

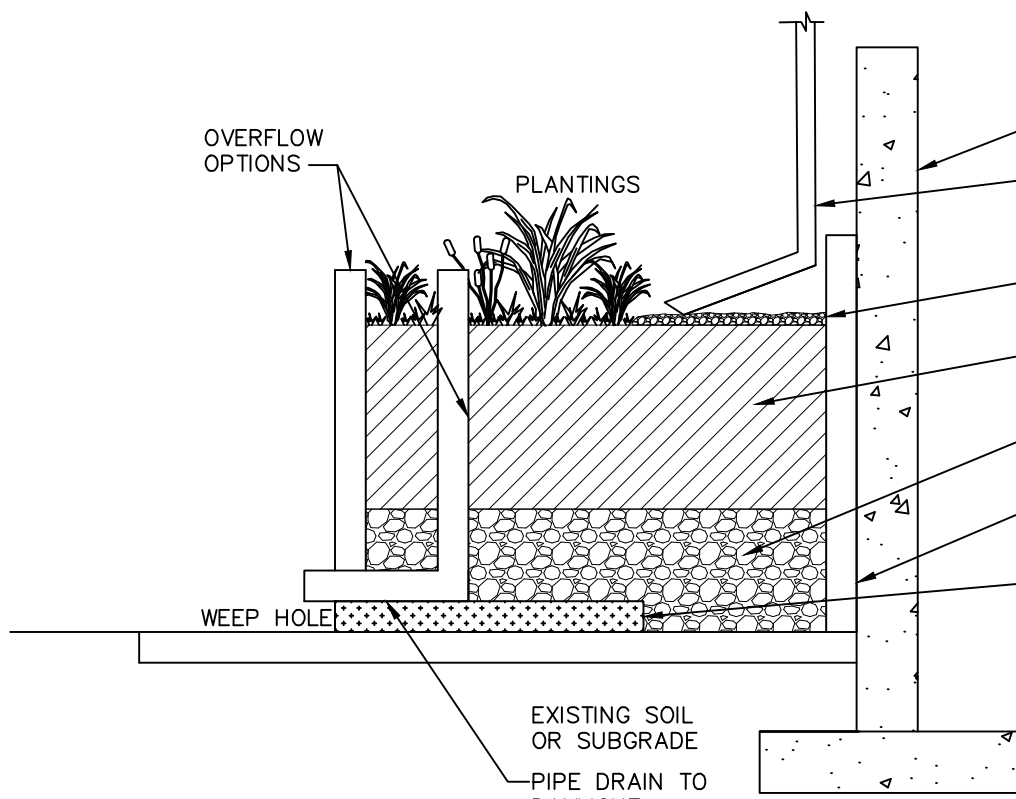
APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE _____ DAY OF _____, 20____, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS _____ DAY OF _____, 20____, BY _____

