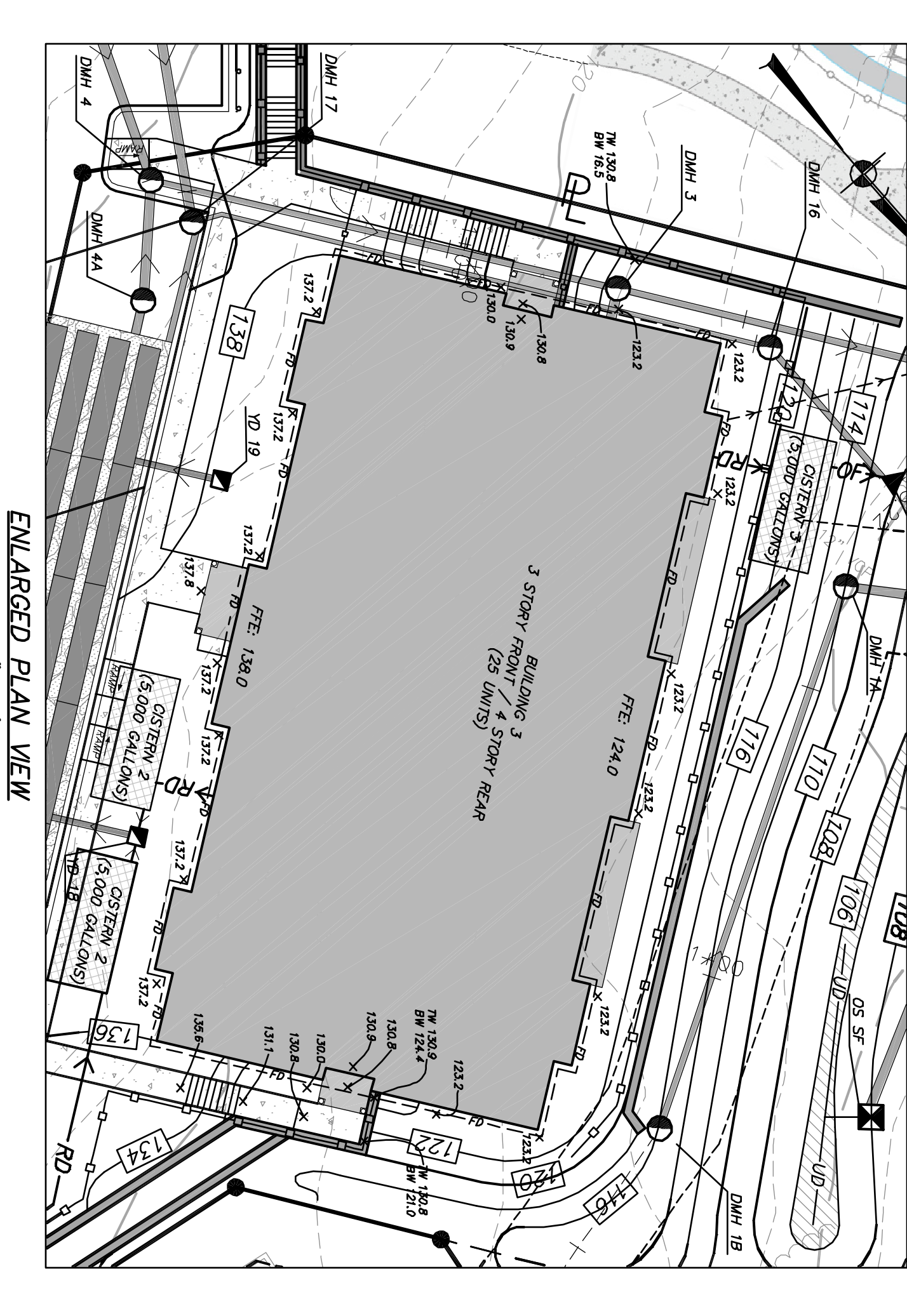
Building #	1 Br. Apartment	2 Br. Apartment	Totals
743 s.f.	741 s.f.	960 s.f.	
1	0	14	28
2	3	28	45
3	0	11	14
			25

TOTALS	# of Units	39723	40698	82300
Total Area	2239	39273	40698	82300



DRAINAGE TABLE					
STRUCTURE	INV.	PIPE	LENGTH	SLOPE	
OS 1.2	132.4	12"	5'	20.00%	
DMH 4A	139.6	12" x 4"	20'	5.00%	
DMH 4	140.5	18" x 3"	79'	18.23%	
DMH 3	123.5	12"	65'	15.62%	
DMH 2	108.0	12"	30'	10.00%	
EX 2.1	106.0	10" x 18"	24'	4.3%	
OS 1.1	106.2	12"	5'	6.00%	
DMH 4B	141.5	18" x 3"	46'	12.33%	
DMH 4	140.5	18" x 3"	12'	4.0%	
OS 5*	109.0	10" x 8"	97'	1.24%	
SO 1	106.0	10" x 8"			
EX 2.2	116.8	11.5"	77'	4.80%	
DMH 4B	115.0	18" x 3"	92'	5.32%	
DMH 1A	112.0	10" x 8"	18'	2.82%	
SO 1	106.0	10" x 8"	37'	6.63%	
OS 9	144.3	14" x 3"	33'	1.00%	
OS 8	144.0	14" x 3"	54'	1.79%	
OS 7	141.2	12"	56'	1.79%	
OS 6	140.2	13.2"	80'	1.00%	
OS 5A	138.8	13.8" x 4"	19'	5'	2.00%
OS 5	138.9	13.8" x 4"	18'	5'	2.00%
OS 1.1	106.2	10" x 8"	18'	5'	2.00%
VO 12B	135.7	13.5" x 7"	70'	1.71%	
OS 1.2	135.5	13.5"	12'	3.6%	
OS 12	134.8	13.0" x 4"	96'	1.13%	
OS 11	134.4	13.0" x 4"	11'	1.13%	
OS 10	134.6	13.0" x 4"	15'	1.4%	
OS 1.2	134.6	13.0" x 4"	15'	1.4%	
DMH 17	140.0	12.7.8"	8'	6.04%	
DMH 16	132.0	12.0" x 0"	30'	36.67%	
ES 1.5	109.0	10.0" x 0"	8'	30'	36.67%
OS 1.1	140.5	13.5"	4'	1.00%	
OS 1.2	140.5	13.2.8"	20'	1.00%	
OS 1.2	137.1	13.5"	13'	40.77%	
OS 1.2	129.8	12.8"	13'	40.77%	
OS 1.2	137.1	13.5"	13'	40.77%	
OS 1.2	129.8	12.8"	13'	40.77%	
OS 1.2	137.1	13.5"	13'	40.77%	
OS 1.2	129.8	12.8"	13'	40.77%	

