



LOCATION MAP SCALE: 1" = 200'

Zone Classification R1-5 (1 Family Residential District)
Use Single Family Home
Tax Map Parcel No 130200-5954-28-885953

Topographic Datum NAVD 88
Total Acreage: 0.33 Ac.

Water Supply: City of Beacon
Sewage Disposal: City of Beacon

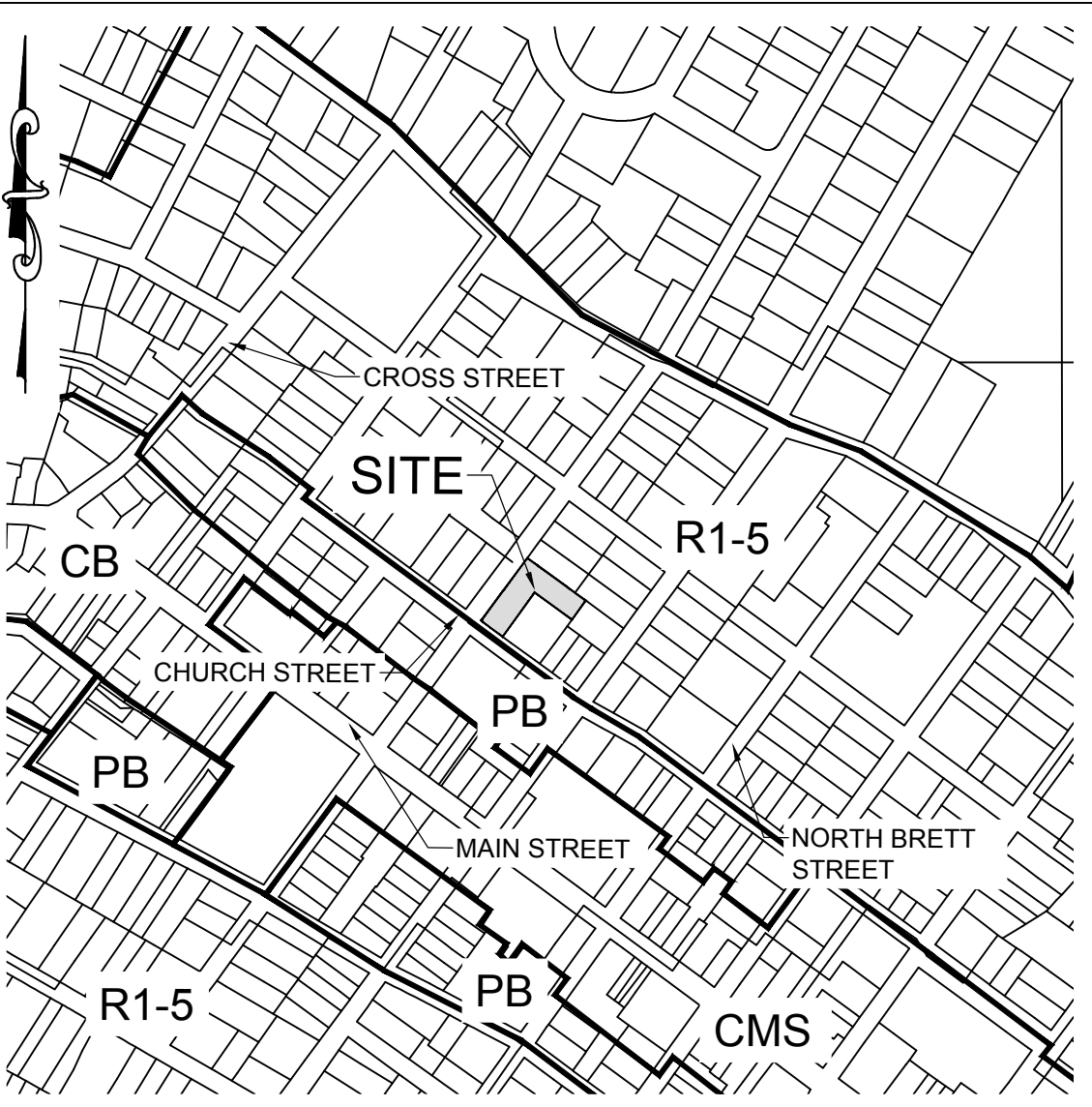
Bulk Regulations:	Required		Proposed	
	Lot 1	Lot 2	Lot 1	Lot 2
Minimum Lot Size				
Area (sf)	5,000	6,669	7,850	
Lot Area per Dwelling Unit (sf)	5,000	6,669	7,850	
Width (feet)	50	57	50	
Depth (feet)	100	117	157	