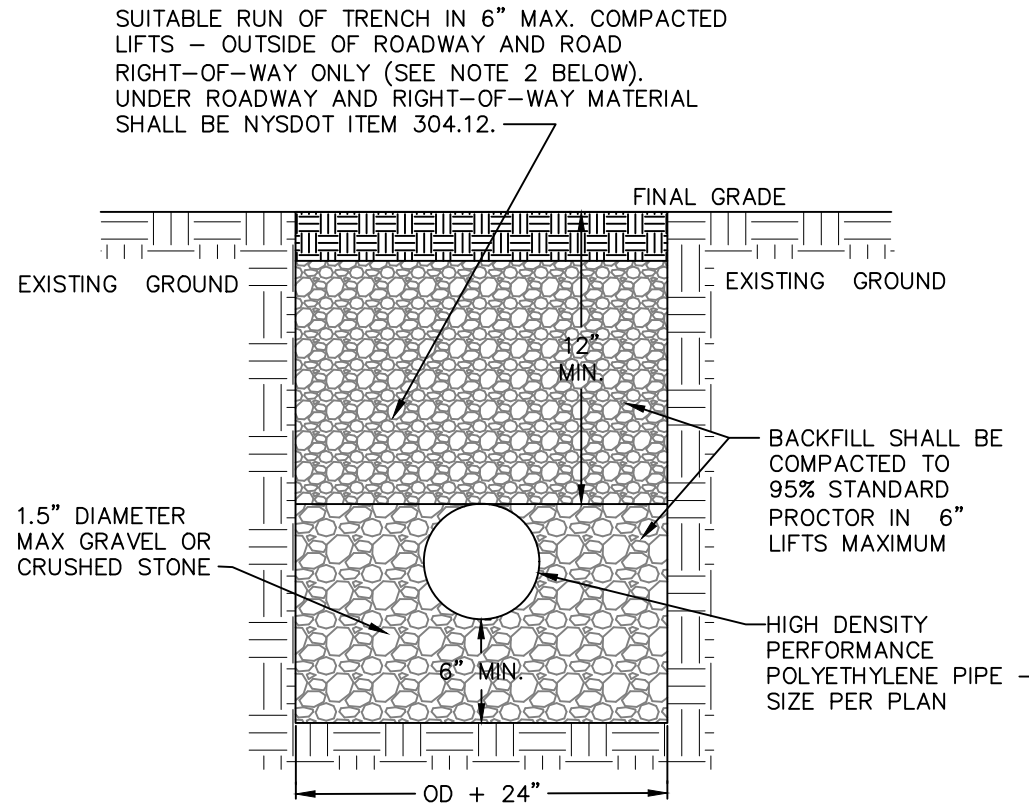
CHAIRMAN

SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

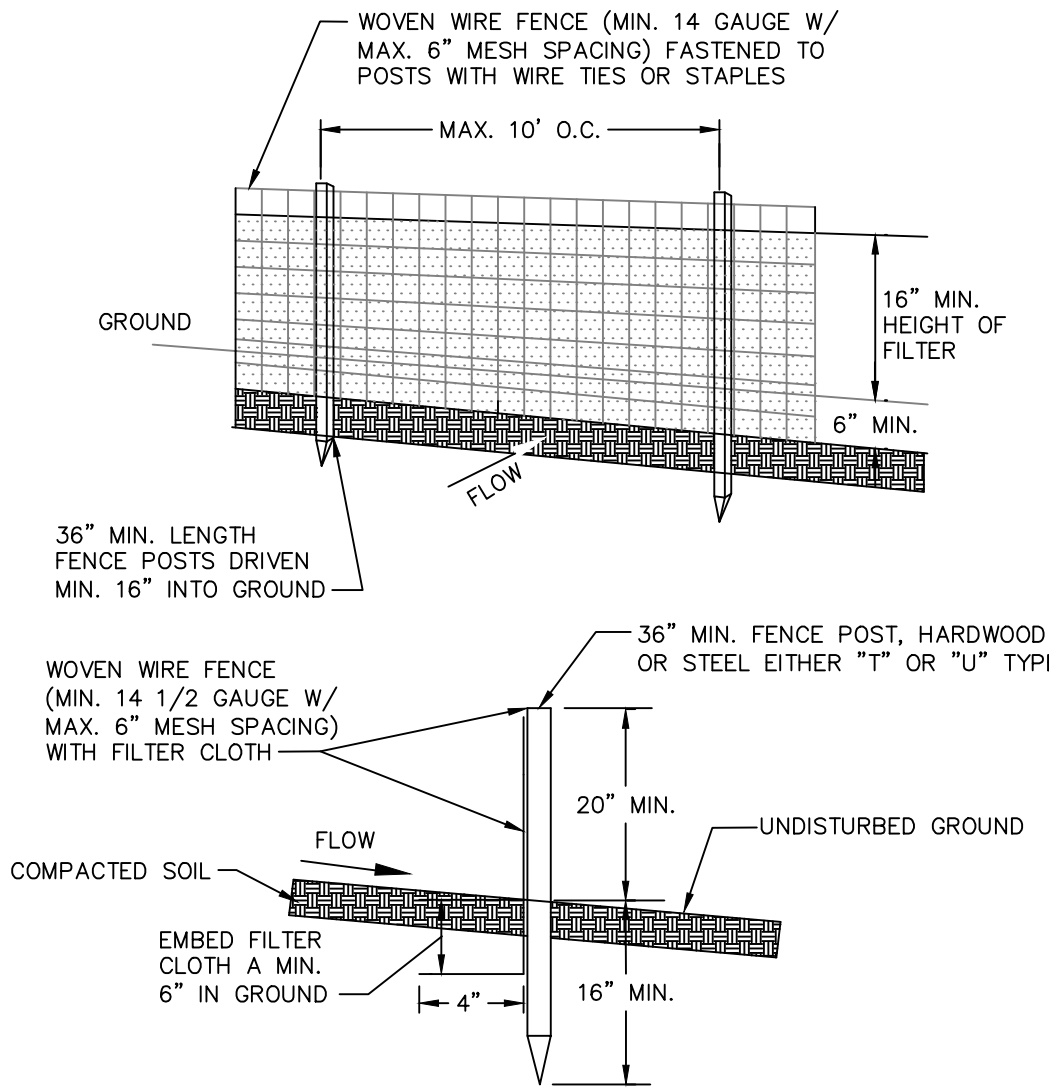


