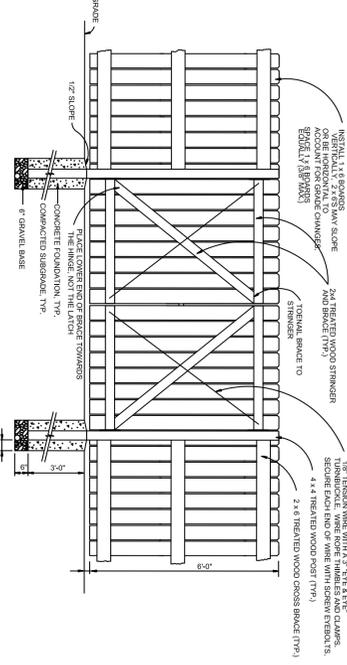
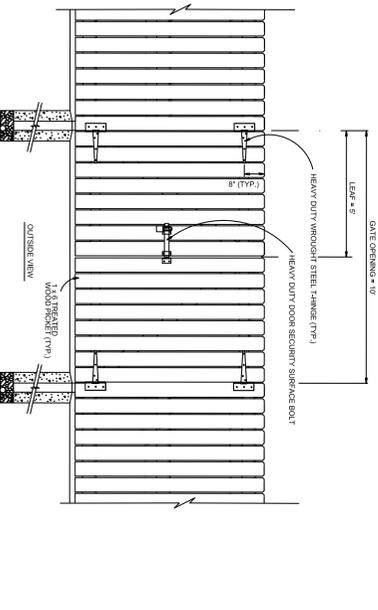


APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_ SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAN, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_ BY \_\_\_\_\_ CHAIRMAN

\_\_\_\_\_ SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTFULLY SIGN IN THIS PLACE.



### Wood Fence & Gate Details

Not to Scale



L1: Wall Mounted

### Lighting

Not to Scale

NOTE: THE MANUFACTURER DOES NOT PROVIDE PHOTOGRAPHIC INFORMATION FOR THESE FIXTURES. FIXTURES WILL BE SHIELDED TO AVOID LIGHT SPILLAGE ONTO ADJACENT PROPERTIES, AND TO SHIELD FROM LIGHT PROJECTING UPWARD TO THE SKY.