Minimum Yard			
Front	30	19.8 ^(a)	14/20 ^(c)
Side			
Minimum (feet)	10	2.1 ^(a)	10
Total of 2	20	12.9 ^(a)	20
Rear (feet)	30	26.50 ^(b)	30

Minimum Distance Between Building on the Same Lot None -- --

Maximum Height			
Main Building			
Stories	2 1/2	2	<2 1/2
Feet	35	<35	<35

- (a) Existing non-conforming
- (b) Area variance was granted by the Zoning Board of Appeals on February 22, 2017
- (c) Section 223-13 (k) - Exception for existing alignment of buildings. If on one side of a street within 250 feet of any lot there is a pronounced uniformity of alignment of the fronts of existing buildings and of the depths of front yards greater or less than the depth specified in the Schedules of Regulations, a front yard shall be required in connection with any new building which shall conform as nearly as practicable to those existing on the adjacent lots



AREA MAP SCALE: 1" = 400'

16 CHURCH STREET

Tax Map No. 130200-5954-28-885953

City of Beacon

PREPARED FOR
Seven & One Development LLC
268 Main Street
Beacon, New York 12508

GENERAL SITE NOTES

1. THE CONTRACTOR IS TO VISIT THE SITE AND THOROUGHLY ACQUAINT HIMSELF WITH ALL EXISTING CONDITIONS. TO CHECK AND VERIFY ALL CONDITIONS, DIMENSIONS, ETC. AND REPORT TO THE ARCHITECT ANY ERRORS, OMISSIONS, OR VARIATION FROM INTENT OF THE PLANS, PRIOR TO THE START OF WORK.
2. DRAWINGS ARE NOT TO BE SCALED: USE DIMENSIONS ONLY.
3. CONTRACTOR TO OBTAIN AND PAY FOR ALL REQUIRED LOCAL PERMITS. NO WORK IS TO COMMENCE UNTIL ALL PERMITS ARE OBTAINED.
4. THOSE ITEMS NOT NOTED, BUT IMPLIED AS NECESSARY FOR THE PERFORMANCE OF THE CONTRACT ARE CONSIDERED PART OF THE WORK.
5. ALL MATERIAL AND WORKMANSHIP IS TO BE GUARANTEED BY THE CONTRACTOR TO BE FREE OF DEFECTS FOR A PERIOD OF ONE YEAR. THE CONTRACTOR AGREES TO CORRECT, WITHOUT CHARGE SUCH CONDITIONS AS MAY OCCUR DURING THE GUARANTEE PERIOD.
6. ALL WORK IS TO BE EXECUTED BY MECHANICS SKILLED IN THEIR TRADES.
7. ALL CHANGES AND/OR SUBSTITUTIONS ARE TO BE APPROVED IN WRITING BEFORE BEING INCORPORATED INTO THE WORK.
8. ALL TRADES TO COOPERATE WITH EACH OTHER TO FACILITATE THE PROGRESS OF THE ENTIRE JOB.
9. CONTRACTOR SHALL VERIFY WITH LOCAL UTILITY COMPANY THE POSSIBILITY OF ANY UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION.
10. CONTRACTOR IS TO REMOVE ALL RUBBISH FROM THE SITE RESULTING FROM HIS WORK DURING THE PROGRESS OF CONSTRUCTION AND SHALL LEAVE THE PREMISES IN A CONDITION SATISFACTORY TO THE OWNER PRIOR TO THE FINAL PAYMENT.
11. ALL MATERIALS, ASSEMBLIES, CONSTRUCTION AND EQUIPMENT SHALL CONFORM TO THE REGULATIONS OF THE BUILDING CODE OF NEW YORK STATE AND SHALL CONFORM TO GENERALLY ACCEPTED STANDARDS.

