



July 25, 2017

Mr. James Sheers, Chairman
City of Beacon Planning Board
1 Municipal Plaza, Suite 1
Beacon, New York 12508

RE: West End Lofts
Wolcott Avenue
Tax Map No. 5954-26-688931

Dear Chairman Sheers and Members of the Board:

Enclosed please find five (5) copies of the following in regards to a Subdivision and Site Plan Application for the above referenced project:

- Site Plans (13 sheets total), dated July 25, 2017.
- Stormwater Pollution Prevention Plan (SWPPP), dated July 25, 2017 (4 copies).
- Water and Sewer Engineer's Report, dated July 25, 2017 (4 copies).

Also enclosed is a CD containing the above materials.

With regards to comments received from the City Consultants, we offer the following:

Memorandum from John Clarke of John Clarke Planning and Design, City of Beacon Planning Consultant, dated July 6, 2017:

1. It is our understanding that the project has been referred to the County Planning Department for their final referral.
2. We acknowledge that the application requires a waiver from the City Council under the recently adopted Affordable Workforce Housing amendments.
3. It is our understanding that the Board will be issuing a LWRP Consistency Determination along with its SEQRA determination.
4. The applicant is currently working with the owners of The View project to develop the through walkway to Beekman Street.
5. It is our understanding that all comments from the Architectural Review Subcommittee have been addressed pertaining to the freestanding portico.

Memorandum from John Russo, PE of Lanc & Tully, P.C., City of Beacon Engineering Consultant, dated July 7, 2017:

General Comments:

1. Utility profiles for the proposed sanitary, water, and drainage are provided on Drawing PR-1 and the utility lines have been stationed on Drawings SP-2 and SP-3 as requested.

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2. Temporary construction easements have been provided as requested for structures proposed in close proximity to the property lines. The retaining wall adjacent to the western property line with The View has been shifted to the east to avoid the need for a construction easement.
3. We understand that Note #1 on Drawing SP-1 regarding snow removal will be discussed further with the Planning Board and Building Inspector.
4. The project plan set has been revised to include an irrigation system schematic with notes on the pump and distribution system.
5. We understand the City of Beacon is in the process of reviewing the sewage collection system with regards to capacity to handle the additional flows generated by the project.

Water & Wastewater Engineering Report:

1. The Water & Wastewater Engineering Report has been revised to note the size of the proposed connections in coordination with the project plans.

Preliminary Plat:

1. The entire City Hall parcel will be illustrated on the Subdivision Plat in a future submission.
2. The easements are depicted graphically on the preliminary plat. Metes and bounds will be provided on the final plat once all relevant design issues have been resolved.
3. The additional cross easements and agreements for shared entities across the Lots will be developed and submitted for review with a future submission.

Layout & Landscape Plan (SP-1):

1. It is our understanding that the Planning Board is in favor of the waiver for the requested parking space number reduction.

Utilities Plan (SP-2.2):

1. The current proposal includes a service connection from the existing 12" main in Wolcott Ave to each of the three (3) buildings, thus eliminating the need for a combined meter pit as previously suggested. The concern of the consulting engineer is noted and several alternate options for the connection of Building #3 were studied. The connection as shown on the project plans was shortened to eliminate length from the connection point in Wolcott Ave to Building #3. The length of the water service line is approximately 300 LF, which is only 100 LF more than a potential connection to the city water main in Beekman Street. A potential connection to the water main in Beekman Street would involve crossing Beekman Street and the existing utilities in Beekman, including gas, sewer and drainage. The potential conflicts with the existing utilities coupled with the steep sloped between Beekman Street and Building #3 make this option less desirable than the service connection from Wolcott Ave. It should also be noted that an option to connect to the existing 8" service line that feeds City Hall was reviewed. A connection from this existing water main that enters west side of the building could be extended to the south and connect directly to the northern side of Building #3. It was determined through preliminary discussions with the consulting engineer that this option would not be preferred, given potential future encumbrance of the City Hall property with the potential service connection.
2. The sewer sleeve detail has been revised to include additional detail on size, type, and internal spacing.

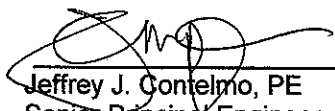
SWPPP:

1. As stated in section 2.2 and noted in Appendix J of the SWPPP the hydrodynamic separators have been designed in accordance with the NYSDEC requirements for a pre-treatment practice. The email correspondence included in Appendix J from the NYSDEC verifies that the third-party testing provided by the Connecticut DOT is acceptable to the NYSDEC for sizing hydrodynamic separators for pre-treatment of stormwater runoff. The water quality volume flow rate through the separators is 1.2 cfs and 0.8 cfs, and as shown in Appendix J of the SWPPP, a Hydroguard HG-5 has a water quality volume flow rate up to 1.7cfs. As requested verification of the bypass of the larger storm events within the unit by the manufacturer has been provided.

We understand the project is scheduled for the August 8, 2017 Planning Board meeting for a continuation of the public hearing and consideration of a SEQRA resolution. Should you have any questions or comments regarding the above information, please do not hesitate to contact our office.

Very truly yours,

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

By: 
Jeffrey J. Contelmo, PE
Senior Principal Engineer

JJC/jll

Enclosures

cc: Ken Kearney
Sean Kearney
AJ Coppola, R.A.

Insite File No. 16226.100