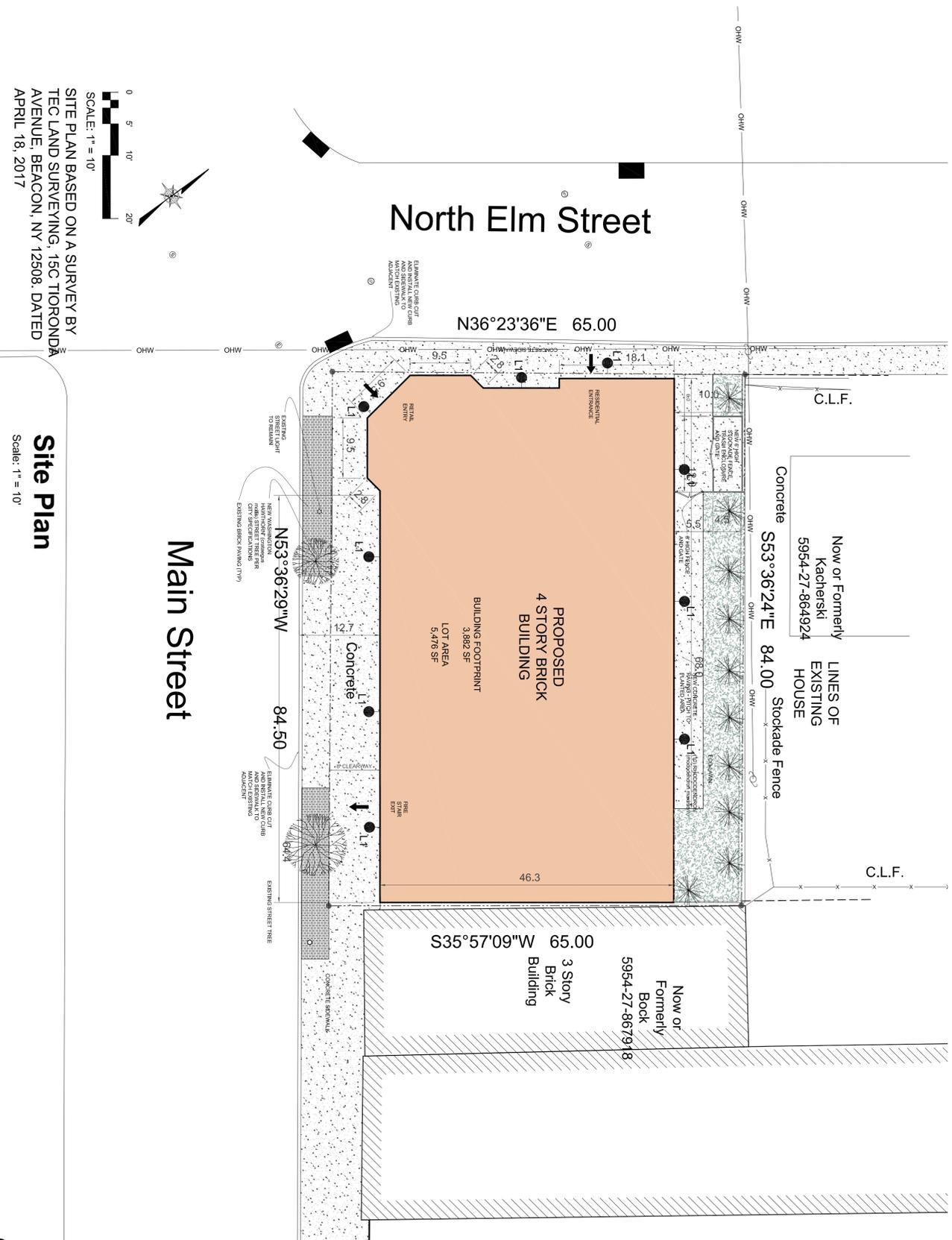
#### Bulk Zoning Regulations Table

Zoning District	Required Setbacks		Proposed Setbacks		Frontage Required	Frontage Proposed	Minimum Lot Depth	Proposed Lot Depth	Automobile Height	Proposed Height	Lot Area	Proposed Floor Area
	Front	Rear	Front	Rear								
ONS	0'	0'	25'	0'	10%	100%	75'	69'	4 stories	4 stories	5,476 sf	15,528

\* To conform with neighboring building setbacks  
 \*\* Existing pre-existing condition

#### PLANT SCHEDULE

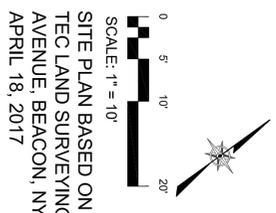
QUANTITY	KEY	BOTANIC NAME	COMMON NAME	SIZE	COMMENTS
10	S-R	<i>Rhododendron maximum</i>	Rhododendron	30-35"	
105	ECO-LAWN	<i>Bouteloua distachyoides 'Texocki'</i>	Eco Lawn	Seed	April-October planting



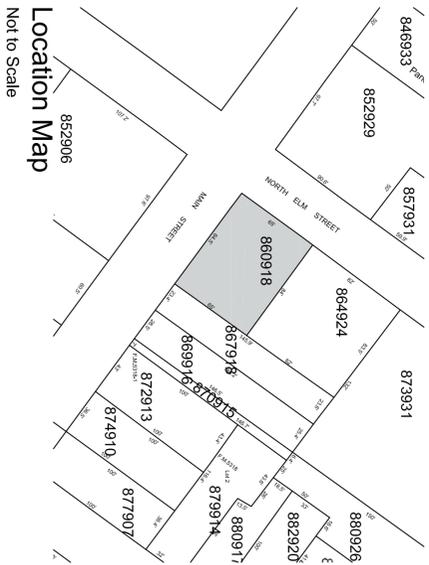
### Site Plan

Scale: 1" = 10'

### Main Street



SITE PLAN BASED ON A SURVEY BY TEC LAND SURVEYING, 15C TORONDA AVENUE, BEACON, NY 12508. DATED APRIL 18, 2017



### Location Map

Not to Scale

#### Zoning Summary

Zoning District: OMS (Central Main Street)  
 Tax Map No.: 5954-27-86091  
 Lot Area: 5,476 sq. ft.  
 Building Footprint: 3,882 square feet  
 Historical Overlay District: No  
 Existing Zoning District: R2 Residential / Retail  
 Proposed Use: Automobile Service Station  
 R2 Residential / Retail

#### Parking & Loading

Use & Parking Requirements	Proposed Area	Current Parking Requirement
Residential	(B) apartments	8 parking spaces
Retail	3 spaces per 1,000 sf of floor area	11 parking spaces
<b>Total Required Parking Spaces</b>		<b>19 Parking Spaces</b>
		<b>9 Parking Spaces</b>

- #### Notes:
- There are no public parking lots within 800' of the property.
  - The applicant proposes a rear yard setback of 10' instead of the required setback of 25'. This allows the building to be large enough to feasibly support the creation of a minimum number of apartments.
  - 8 apartments are proposed. Therefore, the project is not required to comply with Workforce Housing requirements.
  - Retail hours of operation: 7am - 10pm, Monday through Sunday, inclusive
  - No signage is proposed as part of this application. Retail tenants will apply separately to the Planning Board for their own signage.

#### Index of Drawings

NO.	DATE	DESCRIPTION	BY
1	05/30/17	REVISED PER PLANNING BOARD COMMENTS	AJS

#### REVISIONS:

NO.	DATE	DESCRIPTION	BY
1	05/30/17	REVISED PER PLANNING BOARD COMMENTS	AJS

### Site Plan Application

Sheet 1 of 5 - Site Plan

### 226 Main Street

Beacon, New York  
 Scale: 1" = 10'  
 April 25, 2017

Owner:  
**Estate of Jeffrey McGarvey**  
 C/O Epstein & Epstein,  
 PO Box 2, Beacon, NY 12508

Applicant  
**328 Main Street, LLC**  
 445 Main Street  
 Beacon, New York 12508

Architect:  
**Aryeh Siegel, Architect**  
 514 Main Street  
 Beacon, New York 12508

Site / Civil Engineer:  
**Hudson Land Design**  
 174 Main Street  
 Beacon, New York 12508

Surveyor:  
**TEC Surveying**  
 15C Toronda Avenue  
 Beacon, New York 12508