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Sheet No.	Sheet Title
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CS101	2 of 4 Preliminary Subdivision Plat
CS102	3 of 4 Grading and Erosion Control Plan
CS501	4 of 4 Construction Details

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSONS TO ALTER THESE PLANS, SPECIFICATIONS, OR REPORTS IN ANY WAY, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR.

	Mark A. Day, PE
Reasons	03-27-2017
Project No.	2016:325
	License No. 069646

M.A. DAY Engineering, PC
Consulting Engineers
3 Van Wyck
Lane Suite 2
Wappingers Falls, New York
(845)-223-3202

PROJECT	16 Church Street	
	Tax Map No. 130200-5954-28-885953	
	City of Beacon	Dutchess County, New York
DRAWING	Cover Sheet	
SCALE	As Noted	DJL
DATE	01-26-17	DJL
	GI101	
	1 of 4	

Dutchess County Dept. of Health

Owner/Applicant

Seven & One Development LLC.
268 Main Street
Beacon, New York 12508

Owner's Consent Note

THE UNDERSIGNED OWNER OF THIS PROPERTY HEREON STATES THAT HE IS FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON

Seven & One Development LLC, Member

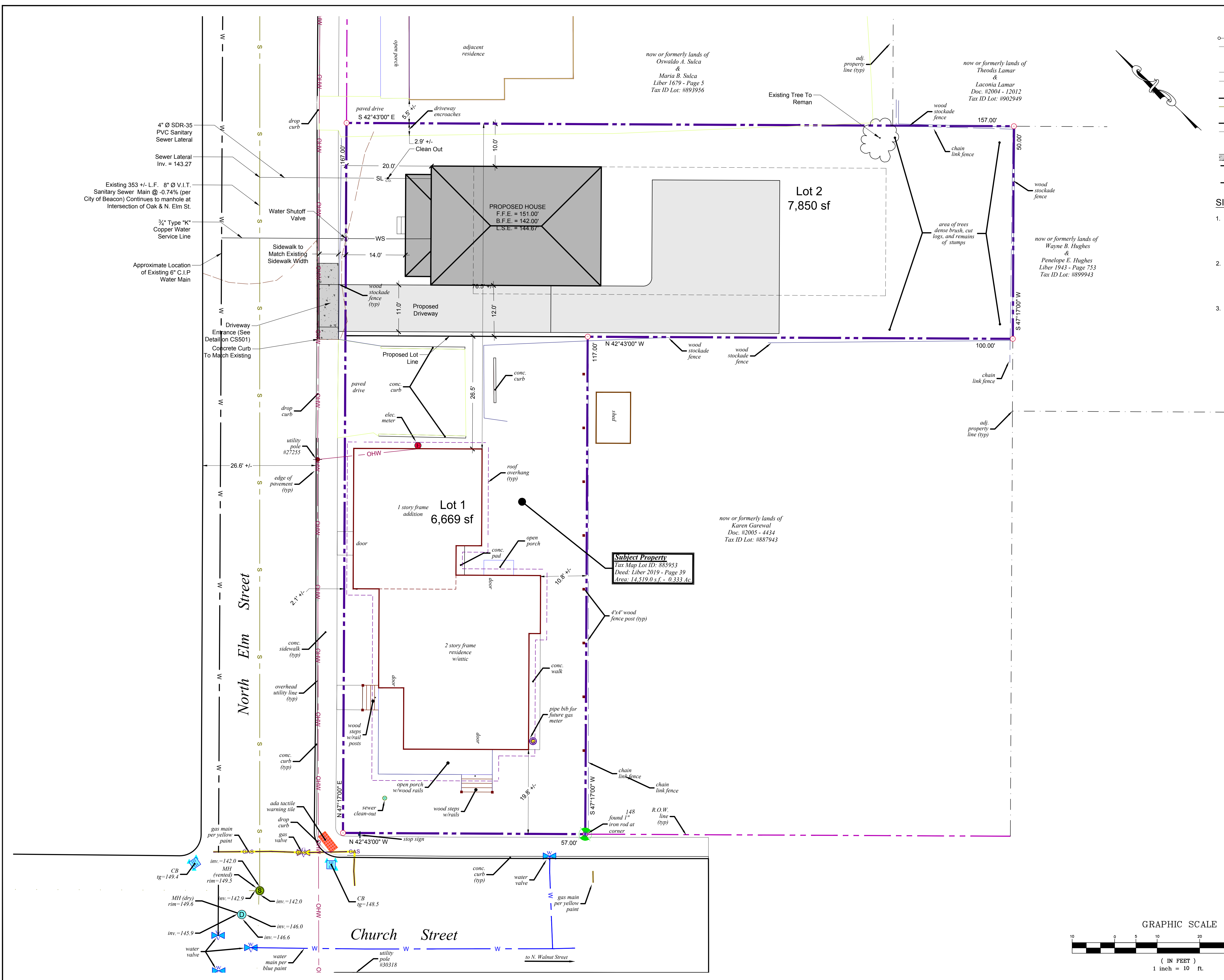
DATE

City of Beacon Planning Board

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK ON THE _____ DAY
OF _____, 2017 SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE,
MODIFICATION OR REVISION OF THIS PLAN, AS APPROVED SHALL VOID THIS APPROVAL.
CITY OF BEACON PLANNING BOARD

SIGNED THIS _____ DAY OF _____, 2017 BY

James C. Sheers, CITY OF BEACON PLANNING BOARD CHAIR



LEGEND

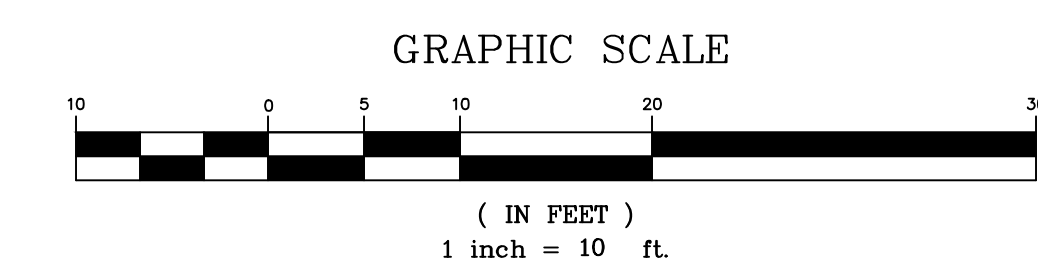
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- ADJACENT PROPERTY LINE (APPROX.)
- EXISTING STRUCTURES
- EXISTING CHAIN LINK FENCE
- EXISTING STOCKADE FENCE
- EXISTING UTILITY POLE
- EXISTING WATER MAIN
- EXISTING SANITARY SEWER MAIN
- PROPOSED LOT LINE
- PROPOSED SETBACK
- PROPOSED HOUSE
- PROPOSED CONCRETE SIDEWALK
- PROPOSED WATER SERVICE LINE
- PROPOSED WATER SHUT-OFF VALVE
- PROPOSED SANITARY SEWER LATERAL

