

LOCATION MAP

Zone Classification	R1-5 (1 Family Residential District)
Use	Single Family Home
Tax Map Parcel No	130200-5954-28-885953

Topographic Datum NAVD 88
Total Acreage: 0.33 Ac.

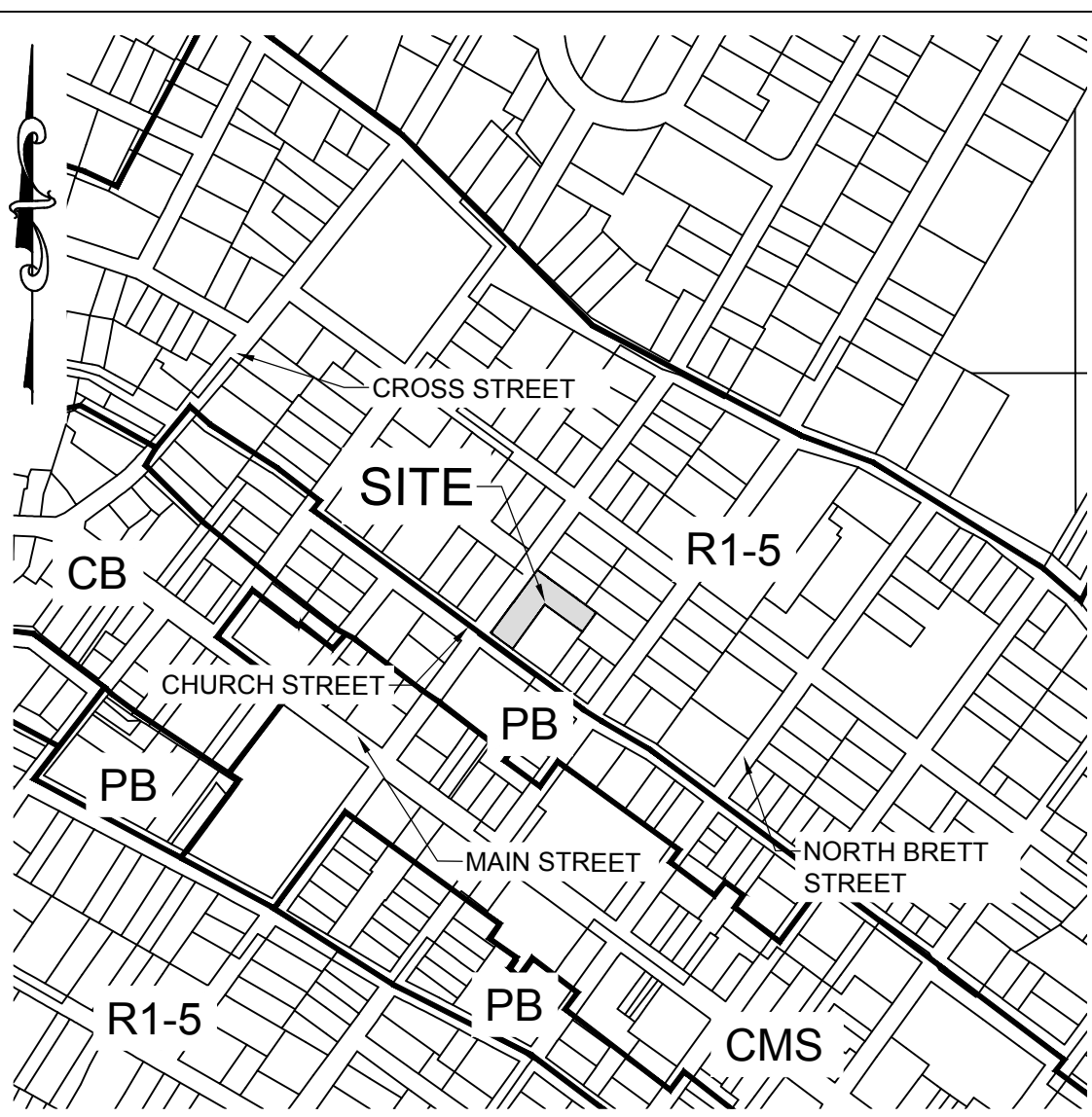
Water Supply: City of Beacon
Sewage Disposal: City of Beacon

Bulk Regulations:		Required	Proposed	
			Lot 1	Lot 2
<u>Minimum Lot Size</u>				
Area (sf)	5,000		6,669	7,850
Lot Area per Dwelling Unit (sf)	5,000		6,669	7,850
Width (feet)	50		57	50
Depth (feet)	100		117	157
<u>Minimum Yard</u>				
Front	30		19.8 ^(a)	14/20 ^(a)
Side				
Minimum (feet)	10		2.1 ^(a)	10
Total of 2	20		12.9 ^(a)	20
Rear (feet)	30		26.50 ^(b)	30
Minimum Distance Between Building on the Same Lot	None		--	--
<u>Maximum Height</u>				
Main Building				
Stories	2 ½		2	<2 ½
Feet	35		<35	<35

(a) Existing non-conforming

(b) Area variance was granted by the Zoning Board of Appeals on February 22, 2017 to allow for a 26.5 ft rear yard set back where 30 ft is required by code.

(c) Section 223-13 (k) - Exception for existing alignment of buildings. If on one side of a street within 250 feet of any lot there is a pronounced uniformity of alignment of the fronts of existing buildings and of the depths of front yards greater or less than the depth specified in the Schedules of Regulations, a front yard shall be required in connection with any new building which shall conform as nearly as practicable to those existing on the adjacent lots



AREA MAP

16 CHURCH STREET

Tax Map No. 130200-5954-28-885953

City of Beacon

PREPARED FOR
Seven & One Development LLC
268 Main Street
Beacon, New York 12508

GENERAL SITE NOTES

1. THE CONTRACTOR IS TO VISIT THE SITE AND THOROUGHLY ACQUAINT HIMSELF WITH ALL EXISTING CONDITIONS. TO CHECK AND VERIFY ALL CONDITIONS, DIMENSIONS, ETC. AND REPORT TO THE ARCHITECT ANY ERRORS, OMISSIONS, OR VARIATION FROM INTENT OF THE PLANS, PRIOR TO THE START OF WORK.
2. DRAWINGS ARE NOT TO BE SCALED: USE DIMENSIONS ONLY.
3. CONTRACTOR TO OBTAIN AND PAY FOR ALL REQUIRED LOCAL PERMITS. NO WORK IS TO COMMENCE UNTIL ALL PERMITS ARE OBTAINED.
4. THOSE ITEMS NOT NOTED, BUT IMPLIED AS NECESSARY FOR THE PERFORMANCE OF THE CONTRACT ARE CONSIDERED PART OF THE WORK.
5. ALL MATERIAL AND WORKMANSHIP IS TO BE GUARANTEED BY THE CONTRACTOR TO BE FREE OF DEFECTS FOR A PERIOD OF ONE YEAR. THE CONTRACTOR AGREES TO CORRECT, WITHOUT CHARGE SUCH CONDITIONS AS MAY OCCUR DURING THE GUARANTEE PERIOD.
6. ALL WORK IS TO BE EXECUTED BY MECHANICS SKILLED IN THEIR TRADES.
7. ALL CHANGES AND/OR SUBSTITUTIONS ARE TO BE APPROVED IN WRITING BEFORE BEING INCORPORATED INTO THE WORK.
8. ALL TRADES TO COOPERATE WITH EACH OTHER TO FACILITATE THE PROGRESS OF THE ENTIRE JOB.
9. CONTRACTOR SHALL VERIFY WITH LOCAL UTILITY COMPANY THE POSSIBILITY OF ANY UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION.
10. CONTRACTOR IS TO REMOVE ALL RUBBISH FROM THE SITE RESULTING FROM HIS WORK DURING THE PROGRESS OF CONSTRUCTION AND SHALL LEAVE THE PREMISES IN A CONDITION SATISFACTORY TO THE OWNER PRIOR TO THE FINAL PAYMENT.
11. ALL MATERIALS, ASSEMBLIES, CONSTRUCTION AND EQUIPMENT SHALL CONFORM TO THE REGULATIONS OF THE BUILDING CODE OF NEW YORK STATE AND SHALL CONFORM TO GENERALLY ACCEPTED STANDARDS.