LEGEND	
—P—	PROPOSED PROPERTY LINE
—	EXISTING CONCRETE CURB
—	EXISTING 10" CONTOUR
—	EXISTING 2" CONTOUR
—	EXISTING FENCE
—	EXISTING UTILITY POLES WITH OVERHEAD WIRES
—	EXISTING GAS LINE
—	EXISTING WATER MAIN
—	EXISTING DRAINAGE PIPE
—	EXISTING DRAINAGE STRUCTURE
—	EXISTING SEWER MAIN
—	PROPOSED CURB
—	PROPOSED EDGE OF SIDEWALK
—	PROPOSED SEATING WALL
—	PROPOSED RETAINING WALL
—	PROPOSED GUIDRAIL
—	PROPOSED FENCE
—	PROPOSED 10" CONTOUR
—	PROPOSED 2" CONTOUR
—	PROPOSED SPOT GRADE
—	PROPOSED CATCH BASIN
—	PROPOSED HOPE DRAINAGE PILE (SEE TABLE FOR SIZES)
—	PROPOSED 6" PVC SOR 35' HOOP DIA



NO.	DATE	REVISION
7	7-25-17	REVISIONS PER CITY CONSULTANT COMMENTS
6	6-27-17	REVISIONS PER CITY CONSULTANT COMMENTS
5	6-12-17	REVISIONS PER CITY CONSULTANT COMMENTS
4	5-30-17	REVISIONS PER CITY CONSULTANT COMMENTS
3	4-25-17	REVISIONS PER CITY CONSULTANT COMMENTS
2	3-28-17	REVISIONS PER CITY CONSULTANT COMMENTS
1	1-31-17	REVISIONS FOR PLANNING BOARD SUBMISSION

PERMANENT STORMWATER FACILITIES MAINTENANCE SCHEDULE			
PRACTICE/FACILITY	MONTHLY	AFTER MAJOR STORM EVENTS	BR-ANNUALLY
SUBSURFACE STORMWATER COLLECTION SYSTEMS	Ensure contributing areas are clean of debris, no evidence of erosion and evidence of proper flow	Inspect for erosion, soil permeability and evidence of proper flow	Inspect & clean
SURFACE SAND FILTER	Inspect contributing areas are clean of debris, no evidence of erosion and evidence of proper flow	Inspect catchment to ensure overflow pipes are functioning as designed	Inspect and clean
STORMWATER SYSTEMS	Inspect catchment to ensure overflow pipes are functioning as designed	Inspect catchment to ensure overflow pipes are functioning as designed	Inspect and clean

GRADING & DRAINAGE PLAN
SCALE: 1" = 30'

GENERAL NOTES:
1. Based on the height of the proposed retaining walls, engineer notes and a geotechnical report shall be submitted for review by a licensed engineer in the state of New York and submitted for review.
2. Refer to General Notes on Drawing CS-1 for additional information.

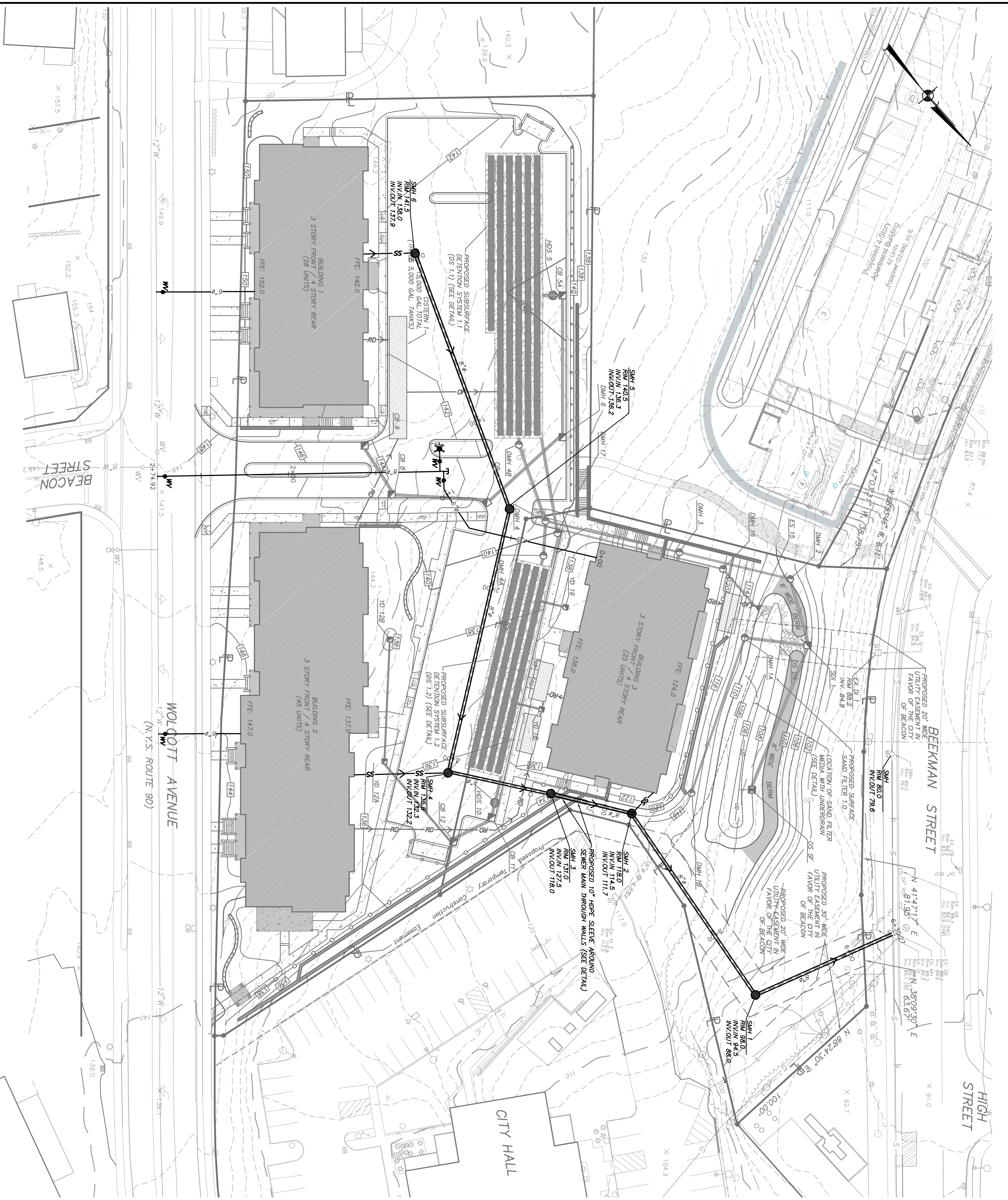
WEST END LOFTS
150 COTT AVENUE, BEACON, NEW YORK 12508

INSITE
ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.
3 Garrett Place
Beacon, NY 12508
(845) 225-9177 fax
www.insite-eng.com

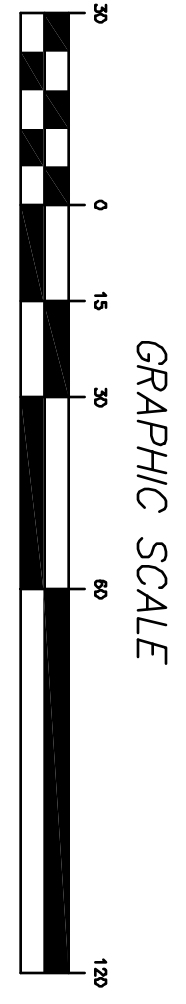
PROJECT: GRADING & DRAINAGE PLAN
PROJECT NUMBER: 15226.100
PROJECT MANAGER: J.L.C.
DATE: 10-25-16
DRAWN BY: C.T.O.
CHECKED BY: J.L.L.