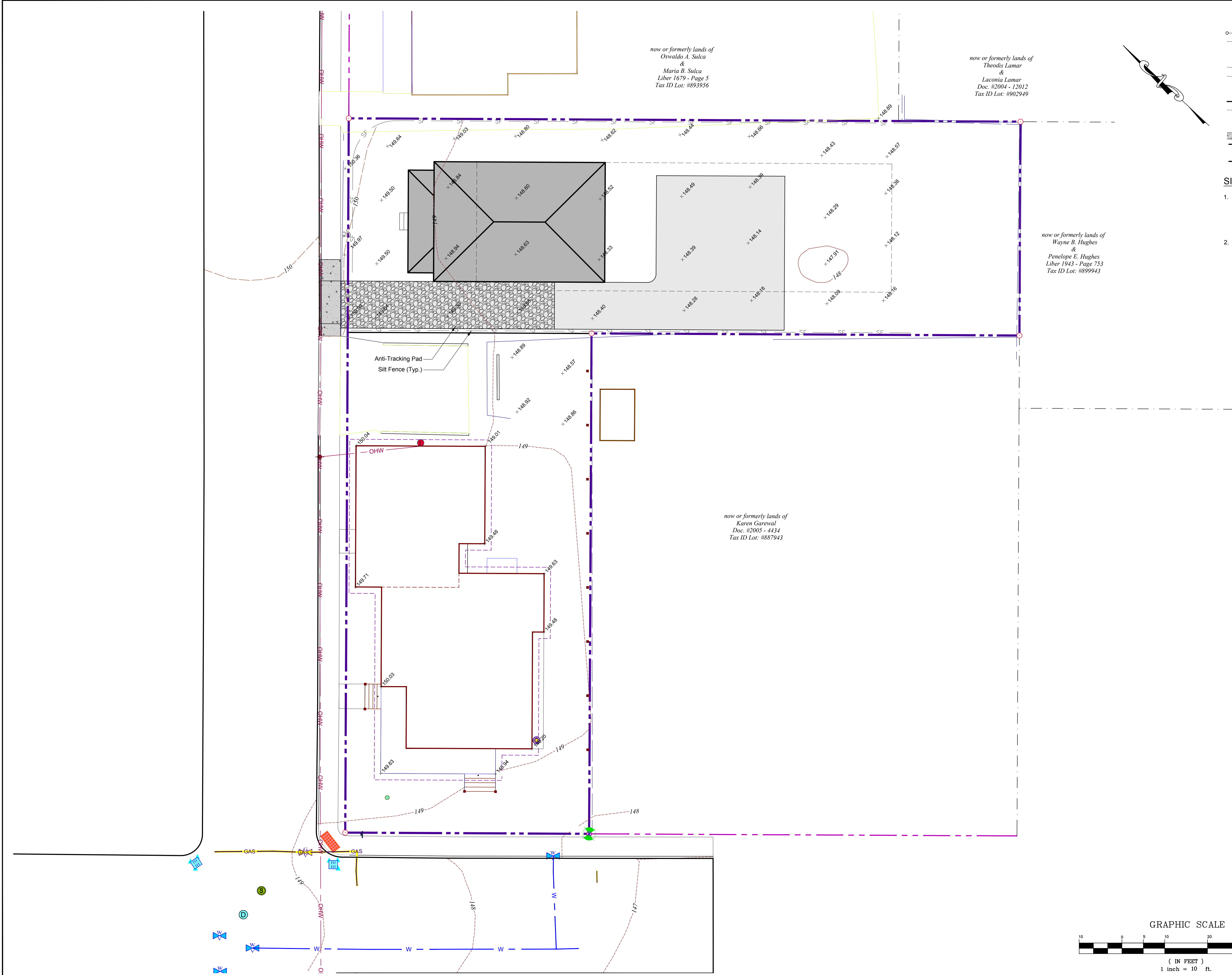
SITE NOTES

- PROPERTY BOUNDARY, UTILITIES AND TOPOGRAPHIC INFORMATION SHOWN HEREON ARE BASED ON A SURVEY ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY MAP OF THE LANDS OF DAVERNE JUDGE-DARITY" PREPARED BY AUTOMATED CONSTRUCTION ENHANCED SOLUTIONS, INC., DATED MARCH 20, 2017.
- ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE. THE CONTRACTOR IS TO VISIT THE SITE AND THOROUGHLY ACQUAINT HIMSELF WITH ALL EXISTING CONDITIONS. TO CHECK AND VERIFY ALL CONDITIONS, DIMENSIONS, ETC. AND REPORT TO THE ARCHITECT ANY ERRORS, OMISSIONS, OR VARIATION FROM INTENT OF THE PLANS, PRIOR TO THE START OF WORK.
- THERE SHALL BE NO CROSS-CONNECTIONS BETWEEN THE EXITING AND PROPOSED BUILDINGS AND THE CITY'S SANITARY SEWER SYSTEMS. ALL SITE DRAINAGE SHALL BE DISCHARGED AT GRADE OR TO THE EXISTING STORM SEWER SYSTEM.