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IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSONS TO ALTER THESE PLANS, SPECIFICATIONS, OR REPORTS IN ANY WAY, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR.

	Mark A. Day, PE
05-30-2017	
04-24-2017	
Revisions	
03-27-2017	
Project No.	2016-325
	License No. 069646

M.A. DAY Engineering, PC
Consulting Engineers

3 Van Wyck
Lane Suite 2
Wappingers Falls, New York
(845)-223-3202

PROJECT

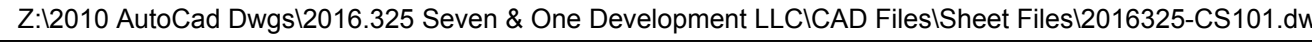
16 Church Street

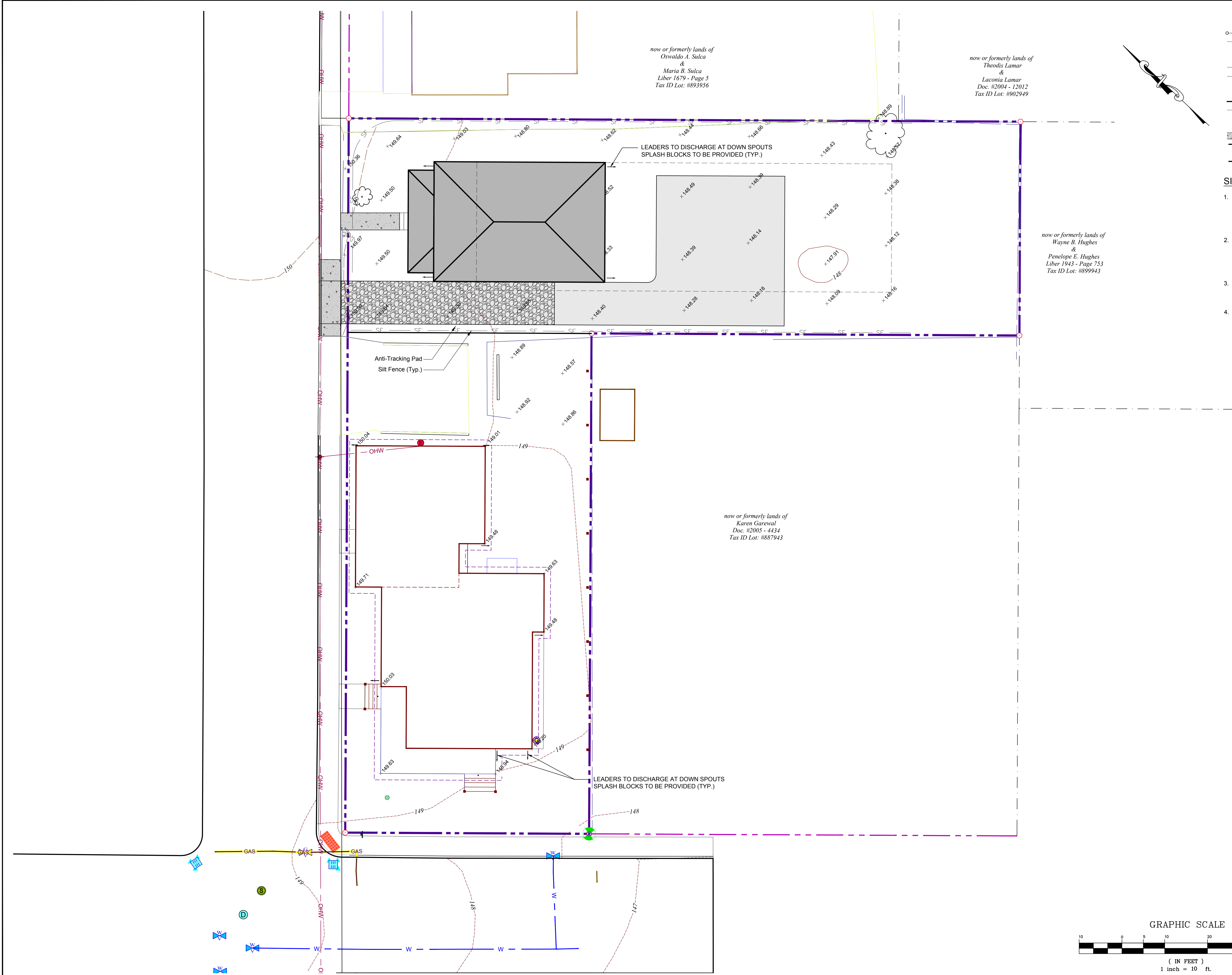
Tax Map No. 130200-5954-28-885953

City of Beacon Dutchess County, New York

Cover Sheet

SCALE As Noted	DRAWN BY DJL	DRAWING No. GI101 1 of 4
DATE 01-26-17	CHECKED BY DJL	





LEGEND

EXISTING PROPERTY LINE

ADJACENT PROPERTY LINE (APPROX.)

EXISTING STRUCTURES

EXISTING CHAIN LINK FENCE

EXISTING STOCKADE FENCE

EXISTING UTILITY POLE

PROPOSED LOT LINE

PROPOSED SETBACK

PROPOSED HOUSE

PROPOSED CONCRETE SIDEWALK

PROPOSED WATER SERVICE LINE

PROPOSED WATER SHUT-OFF VALVE

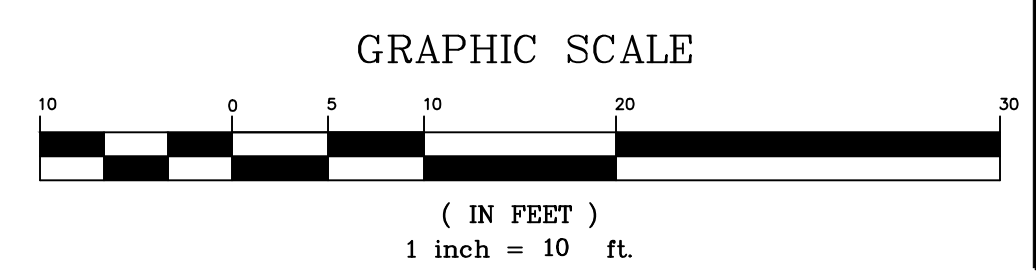
PROPOSED SANITARY SEWER LATERAL

- SITE NOTES
1. PROPERTY BOUNDARY, UTILITIES AND TOPOGRAPHIC INFORMATION SHOWN HEREON ARE BASED ON A SURVEY ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY MAP OF THE LANDS OF DAVERNE JUDGE-DARITY" PREPARED BY AUTOMATED CONSTRUCTION ENHANCED SOLUTIONS, INC., DATED MARCH 20, 2017.

2. ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE. THE CONTRACTOR IS TO VISIT THE SITE AND THOROUGHLY ACQUAINT HIMSELF WITH ALL EXISTING CONDITIONS. TO CHECK AND VERIFY ALL CONDITIONS, DIMENSIONS, ETC. AND REPORT TO THE ARCHITECT ANY ERRORS, OMISSIONS, OR VARIATION FROM INTENT OF THE PLANS, PRIOR TO THE START OF WORK.

3. UPON DISCONNECTION OF THE ROOF DRAINS AND SUMP PITS FROM THE SANITARY LINE, THE CITY OF BEACON BUILDING DEPARTMENT SHALL BE CONTACTED TO VERIFY ALL DISCONNECTIONS HAVE BEEN MADE.

4. SUMP PUMPS TO BE PROVIDED FOR FOOTING DRAINS IF NECESSARY. THE TYPE OF PUMP AND METHODS USED TO ENSURE PROPER DRAINAGE SHALL BE ACCEPTABLE TO THE CITY OF BEACON BUILDING DEPARTMENT.



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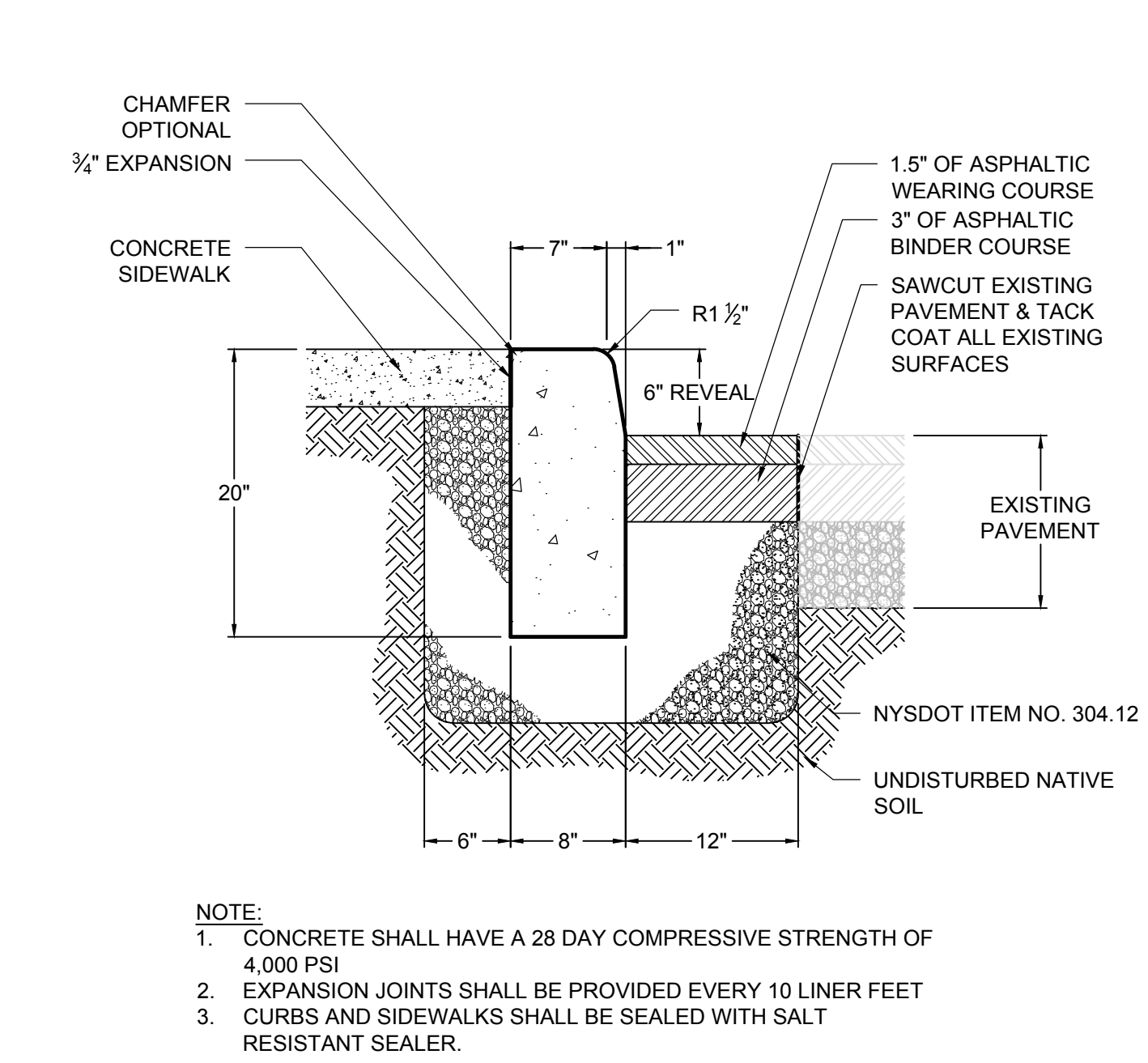
PROJECT