SHEET: SP-2.1 / 4

ALTOUGH OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 145 OF THE EDUCATION LAW.



LEGEND	
	PROPOSED PROPERTY LINE
	EXISTING CONCRETE CURB
	EXISTING 10' CONTOUR
	EXISTING 2' CONTOUR
	EXISTING FENCE
	EXISTING UTILITY POLES WITH OVERHEAD WIRES
	EXISTING GAS LINE
	EXISTING WATER MAIN
	EXISTING DRAINAGE PIPE
	EXISTING DRAINAGE STRUCTURE
	EXISTING SEWER MANHOLE
	EXISTING LIGHT POLE
	PROPOSED CURB
	PROPOSED EDGE OF SIDEWALK
	PROPOSED RETAINING WALL
	PROPOSED FENCE
	PROPOSED 10' CONTOUR
	PROPOSED 2' CONTOUR
	PROPOSED CATCH BASIN
	PROPOSED DRAINAGE MANHOLE
	PROPOSED SEWER MANHOLE
	PROPOSED DRAINAGE PIPE
	PROPOSED ROOF DRAIN
	PROPOSED WATER VALVE
	PROPOSED HYDRANT



NO.	DATE	REVISIONS FOR PLANNING BOARD SUBMISSION	BY
1	1-31-17	REVISIONS FOR PLANNING BOARD SUBMISSION	MEU
2	3-28-17	REVISIONS PER CITY CONSULTANT COMMENTS	CTD
3	4-25-17	REVISIONS PER CITY CONSULTANT COMMENTS	CTD
4	5-30-17	REVISIONS PER CITY CONSULTANT COMMENTS	CTD
5	6-12-17	REVISIONS PER CITY CONSULTANT COMMENTS	J.L.
6	6-27-17	REVISIONS PER CITY CONSULTANT COMMENTS	S.A.C.
7	7-25-17	REVISIONS PER CITY CONSULTANT COMMENTS	BY

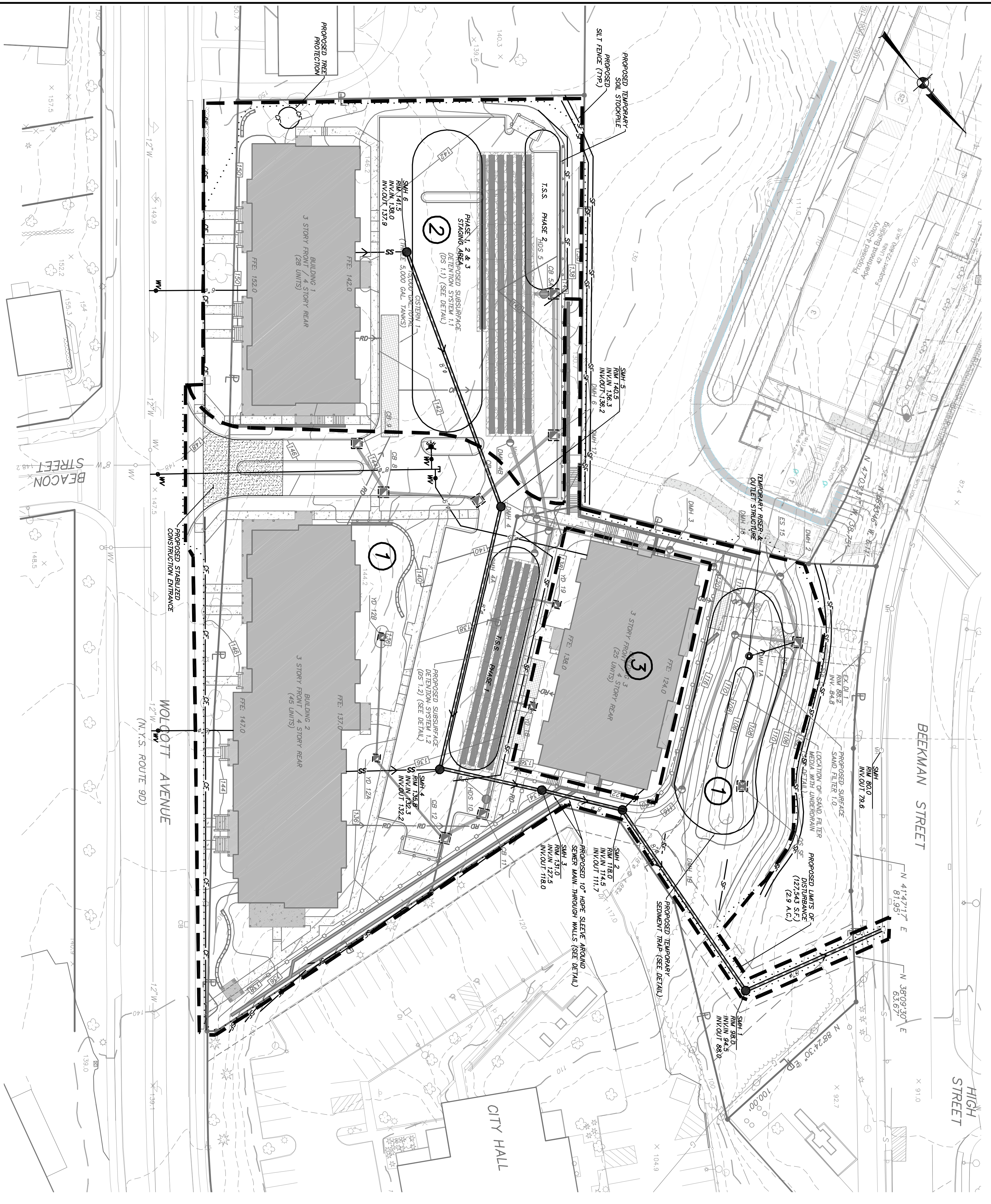
INSITE
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PROJECT:
WEST END LOFTS
 WOLCOTT AVENUE, BEACON, NEW YORK 12508