STORMWATER PLANTER DETAIL
NOT TO SCALE



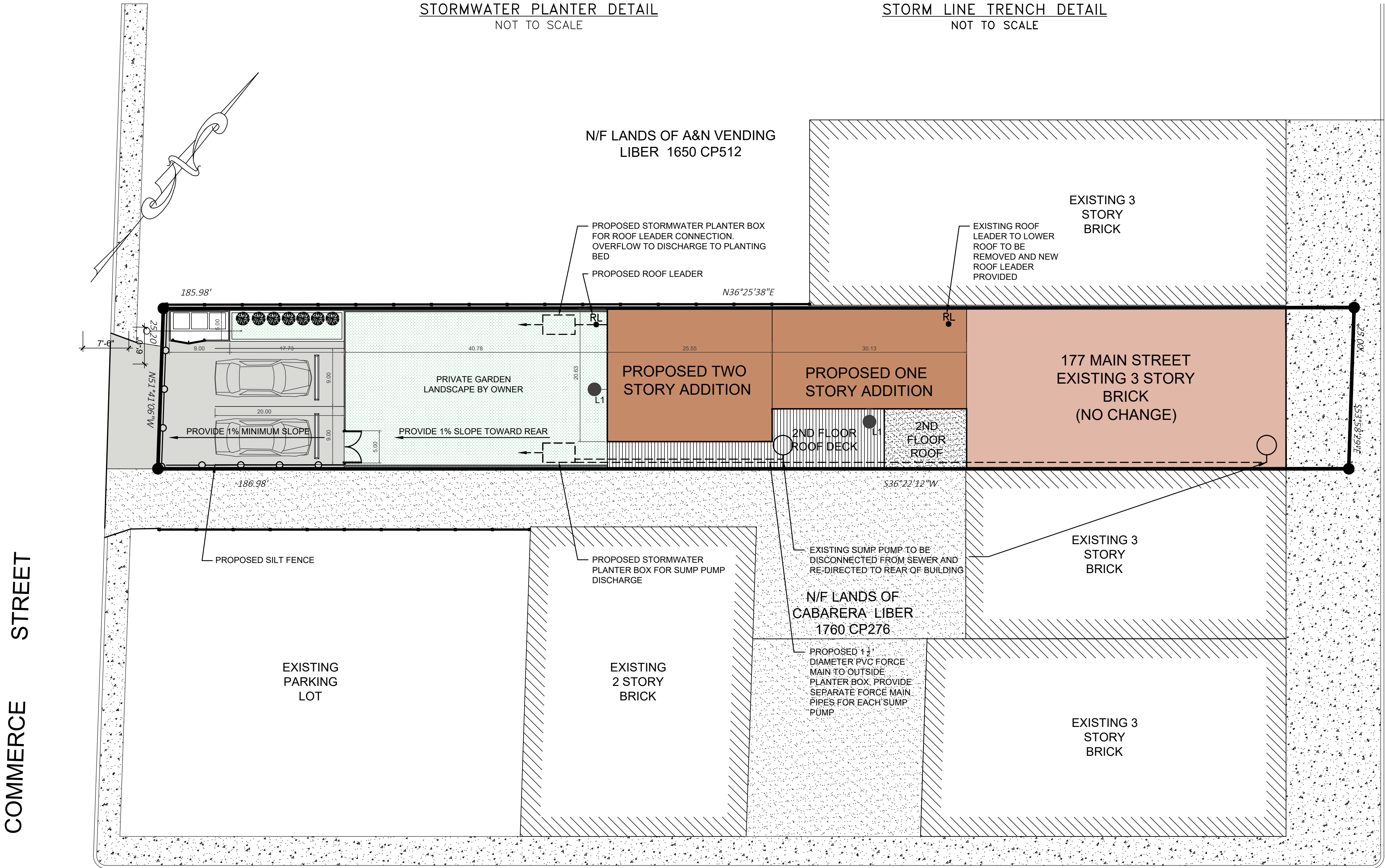
NOTES:
1. EXCAVATION AND TRENCHING SHALL MEET ALL OSHA REQUIREMENTS.