16 Church Street
Tax Map No. 130200-5954-28-885953
City of BeaconDutchess County, New York

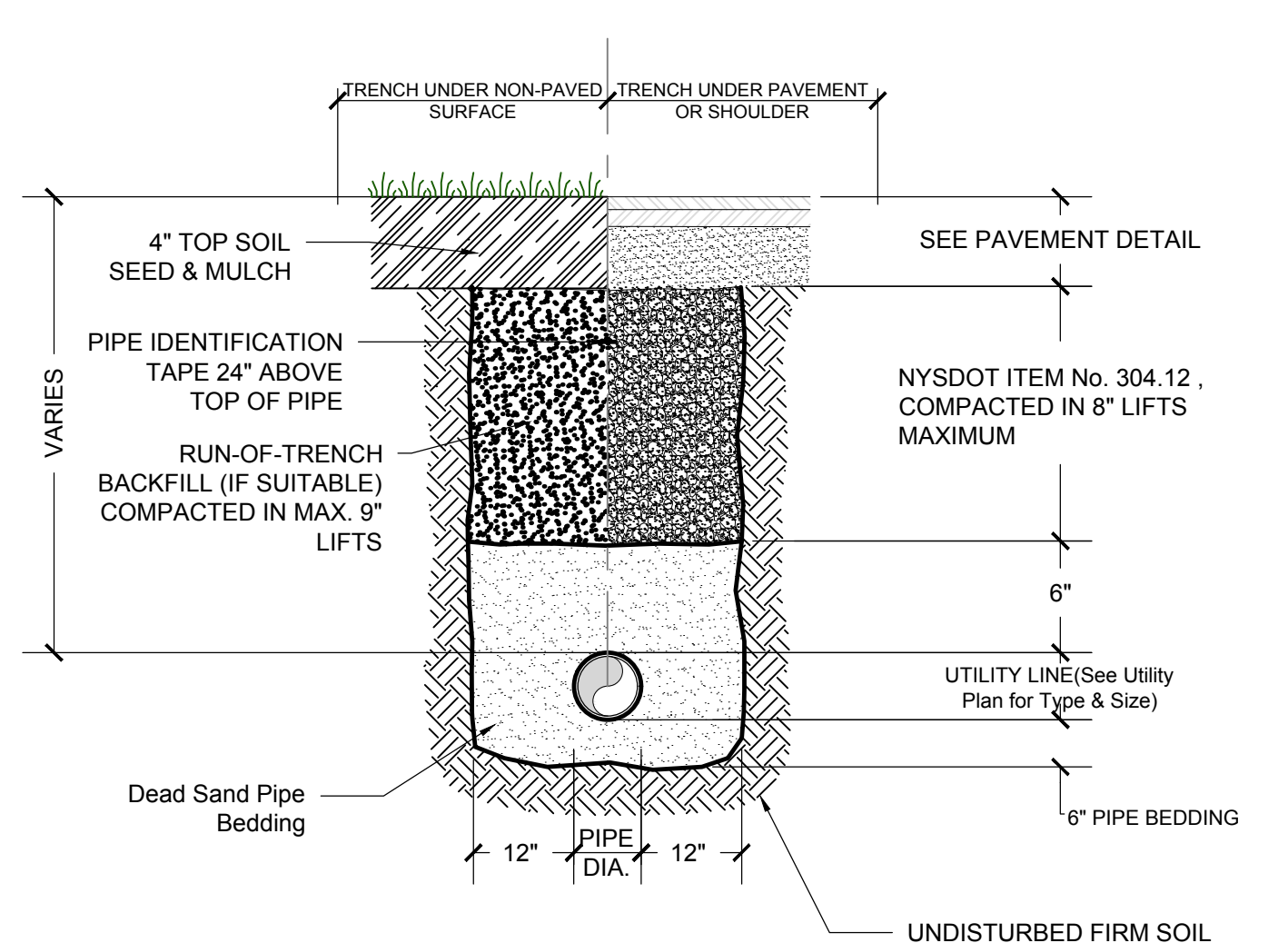
DRAWING

Grading & Erosion
Control Plan

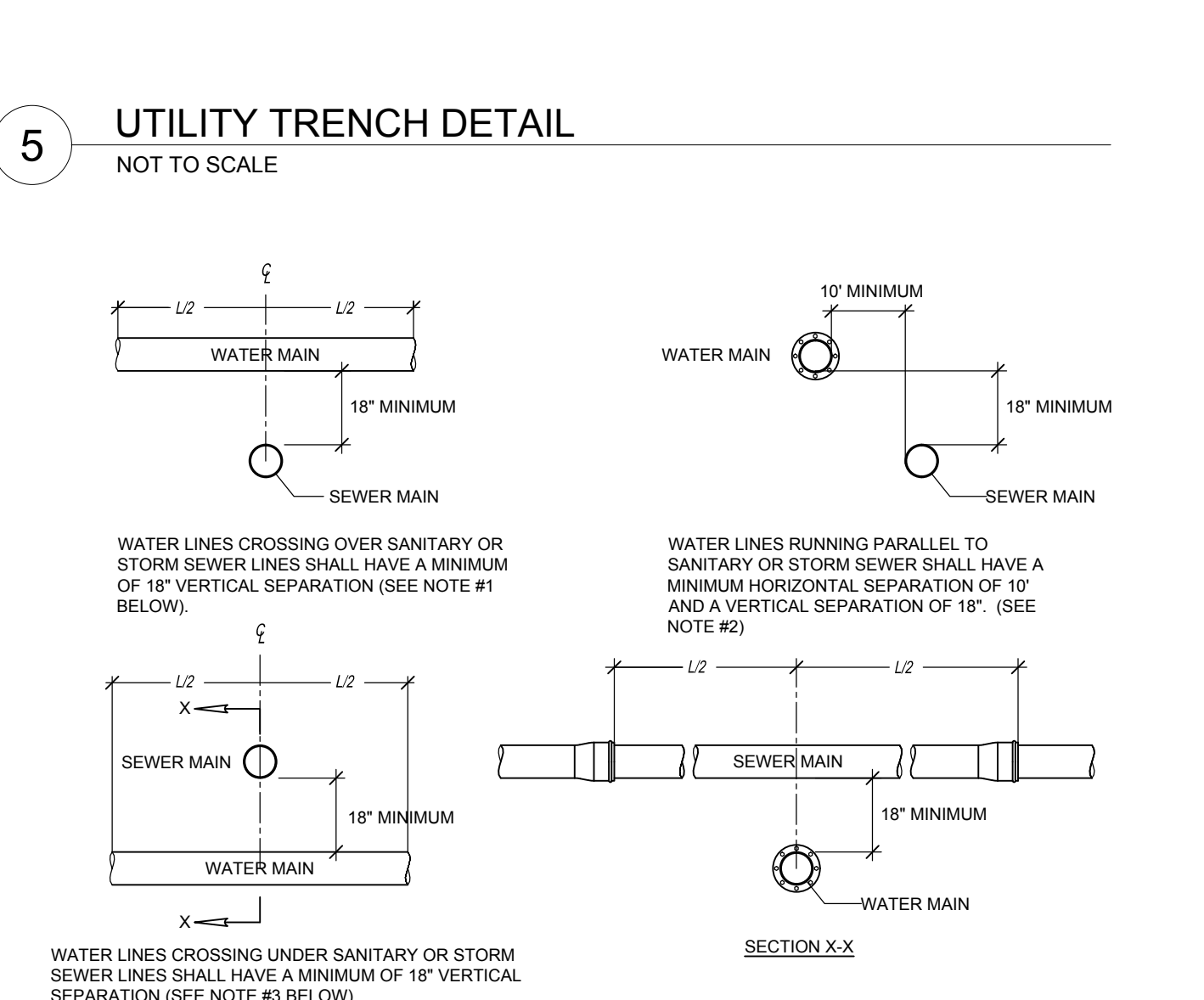
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1" = 10'	DJL	CS102
DATE	CHECKED BY	
01-26-17	DJL	3 of 4