DRAWING:
UTILITIES PLAN

PROJECT NUMBER	PROJECT MANAGER	J.L.C.	DRAWING NO.	SHEET
15226.100	C.T.O.	J.L.L.	SP-2.2	5
DATE	DATE	DATE	DATE	DATE
10-25-16	10-25-16	10-25-16	10-25-16	10-25-16
SCALE	SCALE	SCALE	SCALE	SCALE
1" = 30'	1" = 30'	1" = 30'	1" = 30'	1" = 30'

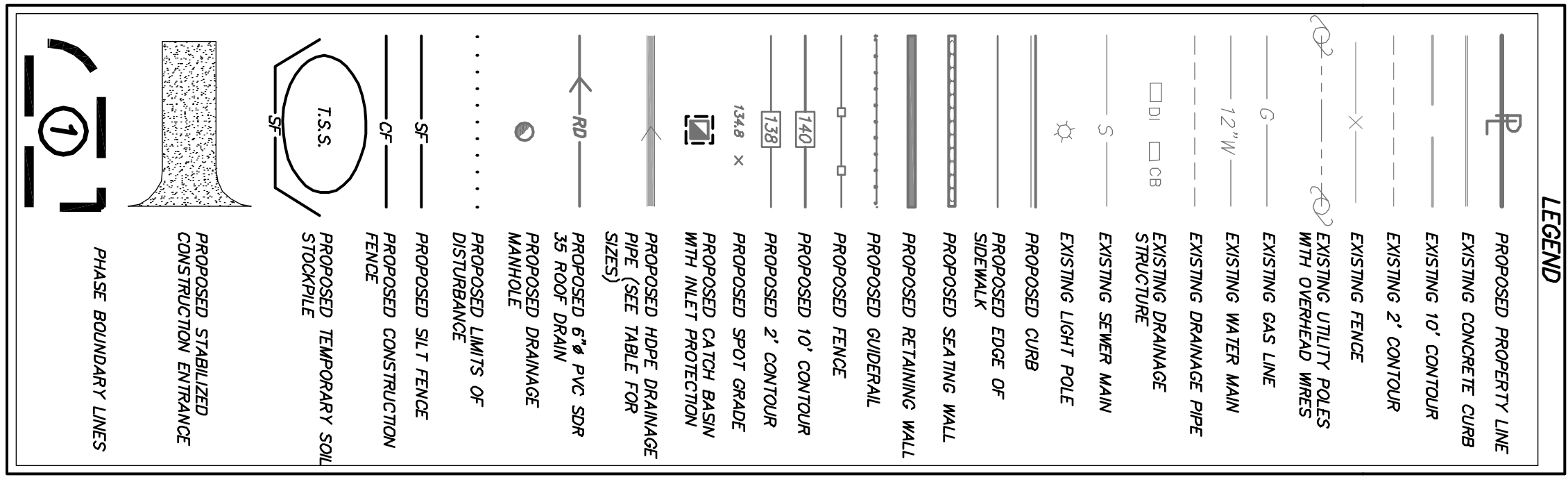
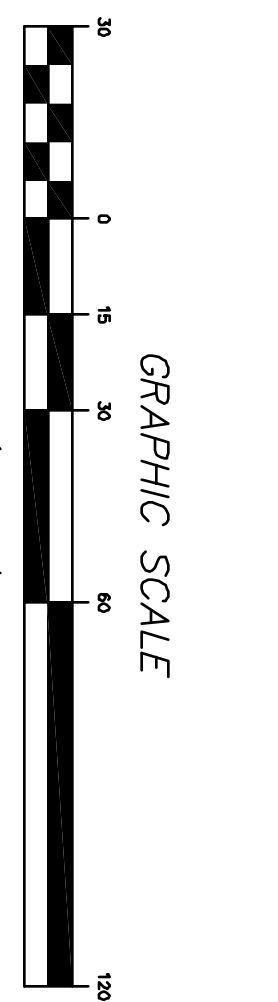
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GENERAL NOTES:

1. Refer to Drawing D-3 for all Notes and Other Information Pertaining to Erosion and Sediment Control. Refer to Drawing EX-1 for Additional Information.
2. For clarity, the landscaping with each Phase of construction is not shown on this drawing. Refer to the construction sequence on this drawing and the Landscape Plan, Drawing SP-1 for additional detail.

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PHASE	EARTHWORK
1	CUT VOLUME (cubic yards) 2,300 FILL VOLUME (cubic yards) 7,300
2	2,500 1,400
3	300 3,000

Notes: Multiple need for Phase 1 will be from an on-site source.
 2. Excess cut from Phase 2 will be stockpiled for use in Phase 3.
 3. Fill Material needed to complete Phase 3 in addition to the Phase 2 excess will be from an on-site source.

- PHASE 1 - Construction Sequence**
1. All erosion and sediment control practices will be installed in accordance with General Permit 09-015-002 or superseding General Permit. Needed repairs shall be made within seven (7) days after construction activity has temporarily or permanently ceased.
 2. Install silt fence and erosion control measures in general locations indicated on the plan.
 3. Remove trees within the limits of disturbance as shown on the plans for the entire project.
 4. Begin grubbing operations within the limits of entire project. See Erosion and Sediment Control Notes for additional details.
 5. Install temporary sediment trap in location of future dry swale in accordance with the notes and details on this drawing. The trap shall be installed in accordance with the notes and details on this drawing. The trap shall be installed in accordance with the notes and details on this drawing.
 6. Construct driveway entrance and install stabilized construction entrance/grub-tracking pad of the project entrance off of Wolcott Ave.
 7. Establish Phase 1 Staging Area in location shown on plan.
 8. Strip topsoil from Phase 1 and stockpile for later use in lawn and landscaped areas. See Erosion and Sediment Control Notes for additional detail.
 9. Begin excavation for foundation and site grading for Building 2 and the associated improvements.
 10. Begin installation of proposed retaining wall within the limits of the Phase.
 11. Install water and sewer connections necessary to service Building 2 within the limits of the Phase.
 12. Install drainage structures and piping as shown on the plans. Install detention structure before detention system 1.2 shall be plugged and contributing area to the detention system is completely stabilized.
 13. Upon completion of grading operations, install driveway pavement base course.
 14. Building 1, unexcavated along the eastern side of the entrance drive, and landscaping associated with retaining wall #1.
 15. Replaced topsoil, seed and mulch areas outside pavement to achieve final stabilization in accordance with the notes and details on the project plans. Landscaping around Building 1 shall be installed in accordance with Drawing SP-1.