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2016:325	
License No. 069646	
M.A. DAY Engineering, PC	
<i>Consulting Engineers</i>	
3 Van Wyck Lane Suite 2 Wappingers Falls, New York (845)-223-3202	
PROJECT 16 Church Street Tax Map No. 130200-5954-28-885953 City of Beacon Dutchess County, New York	
DRAWING PRELIMINARY Subdivision Plat	
SCALE 1" = 10'	DATE 01-26-17
DRAWN BY DJL	CHECKED BY DJL
CS101 2 of 4	





LEGEND

- EXISTING PROPERTY LINE
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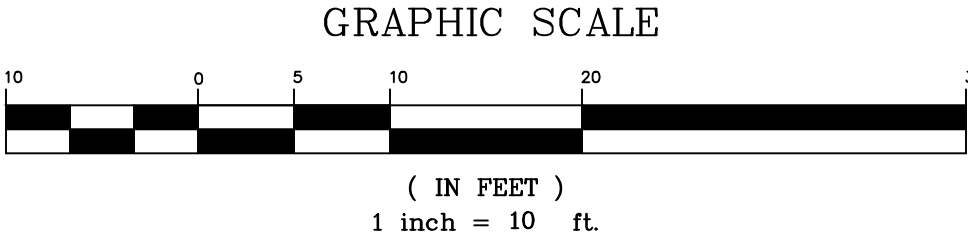
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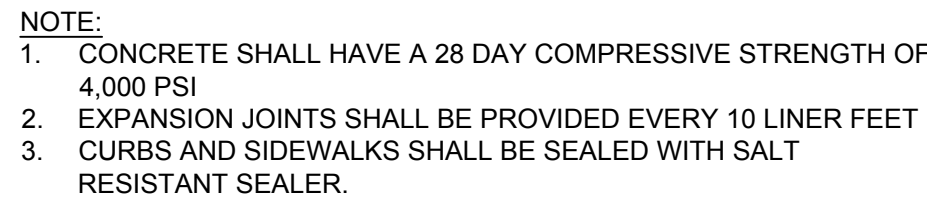
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Revisions	
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	License No. 069646

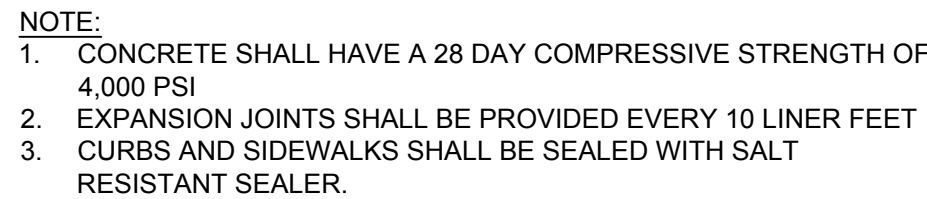
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DRAWING Grading & Erosion Control Plan		
SCALE 1" = 10'	DRAWN BY DJL	CS102 3 of 4
DATE 01-26-17	CHECKED BY DJL	