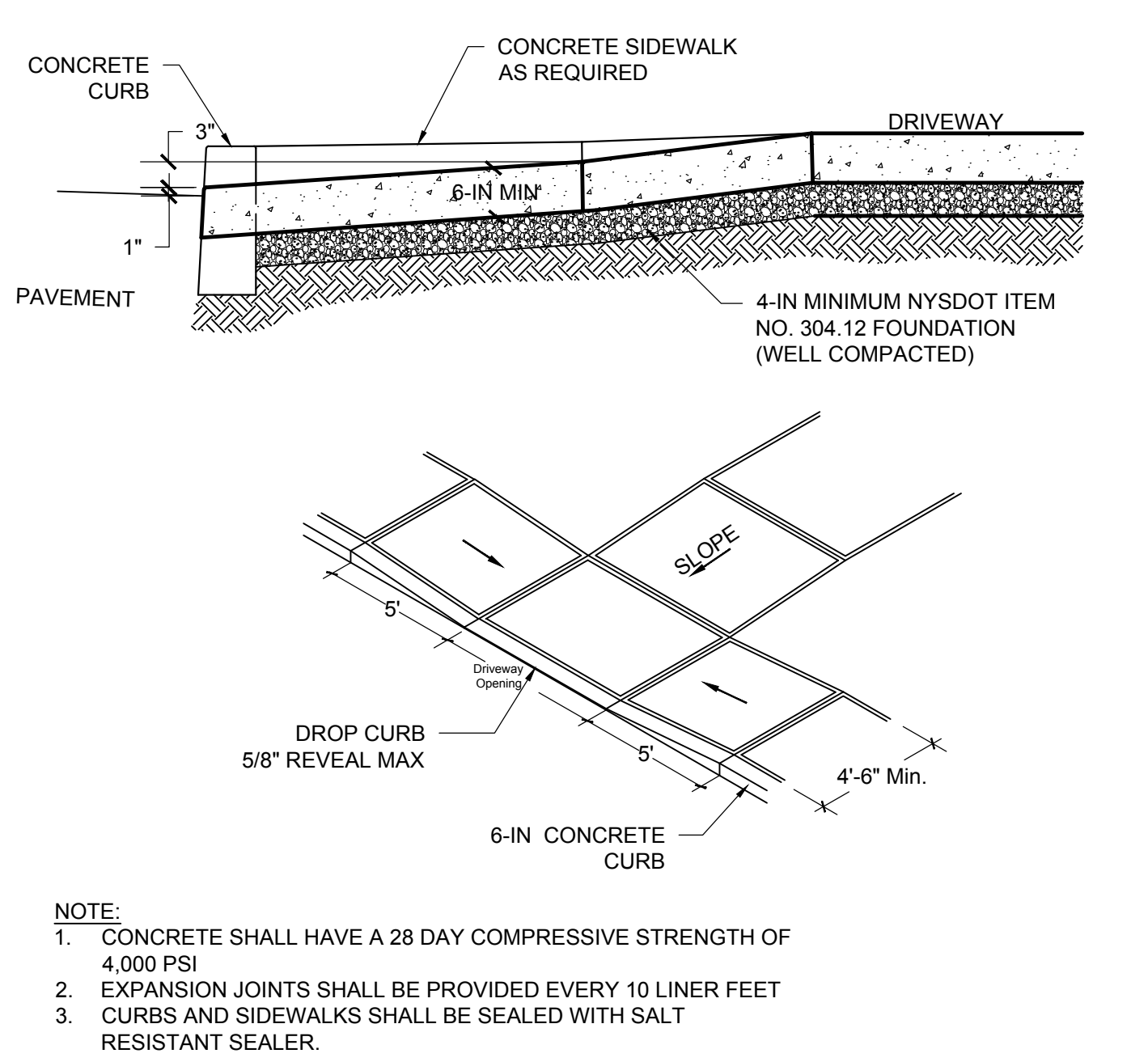
1 CAST-IN-PLACE CONCRETE CURB DETAIL
NOT TO SCALE



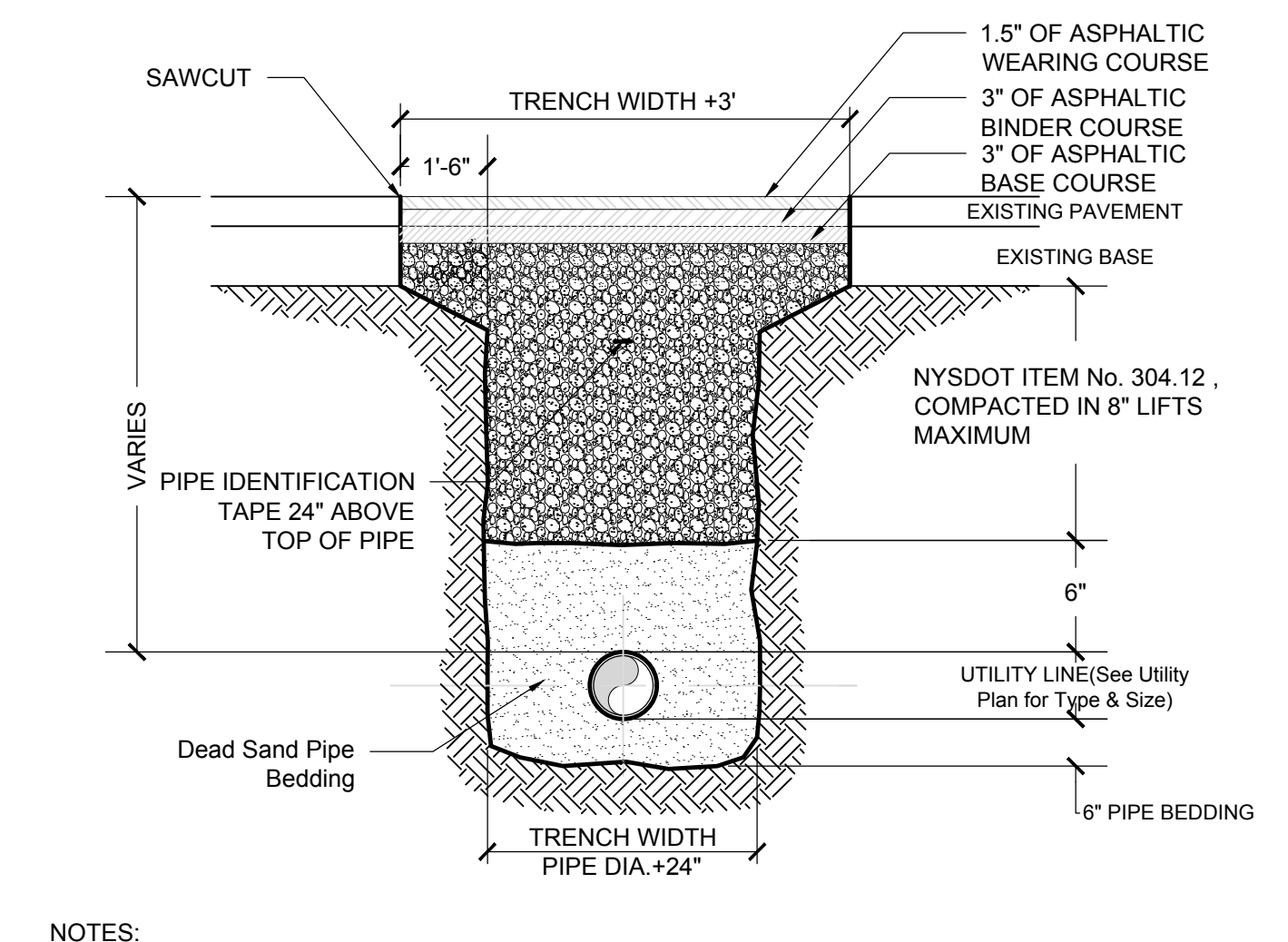
5 UTILITY TRENCH DETAIL
NOT TO SCALE



9 WATER & SEWER SEPARATION
NOT TO SCALE



2 DRIVEWAY ENTRANCE DETAIL
NOT TO SCALE



6 UTILITY TRENCH IN CITY R.O.W
NOT TO SCALE

Standard Notes for Residential Projects

The design, construction and installation shall be in accordance with this plan and generally accepted standards in effect at the time of construction which include:

- "Appendix 75-A, Waste Treatment - Individual Household Systems, New York State Sanitary Code."
- "Waste Treatment Handbook, Individual Household Systems, New York State Department of Health."
- "Rural Water Supply, New York State Department of Health."
- "Planning the Subdivision as Part of the Total Environment, New York State Department of Health."
- "New York State Department of Health and Dutchess County Department of Health policies, procedures and standards."
- "Dutchess County Department of Health Sanitary Code, Article XI and Article XIX."
- "Dutchess County Department of Health Certificate of Approval letter."