- PHASE 2 - Construction Sequence**
1. Install silt fence and erosion control measures in general locations indicated on the plan.
 2. Establish Phase 2 Staging Area in location shown on plan.
 3. Strip topsoil from Phase 2 and stockpile for later use in lawn and landscaped areas. See Erosion and Sediment Control Notes for additional detail.
 4. Install temporary swales to direct stormwater runoff from disturbed areas within the phase to drainage installed in Phase 1 that discharges to the temporary sediment trap during construction activities.
 5. Begin excavation for foundation and begin site grading for Building 1 and the associated improvements.
 6. Begin installation of proposed retaining wall west of the parking area.
 7. Install water and sewer connections necessary to service Building 2 within the limits of the phase.
 8. Install drainage structures and piping as shown on the plans. Install detention structure before detention system 1.1 shall be plugged and contributing area to the detention system is completely stabilized.
 9. Upon completion of grading operations, install driveway pavement base and top courses.
 10. Install landscaping surrounding Building 2, landscaping along Wolcott Avenue in front of Building 2, landscaping along the western side of the entrance drive, and landscaping associated with retaining wall #2 and the adjacent parking lot.
 11. Replaced topsoil, seed and mulch areas outside pavement to achieve final stabilization in accordance with the notes and details on the project plans. Landscaping around Building #1 and the walls to the northwest should be installed in accordance with Drawing SP-1.

- PHASE 3 - Construction Sequence**
1. Install silt fence and erosion control measures in general locations indicated on the plan.
 2. Strip topsoil from Phase 3 and stockpile for later use in lawn and landscaped areas. See Erosion and Sediment Control Notes for additional detail.
 3. All runoff from disturbed areas should be directed to the temporary sediment trap during construction of this phase.
 4. Begin excavation for foundation and begin site grading for Building 3 and the associated improvements.
 5. Begin installation of proposed retaining wall west of Building 3.
 6. Install water and sewer connections necessary to service Building 3 within the limits of the phase.
 7. Install landscaping surrounding Building 3, and all remaining landscaping.
 8. Replaced topsoil, seed and mulch areas outside pavement to achieve final stabilization in accordance with the notes and details on this drawing.
 9. Upon stabilization of all previously disturbed areas convert the temporary sediment trap to the swale should be disposed during the construction of the swale with a plug in Douglas Manhole 17. Swale to be stabilized in accordance with the notes and details. Upon stabilization of final vegetation, remove plugs in DMH 17 and allow low flows to occur through the swale.
 10. Remove all temporary erosion and sediment control devices, and stabilize any remaining west should be installed in accordance with Drawing SP-1.

Refer to Drawing D-3 for all Notes and Other Information Pertaining to Erosion and Sediment Control. Refer to Drawing EX-1 for Additional Information.

NO.	DATE	REVISIONS FOR PLANNING BOARD SUBMISSION	BY
1	1-31-17	REVISIONS FOR PLANNING BOARD SUBMISSION	MEU
2	5-28-17	REVISIONS PER CITY CONSULTANT COMMENTS	CJD
3	4-25-17	REVISIONS PER CITY CONSULTANT COMMENTS	CJD
4	5-30-17	REVISIONS PER CITY CONSULTANT COMMENTS	CJD
5	6-27-17	REVISIONS PER CITY CONSULTANT COMMENTS	SJC
6	7-25-17	REVISIONS PER CITY CONSULTANT COMMENTS	EG