STORM LINE TRENCH DETAIL
NOT TO SCALE



NOTES:
1. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
2. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N OR APPROVED EQUAL.
3. PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE OR APPROVED EQUAL.
4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

SILT FENCE DETAIL
NOT TO SCALE



COMMERCE STREET

STREET

MAIN

Grading, Drainage and E&SC Plan
Scale: 1" = 10'

CLIFF STREET

LEGEND

- EXISTING PROPERTY LINE
- PROPOSED SILT FENCE

SITE SPECIFIC NOTES:

1. THE CONTRACTOR SHALL PERFORM A UTILITIES CALL-OUT PRIOR TO CONSTRUCTION TO VERIFY ALL UNDERGROUND UTILITY LOCATIONS BY CONTACTING UPO @ 1-800-962-7962. SPECIFIC ATTENTION SHALL BE PAID TO THE LOCATIONS OF THE GAS, WATER AND SEWER MAINS WITH RESPECT TO THE PROPOSED LOCATIONS FOR THE SERVICE LINES.
2. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS AND INVERTS OF ALL DRAINAGE, SANITARY SEWER, WATER AND GAS LINES AND STRUCTURES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOT ASSUME THAT ALL LOCATIONS AS SHOWN ON THE PLAN ARE CORRECT.
3. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION. COMMERCE STREET AND CLIFF STREET SHALL BE KEPT CLEAN AND SWEEPED DURING CONSTRUCTION.
4. SUMP PUMPS TO BE PROVIDED FOR FOOTING DRAINS, AS REQUIRED. THE TYPES OF PUMPS AND METHODS USED TO ENSURE PROPER DRAINAGE SHALL BE ACCEPTABLE TO THE CITY OF BEACON BUILDING DEPARTMENT.
5. THE TOTAL DISTURBANCE ASSOCIATED WITH THE PROJECT HAS BEEN ESTIMATED TO BE 2,375 SQUARE FEET (±0.055 ACRE).
6. THE BUILDING DEPARTMENT SHALL INSPECT THE EXISTING BUILDING TO CONFIRM THAT THERE ARE NOT EXISTING STORMWATER CONNECTIONS TO THE CITY'S SANITARY SEWER SYSTEM PRIOR TO THE MAP BEING SIGNED.

REVISIONS:			
NO.	DATE	DESCRIPTION	BY

Grading, Drainage and E&SC Plan
Sheet 5 of 5

Owner:
Frog Leap, Inc.
177 Main Street
Beacon, New York 12508

Architect:
Aryeh Siegel, Architect
84 Mason Circle
Beacon, New York 12508

Surveyor:
David Scott Freeman
176 Bell Hollow Road
Putnam Valley, New York 10579
Tel: (631) 926-4563

Site / Civil Engineer:
Hudson Land Design
174 Main Street
Beacon, New York 12508

177 Main Street
Beacon, New York
Scale: As Noted
April 25, 2017