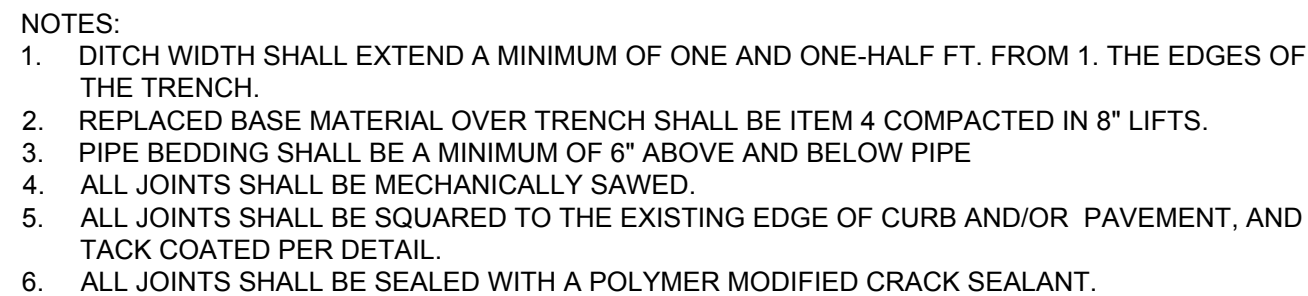




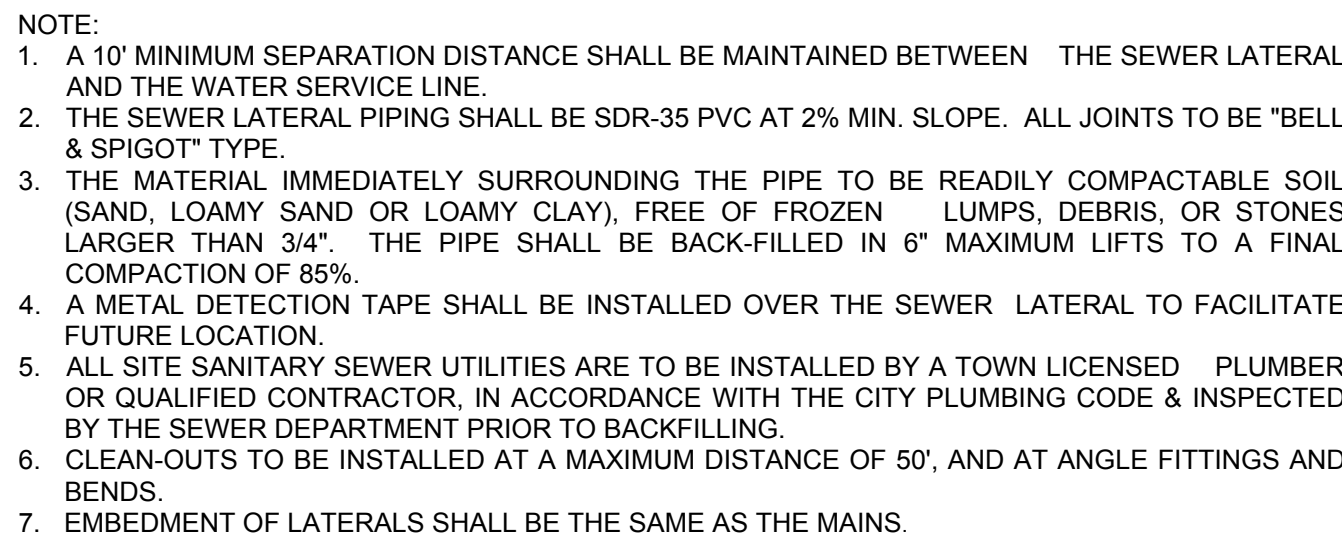
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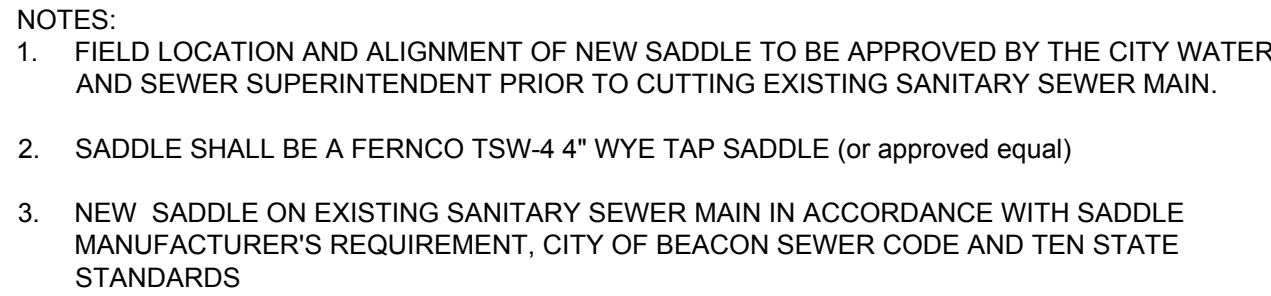
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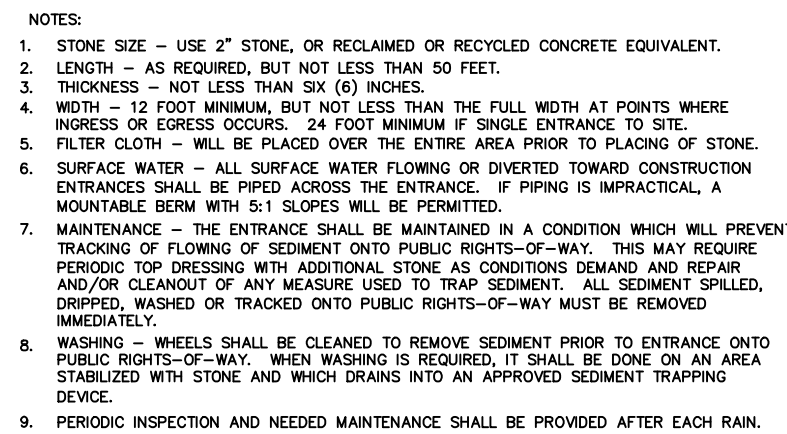
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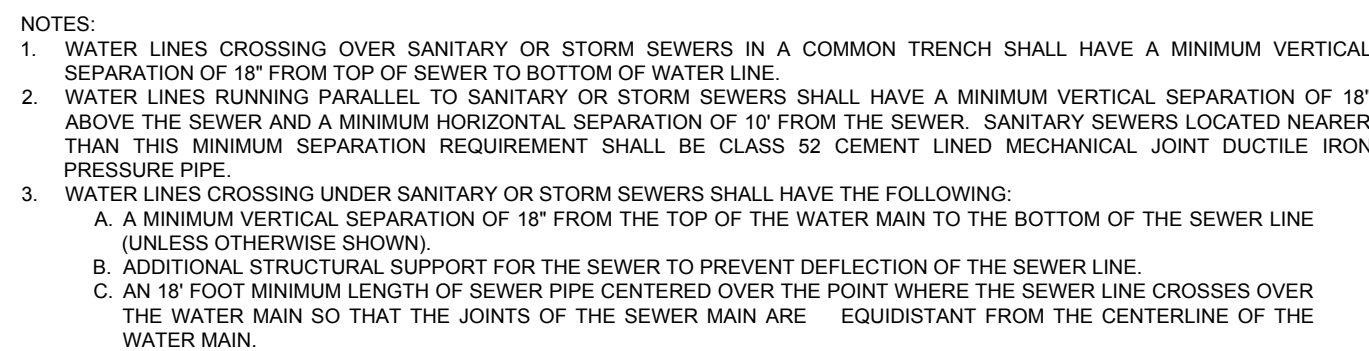
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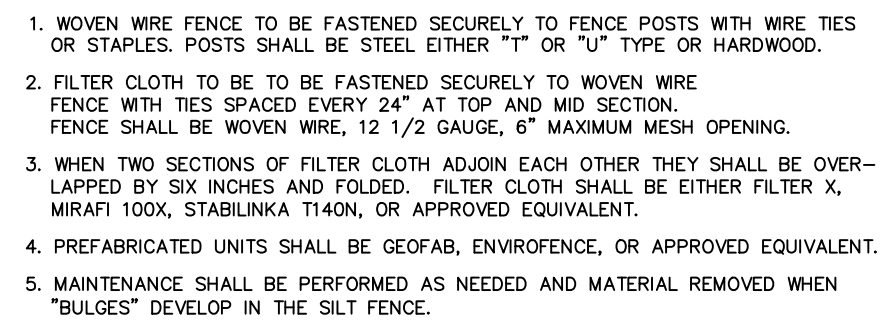
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DRAWING Construction Details <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="text-align: center; padding: 5px;">SCALE</td> <td style="text-align: center; padding: 5px;">DRAWN BY</td> </tr> <tr> <td style="text-align: center; padding: 5px;">As Noted</td> <td style="text-align: center; padding: 5px;">DJL</td> </tr> </table> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="text-align: center; padding: 5px;">DATE</td> <td style="text-align: center; padding: 5px;">CHECKED BY</td> </tr> <tr> <td style="text-align: center; padding: 5px;">01-26-17</td> <td style="text-align: center; padding: 5px;">DJL</td> </tr> </table> CS501 4 of 4			SCALE	DRAWN BY	As Noted	DJL	DATE	CHECKED BY	01-26-17	DJL
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