

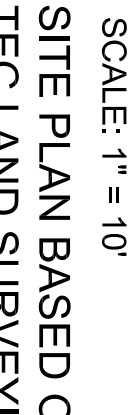
SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_ BY \_\_\_\_\_  
 \_\_\_\_\_ CHAIRMAN  
 \_\_\_\_\_ SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY  
 RESPECTIVELY MAY SIGN IN THIS PLACE.



## INSIDE VIEW

## L1: Wall Mounted



NOTE: THE MANUFACTURER DOES NOT PROVIDE PHOTOMETRIC INFORMATION FOR THESE FIXTURES. FIXTURES WILL BE SHIELDED TO AVOID LIGHT SPILLAGE ONTO ADJACENT PROPERTIES, AND TO SHIELD FROM LIGHT PROJECTING UPWARD TO THE SKY

**Surveyor:**  
**TEC Surveying**  
15C Tioronda Avenue  
Beacon, New York 12508

\* To conform with neighboring building setbacks  
\*\* Existing non-conforming condition

|      |                        |
|------|------------------------|
| Seed | April-October planting |
|------|------------------------|

555 36 24 E 84.00 — X — X —



# Site Plan

Scale: 1" = 10'

Scale: 1" = 10'

# Sheet 1 of 5 - Site Plan

REVISIONS:

|              |  |
|--------------|--|
| Sheet 1 of 5 | Site Plan                                    |
| Sheet 2 of 5 | Existing Conditions Survey                   |
| Sheet 3 of 5 | Building Plans & Elevations                  |
| Sheet 4 of 5 | Utility and Erosion & Sediment Control Plans |
| Sheet 5 of 5 | Construction Details                         |

|                               |                                |
|-------------------------------|--------------------------------|
| Total Proposed Parking Spaces | 0 Parking Spaces<br>See Note 1 |
|-------------------------------|--------------------------------|

1. There are public parking lots within 800' of the property  
a. Pleasant Ridge Pizza

2. The Applicant proposes a new yard support section of 10' instead of the required setback of 25'. This allows the building to be larger (more than 1000 sq ft) and to have a larger number of units.
3. Bathrooms are proposed. Therefore, the project is not required to comply with Workforce Housing requirements.
4. Retail hours of operation: 7am – 10pm, Monday through Sunday, inclusive.
5. No signage is proposed as part of this application. Retail tenants will apply separately to the Planning Board for their own signage.

Not to Scale



**Zoning District:** CMS (Central Main Street)  
**Tax Map No.:** 5954-27-86091

|                              |                            |
|------------------------------|----------------------------|
| Zoning District:             | CMS (Central Main Street)  |
| Tax Map No.:                 | 5964-27-86031              |
| Lot Area:                    | 0.13 Acres                 |
| Building Footprint:          | 3,882 square feet          |
| Historical Overlay District: | No                         |
| Parking Overlay District:    | Yes                        |
| Existing Use:                | Automobile Service Station |
| Proposed Use:                | R-2 Residential / Retail   |

### Parking & Loading

|                               |                                |
|-------------------------------|--------------------------------|
| Total Proposed Parking Spaces | 0 Parking Spaces<br>See Note 1 |
|-------------------------------|--------------------------------|

1. There are public parking lots within 800' of the property  
a. Pleasant Ridge Pizza