This plan is approved as meeting the appropriate and applied technical standards, guidelines, policies and procedures for arrangement of sewage disposal and treatment and water supply facilities; and, as a condition of this approval, a construction inspection by a representative of the Dutchess County Health Department shall be done to determine that construction at the time of inspection was completed in general conformance with the approved plans and any amendment thereto.

Approval of any plan(s) or amendment thereto shall be valid for a period of five (5) years from the date of approval. Following the expiration of said approval, the plan(s) shall be re-submitted to the Commissioner of Health for consideration for re-approval. Re-submission or revised submission of plans and/or associated documents shall be subject to compliance with the technical standards, guidelines, policies and procedures in effect at the time of the re-submission.

The Dutchess County Department of Health shall be contacted prior to the commencement of the home construction and/or issuance of a building permit for a pre-construction inspection to ensure that the arrangements for water supply and sewage disposal are commenced in accordance with the approved plans and amendments thereto and generally accepted standards.

All wells and SDS existing or approved within 200 feet of the proposed wells and SDS are shown on this plan along with any other environmental hazards in the area that may affect the design and functional ability of the SDS and well.

All proposed wells and service lines on this plan are accessible for installation and placement.

There shall be no vehicular traffic over the sewage disposal system. Prior to construction, the area of the system shall be staked out and fenced off.

Sewage disposal systems shall not be installed in wet or frozen soil.

All required Erosion & Sediment Control and Storm Water Pollution Prevention Water Quality & Quantity Control structures, permanent and temporary, are shown on the plans.

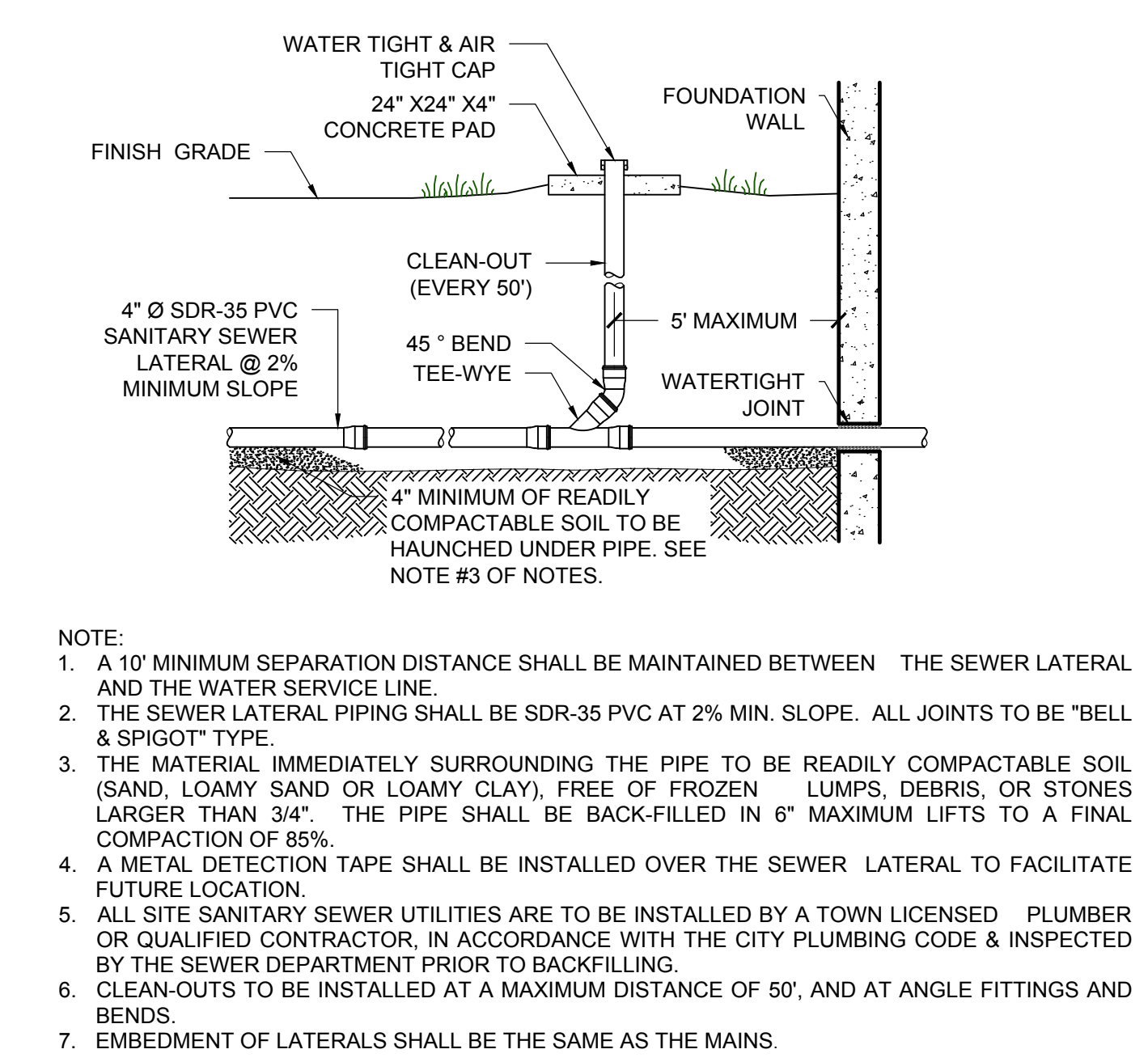
The undersigned owners of the property hereon state that they are familiar with this map, its contents and its legends and hereby consent to all said terms and conditions as stated herein.

