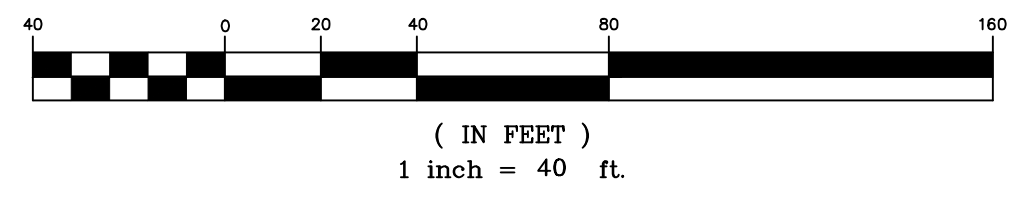


**SUBDIVISION PLAN**  
SCALE: 1" = 40'  
GRAPHIC SCALE



- LEGEND**
- BUILDING SETBACK
  - ST PROPOSED STORM LINE
  - W PROPOSED WATER LINE
  - S PROPOSED SEWER LINE
  - - - PROPOSED ROOF LEADER PIPE
  - - - PROPOSED FOOTING DRAIN PIPE
  - - - PROPOSED EASEMENT LINE
  - PROPOSED SILT FENCE
  - + 100.4 PROPOSED SPOT GRADE
  - ☛ PROPOSED WATER SHUT OFF
  - ☛ PROPOSED SEWER CLEAN OUT
  - ☛ PROPOSED CATCH BASIN WITH INLET PROTECTION

**SURVEYOR'S CERTIFICATION:**  
I HEREBY CERTIFY THAT THE BOUNDARY SURVEY SHOWN HEREON IS BASED ON ACTUAL FIELD MEASUREMENTS COMPLETED ON UNDER MY DIRECTION.

TOM CERCHIERA, L.S.

SEAL



**SITE LOCATION MAP** SCALE: 1" = 400'

- ADJOINING OWNERS:**
- PARCEL OWNER & ADDRESS
- 1: C/O BEACON SCHOOL DIST, 10 EDUCATION DR, BEACON NY 12508
  - 2: TERRANCE DAVIS, 94 KNEVELS AVE, BEACON NY 12508
  - 3: BEACON 248 DEVT LLC, 104 ROCHELLE AVE, ROCHELLE PARK NJ 07662
  - 4: AUGUST ERIKSMOEN, 98 KNEVELS AVE, BEACON NY 12508
  - 5: WILLIAM METZGER, 95 KNEVELS AVE, BEACON NY 12508

**SCHEDULE OF REGULATIONS (R1-40 ZONING DISTRICT) AND LOT CONFORMANCE TABLE:**

PARAMETER	REQUIREMENT	LOT #1	LOT #2
LOT AREA:	40,000 SQUARE FEET MIN	40,945 S.F.	40,998 S.F.
LOT WIDTH:	150 FEET MINIMUM	167 FEET	166 FEET
LOT DEPTH:	150 FEET MINIMUM	300 FEET	300 FEET
<b>YARD SETBACKS (RESIDENTIAL USE):</b>			
FRONT YARD:	50 FEET MINIMUM	15 FEET*	25 FEET*
SIDE YARD:	25 FEET MINIMUM	50.1 FEET	35.1 FEET
SIDE YARD (TOTAL OF TWO):	60 FEET MINIMUM TOTAL	109.1 FEET	109.9 FEET
REAR YARD:	50 FEET MINIMUM	193.7 FEET	161.3 FEET
BUILDING HEIGHT:	2 1/2 STORIES OR 35 FEET	< 35'	< 35'
DWELLING UNITS PER LOT:	MAX 1	1	1

\*50' SETBACK FROM PRIVATE ROAD RIGHT-OF-WAY REQUIRED; VARIANCES WILL BE PURSUED.

**PROJECT INFORMATION:**

PARCEL OWNER:	HUDSON LAND DESIGN P.C., 174 MAIN STREET, BEACON NY 12508
ENGINEER OF RECORD:	KNEVELS AND TIORANDA AVE., BEACON NY
PROJECT LOCATION:	954-16-950472
TAX PARCEL ID:	±2.47-ACRES
PARCEL AREA:	R1-40 ZONING DISTRICT
ZONING DISTRICT:	TWO (ONE NEW BUILDING LOT)
TOTAL PROPOSED LOTS:	CITY OF BEACON WATER
POTABLE WATER SUPPLY:	CITY OF BEACON SEWER
SEWAGE DISPOSAL:	