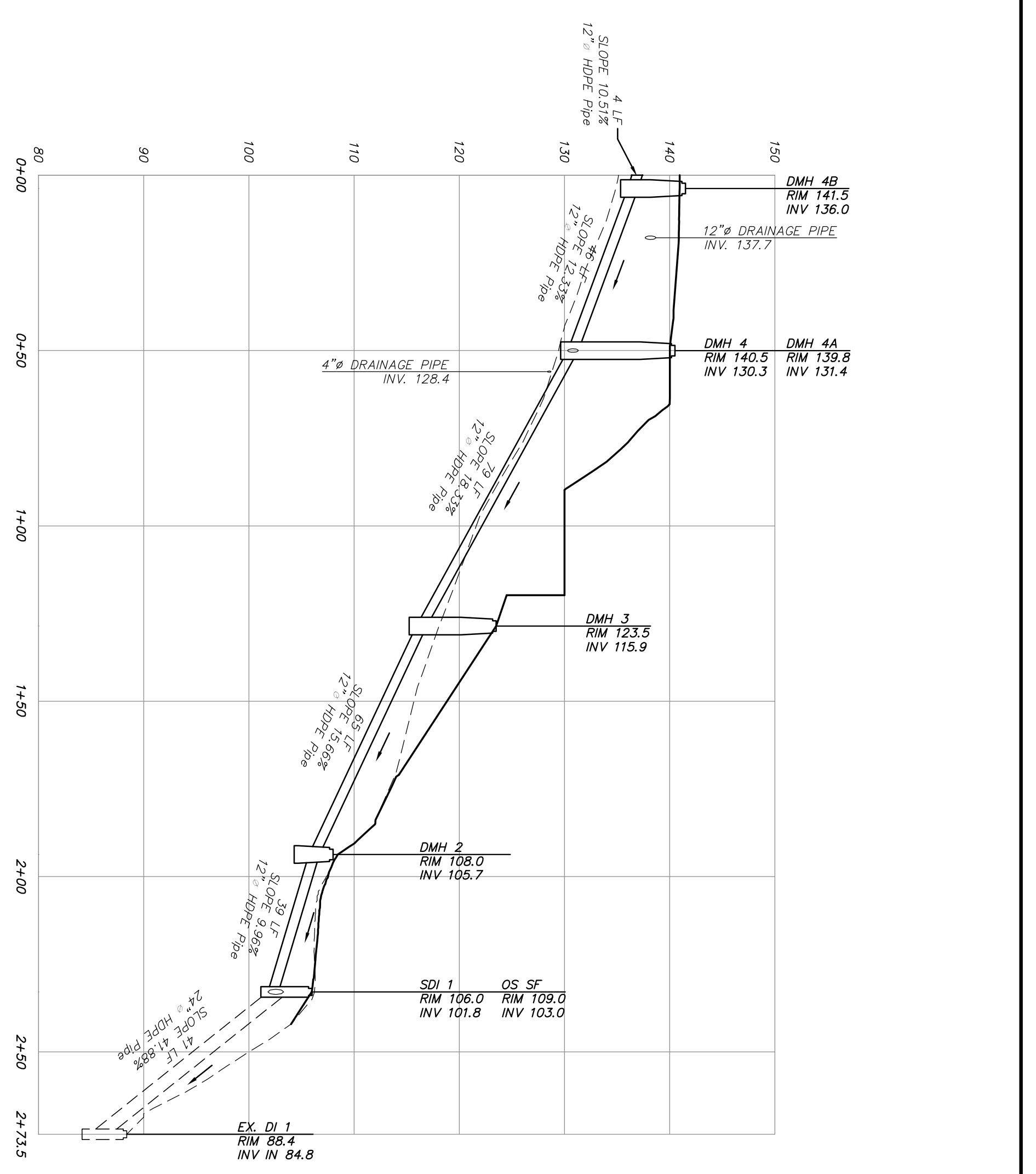
PROJECT: WEST END LOFTS
 100 COTT AVENUE, BEACON, NEW YORK 12508

DRAWING: EROSION & SEDIMENT CONTROL PLAN

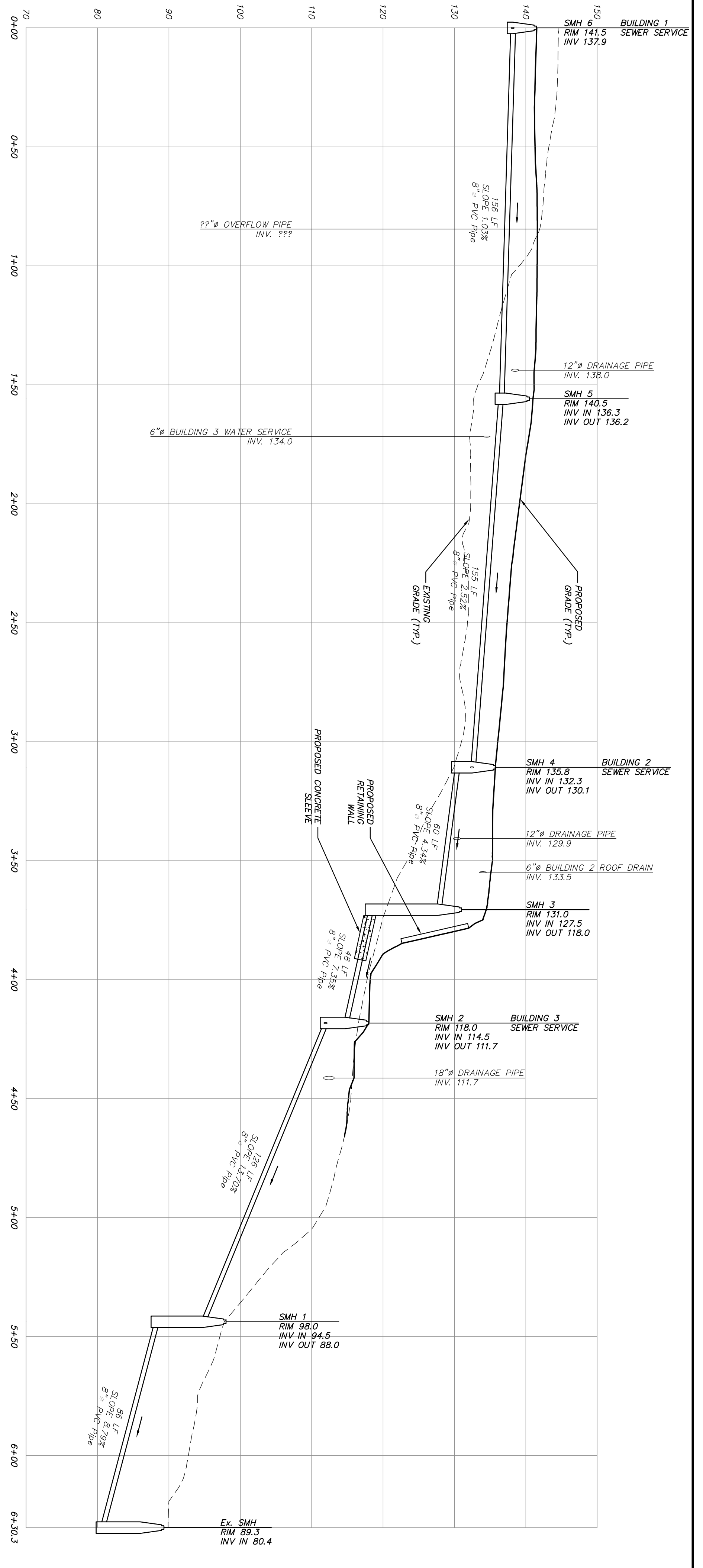
PROJECT MANAGER: J.L.C.
DATE: 10-25-16
SCALE: 1" = 30'