- Additional Notes for Residential Projects with Central Utilities -

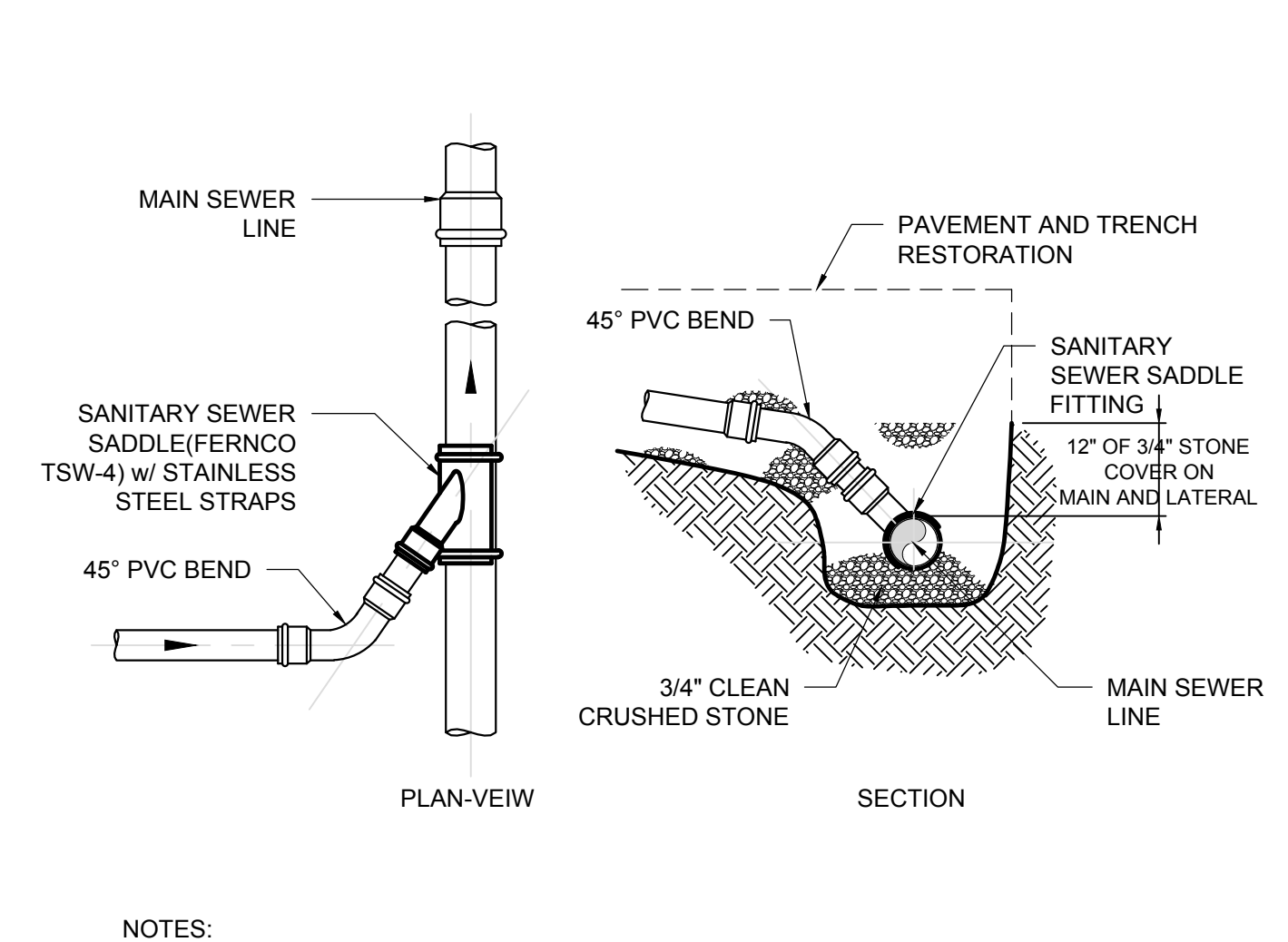
That, no buildings are to be occupied and the new water system shall not be placed into service, until a "Completed Works Approval" is issued under section 5-1.22(d) of Part 5 of the New York State Sanitary Code (10NYCRRS).

That, no buildings are to be occupied and the new wastewater collection system shall not be placed into service until, a "Certificate of Construction Compliance" is issued under section 19.7 of Article 19 of the Dutchess County Sanitary Code.