- SITE SPECIFIC NOTES:**
1. THE CONTRACTOR SHALL PERFORM A UTILITIES CALL-OUT PRIOR TO CONSTRUCTION TO VERIFY ALL UNDERGROUND UTILITY LOCATIONS BY CONTACTING UFO @ 1-800-962-7962. SPECIFIC ATTENTION SHALL BE PAID TO THE ACTUAL LOCATIONS OF THE GAS, WATER AND SEWER MAINS WITH RESPECT TO THE PROPOSED LOCATIONS FOR THE SERVICE LINES.
  2. THE CONTRACTOR SHALL CONTACT THE CITY OF BEACON WATER AND SEWER DEPARTMENTS TO SCHEDULE A PRE-CONSTRUCTION MEETING TO ENSURE THAT THE ARRANGEMENTS FOR WATER SUPPLY AND SEWAGE DISPOSAL ARE COMMENCED IN ACCORDANCE WITH THE APPROVED PLANS AND AMENDMENTS THERETO AND GENERALLY ACCEPTED STANDARDS.
  3. THE PROPOSED LOTS SHALL BE SERVED BY THE CITY OF BEACON MUNICIPAL WATER AND SEWER SERVICES.
  4. THE WATER SERVICE LINE AND METER SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF BEACON WATER DEPARTMENT REQUIREMENTS.
  5. TIORANDA AVENUE LANE CLOSURE FOR WATER SERVICE CONNECTION SHALL BE PERFORMED IN ACCORDANCE WITH CITY OF BEACON REQUIREMENTS.
  6. ELECTRIC SERVICE FOR THE PROPOSED HOUSES SHALL BE UNDERGROUND (IF AVAILABLE), OR CONNECTED TO THE NEAREST OVERHEAD CONNECTION POINT.
  7. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION.
  8. PER CITY GUIDELINES, THE REQUIRED SIGHT DISTANCES SHALL MEET OR EXCEED THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION REQUIREMENTS. THE STATE UTILIZES THE AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (AASHTO) GUIDELINES FOR INTERSECTION SIGHT DISTANCES. FOR ROADS WITH A SPEED LIMIT OF 30 MPH, AASHTO DESIGN TABLES CALL FOR A SIGHT DISTANCE OF 290 FEET TO THE LEFT AND 335 FEET TO THE RIGHT.

**DCDOH STANDARD NOTE:**  
**FOR PERMISSION TO FILE**  
THIS PLAN DOES NOT CONSTITUTE A REALTY SUBDIVISION AS DEFINED BY ARTICLE XI, TITLE II, SECTION 1115 OF THE PUBLIC HEALTH LAW OF THE STATE OF NEW YORK, AND ARTICLE XI OF THE DUTCHESS COUNTY SANITARY CODE. PERMISSION IS HEREBY GRANTED FOR THE FILING OF THIS MAP WITH THE CLERK OF DUTCHESS COUNTY. APPROVAL FOR ARRANGEMENTS FOR WATER SUPPLY AND/OR SEWAGE DISPOSAL IS NEITHER SOUGHT NOR GRANTED.

AUTHORIZED REPRESENTATIVE OF THE COMMISSIONER OF HEALTH \_\_\_\_\_ DATE \_\_\_\_\_

**MAP REFERENCES:**

1. REFERENCE IS HEREBY MADE TO A SURVEY ENTITLED "SUBDIVISION PREPARED FOR JOSEPHINE SCADURA," AS PREPARED BY JOHN A. POST, JR., L.S., ALL EXISTING FEATURES AS SHOWN ON THE PARCEL WERE TAKEN FROM THE SURVEY MAP.
2. UPDATED BOUNDARY SURVEY PREPARED BY TEC LANDSURVEYING

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ BY \_\_\_\_\_

\_\_\_\_\_ CHAIRMAN

\_\_\_\_\_ SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

REVISION TO FILED MAP NO. 11780A  
SUBDIVISION PLAN  
**SPACCARELLI SUBDIVISION**

KNEVELS AVE. & TIORANDA AVE.  
CITY OF BEACON  
DUTCHESS COUNTY, NEW YORK  
TAX ID: 5954-16-949467  
SCALE: 1" = 40'  
MARCH 28, 2017



HUDSON LAND DESIGN  
PROFESSIONAL ENGINEERING P.C.  
174 MAIN STREET  
BEACON, NEW YORK 12508  
PH: 845-440-6926 F: 845-440-6637



JON D. BODENDORF, P.E.  
NYS LICENSE NO. 076245  
DANIEL G. KOHLER, P.E.  
NYS LICENSE NO. 082716

DRAWN BY: MAB CHECKED BY: JDB JOB NO.: 2017-004

REVISIONS:

NO.	DATE	DESCRIPTION	BY

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