PROJECT NO.: SP-3
SHEET NO.: 6
TOTAL SHEETS: 14

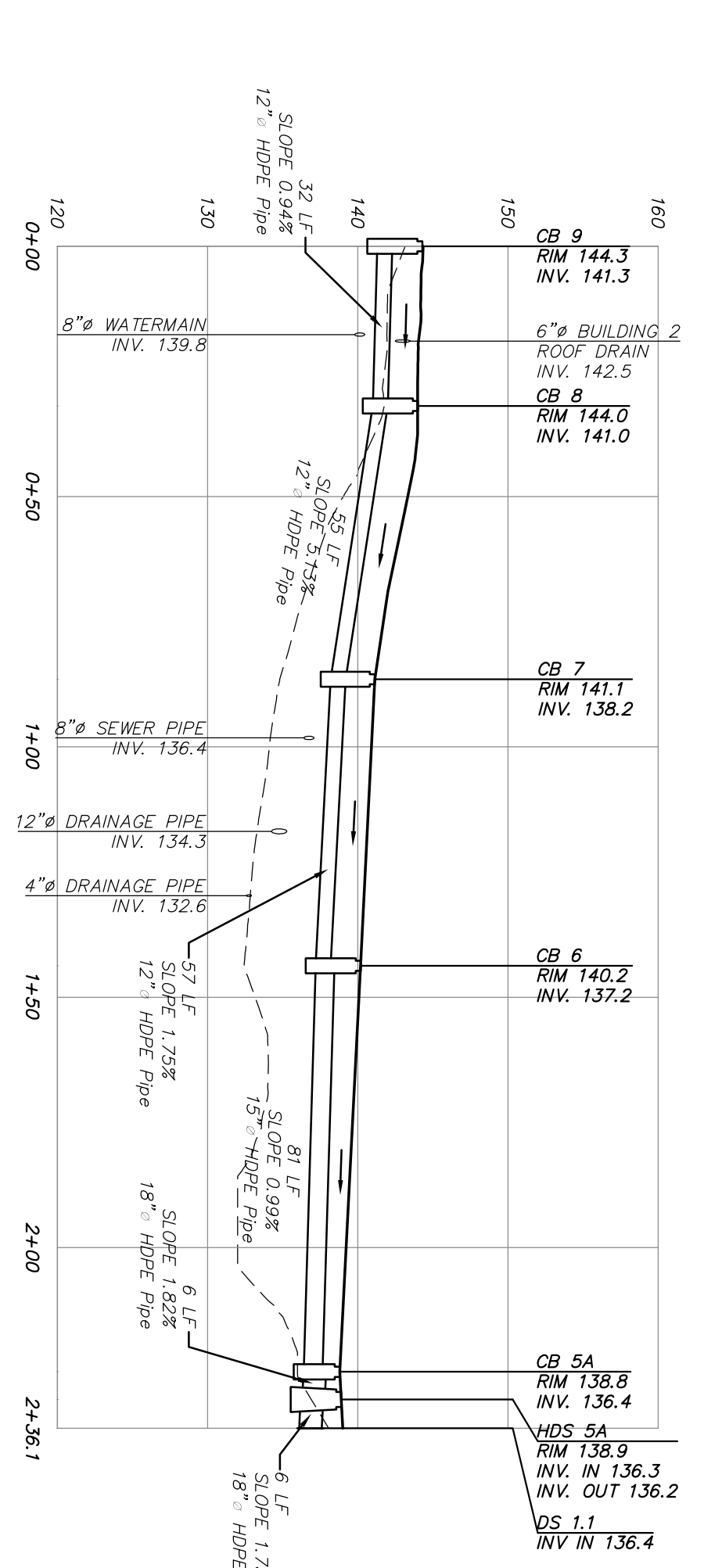
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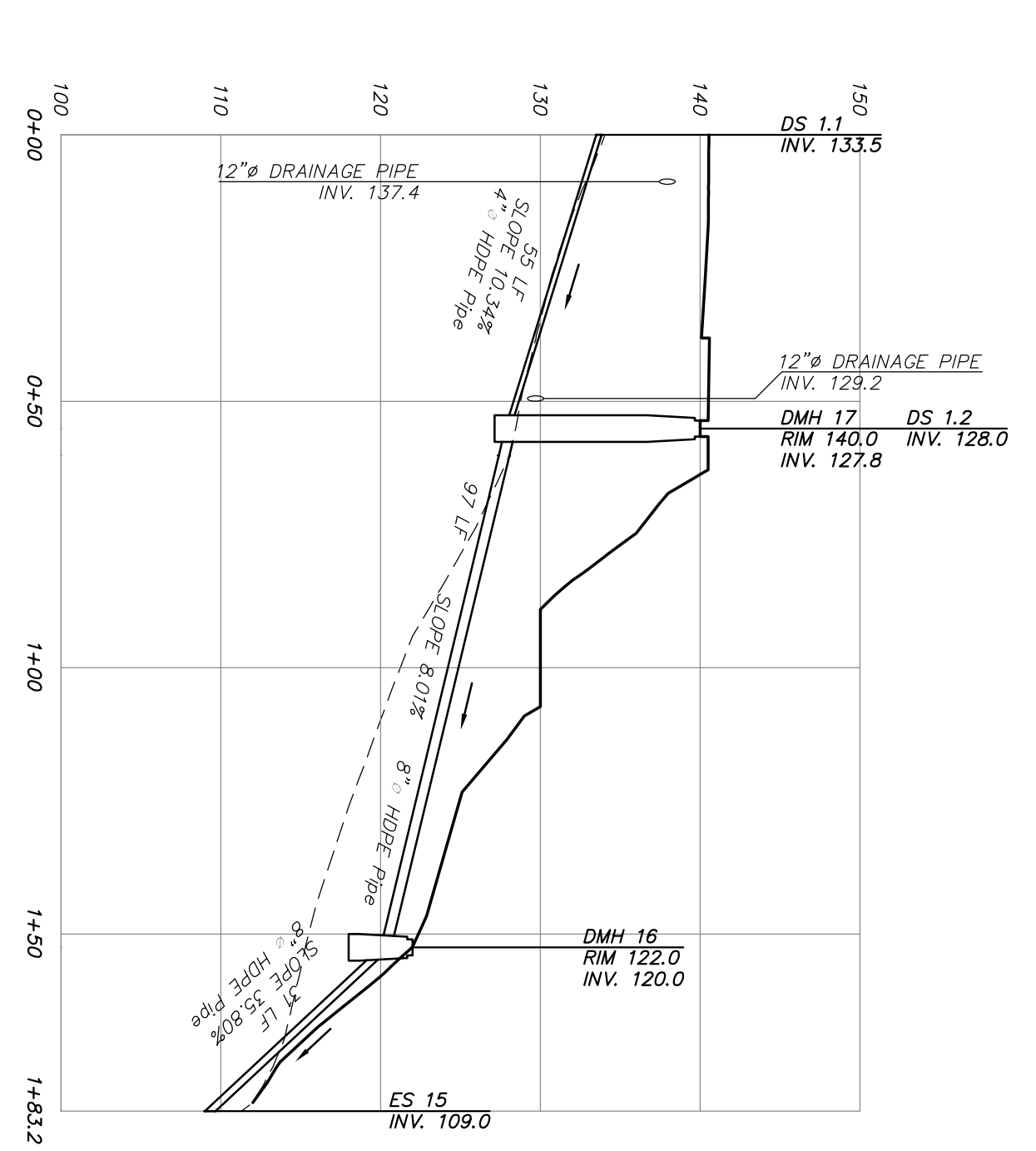
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VERT. 1" = 10'