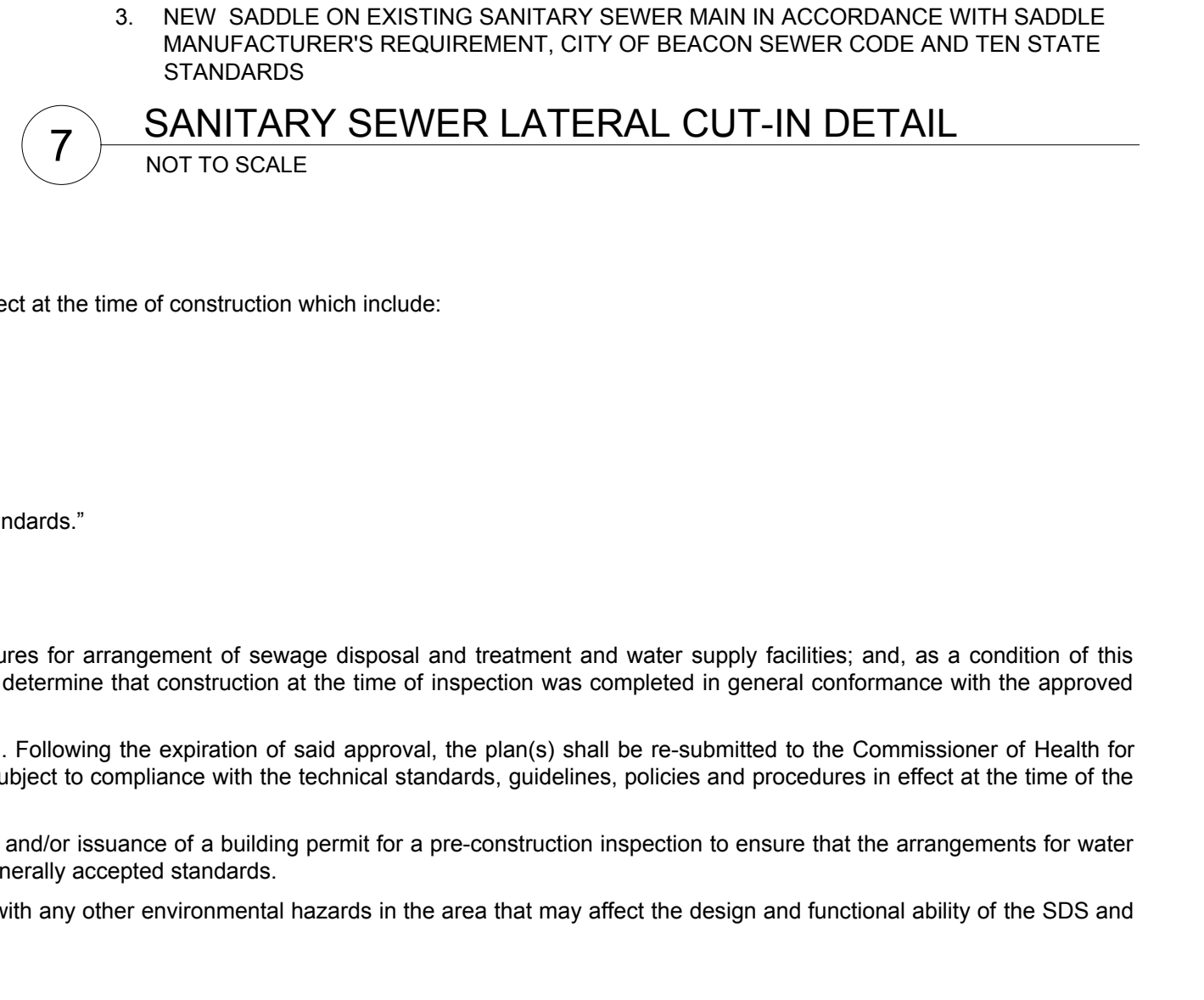
10 DUTCHESS COUNTY DEPARTMENT OF HEALTH NOTES
NOT TO SCALE



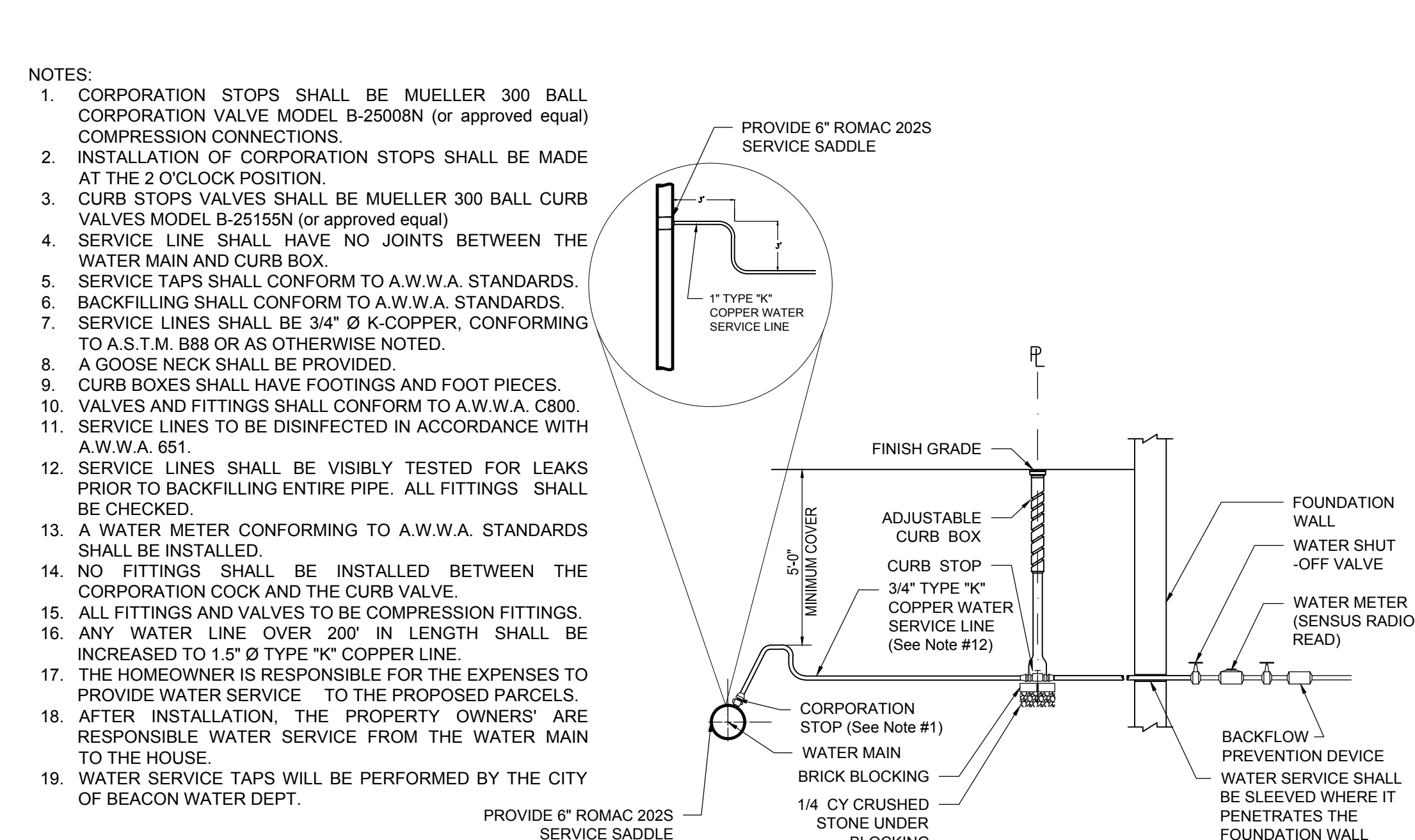
3 TYPICAL BUILDING SANITARY SEWER LATERAL DETAIL
NOT TO SCALE



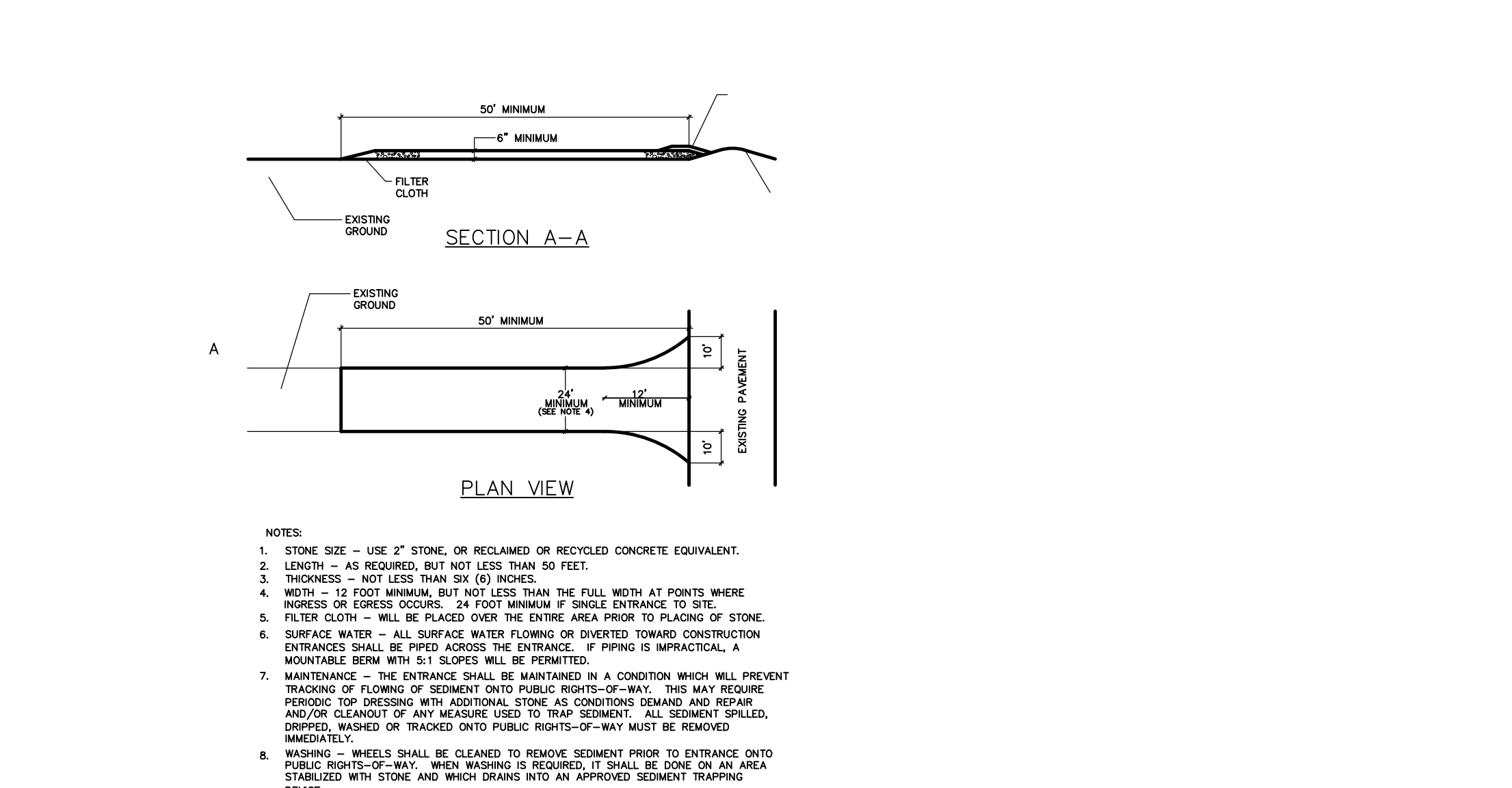
7 SANITARY SEWER LATERAL CUT-IN DETAIL
NOT TO SCALE



8 ANTI-TRACKING PAD DETAIL
NOT TO SCALE



4 TYPICAL WATER SERVICE LINE DETAIL
NOT TO SCALE



12 SILT FENCE DETAIL
NOT TO SCALE

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