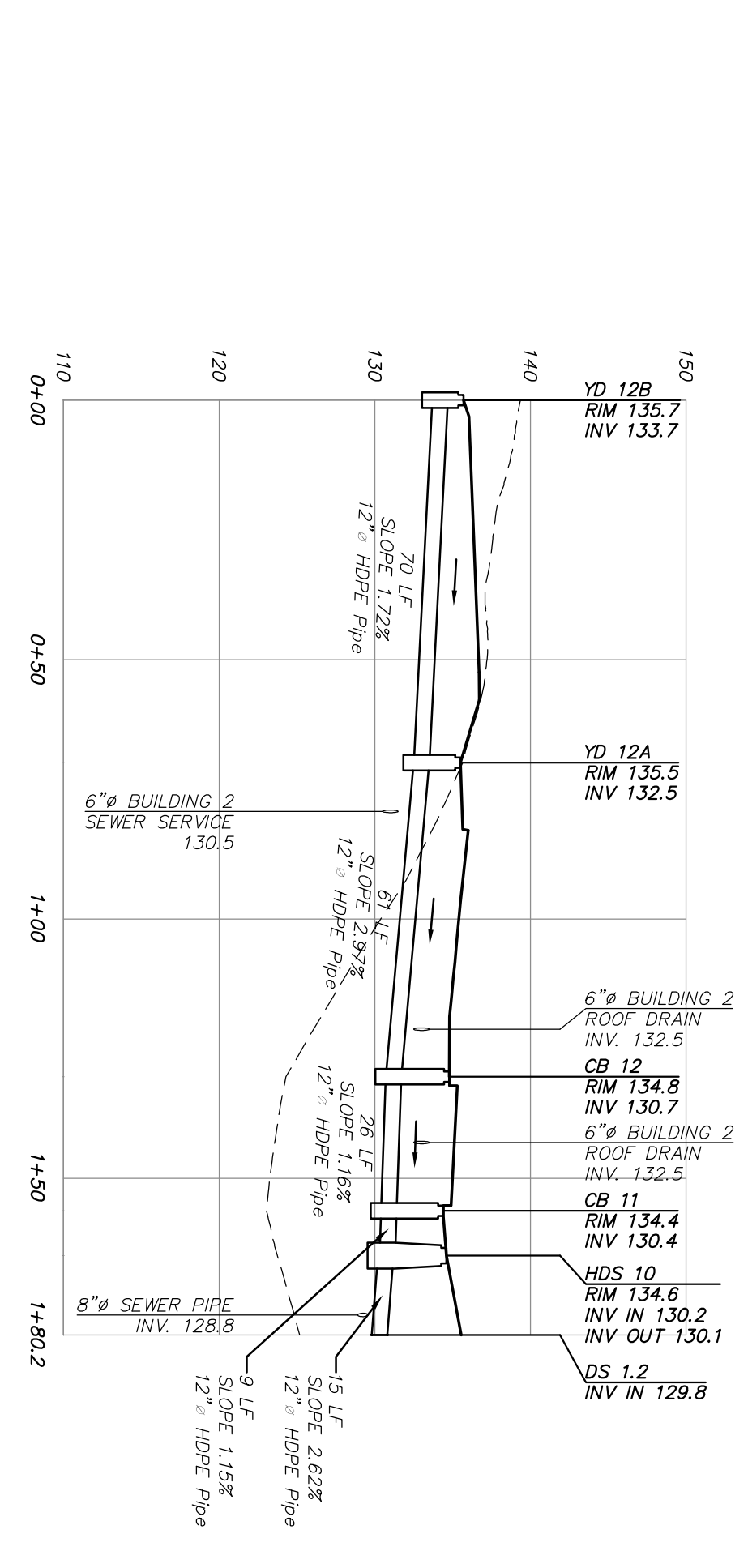
SEWER MAIN SMH 6 TO EX. SMH
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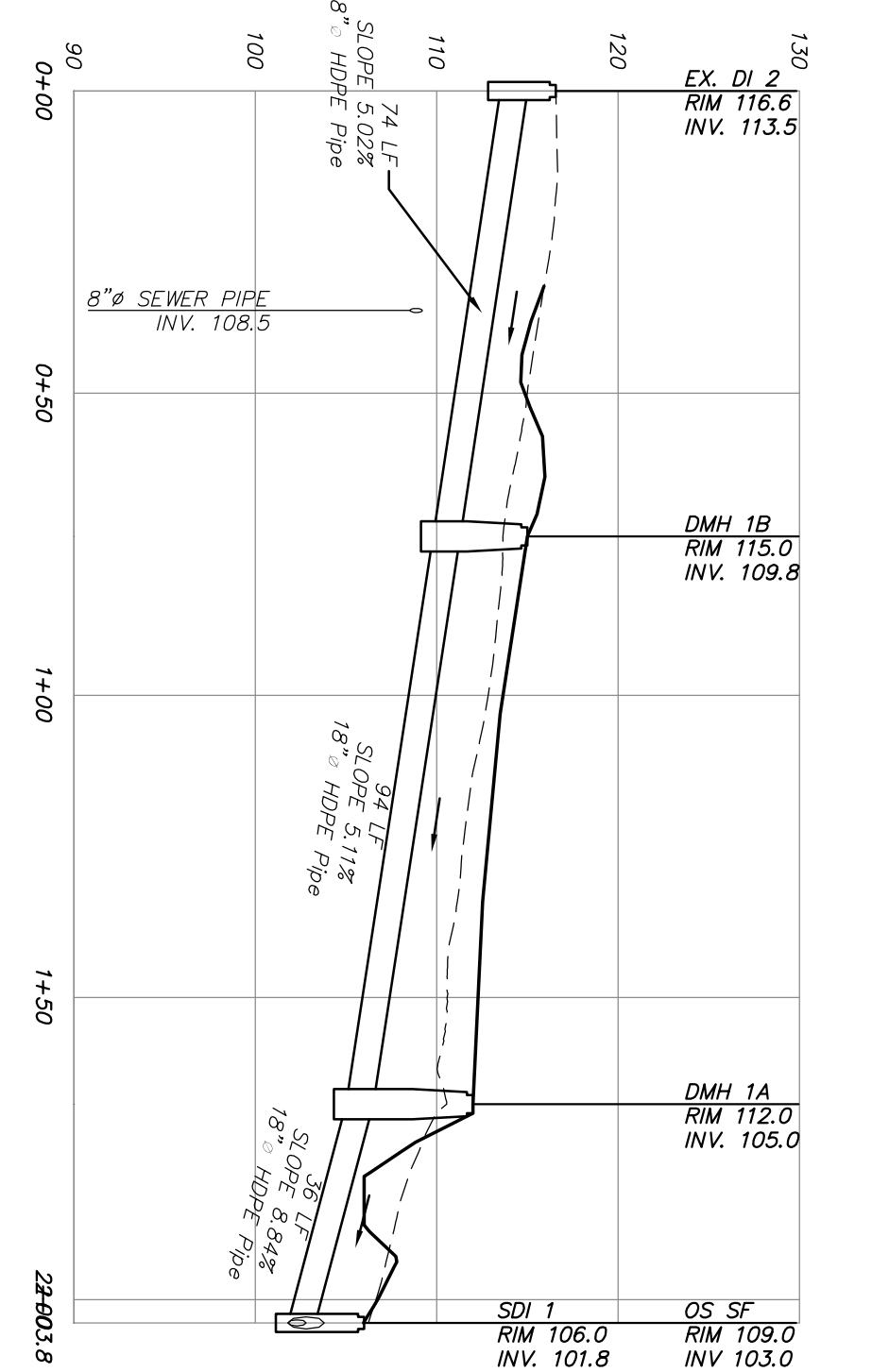
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VERT. 1" = 10'



DS 1.1 TO ES 15
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VERT. 1" = 10'



YD 12B TO DS 1.2
SCALE: HORIZ. 1" = 30'
VERT. 1" = 10'



EX. DI 2 TO SDI 1
SCALE: HORIZ. 1" = 30'
VERT. 1" = 10'

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NO.	DATE	REVISION	BY

PROJECT: WEST END LOFTS
DRAWING: UTILITY PROFILES

PROJECT: 16226.100 PROJECT MANAGER: J.L.C.
DATE: 7-25-17 DRAWN: S.L.C.
SCALE: AS SHOWN CHECKED: PR-1

DRAWING NO. 7 SHEET 14

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