

**SURVEY NOTES:**

1. SEE SHEET 1 FOR METES AND BOUNDS FOR EXISTING AND PROPOSED PROPERTY LINES.

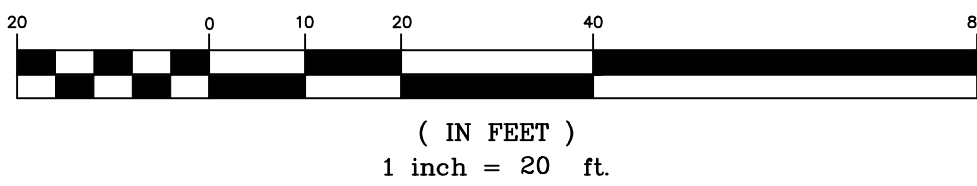
**SITE SPECIFIC NOTES:**

- THE CONTRACTOR SHALL PERFORM A UTILITIES CALL-OUT PRIOR TO CONSTRUCTION TO VERIFY ALL UNDERGROUND UTILITY LOCATIONS BY CONTACTING UPFO @ 1-800-962-7962. SPECIFIC ATTENTION SHALL BE PAID TO THE LOCATIONS OF THE GAS (IF APPLICABLE), WATER AND SEWER MAINS WITH RESPECT TO THE PROPOSED LOCATIONS FOR THE SERVICE LINES.
- THE CONTRACTOR SHALL CONTACT THE CITY OF BEACON WATER AND SEWER DEPARTMENTS TO SCHEDULE A PRE-CONSTRUCTION MEETING TO ENSURE THAT THE ARRANGEMENTS FOR WATER SUPPLY AND SEWAGE DISPOSAL ARE COMMENCED IN ACCORDANCE WITH THE APPROVED PLANS AND AMENDMENTS THERETO AND GENERALLY ACCEPTED STANDARDS.
- THE PROPOSED LOT SHALL BE SERVED BY THE CITY OF BEACON MUNICIPAL WATER AND SEWER SERVICES.
- THE WATER SERVICE LINE AND METER SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF BEACON WATER DEPARTMENT REQUIREMENTS.
- THE WATER SERVICE LINE SHALL BE 3/4" K-COPPER.
- THE SEWER SERVICE LINE SHALL BE 4" SDR 35 PVC PIPE WITH PITCH AS SHOWN ON THE PLAN (MINIMUM OF 1/4" PER FOOT SHALL BE MAINTAINED).
- PROPOSED 4" SDR 35 LSE AND TIE-IN ELEVATION IS BASED ON FIELD MEASURED 0.3% SLOPE FOR THE EXISTING 8" SEWER MAIN. CONTRACTOR MUST CONFIRM SLOPE OF SEWER MAIN AND MAKE NECESSARY ADJUSTMENTS TO PROPOSED LSE AND TIE-IN ELEVATIONS IF NECESSARY.
- A ROAD OPENING PERMIT SHALL BE REQUIRED FOR THE INSTALLATION OF THE PROPOSED WATER AND SEWER SERVICES FOR THE NEW LOT. STREET CLOSURE FOR WATER AND SEWER SERVICE CONNECTIONS SHALL BE PERFORMED IN ACCORDANCE WITH CITY OF BEACON REQUIREMENTS.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION. THE PROPOSED DRIVEWAY SHALL HAVE A STABILIZED CONSTRUCTION ENTRANCE.
- ROOF LEADER CONNECTIONS TO BE MINIMUM 4" SDR 35 PVC OR HDPE @ 2.0% MIN.
- SUMP PUMP TO BE PROVIDED FOR FOOTING DRAIN, IF NECESSARY. THE TYPE OF PUMP AND METHODS USED TO ENSURE PROPER DRAINAGE SHALL BE ACCEPTABLE TO THE CITY OF BEACON BUILDING DEPARTMENT.
- THE SIXTEEN (16) PROPOSED ARBORVITAE (THUJA OCCIDENTALIS EMERALD GREEN) SHALL HAVE A HEIGHT OF 6 FEET AT PLANTING, AND SHALL BE LOCATED GENERALLY AS SHOWN ON THE PLAN WITH 8-FOOT SPACING.
- THE REQUIRED SIGHT DISTANCE SHALL MEET OR EXCEED THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION REQUIREMENTS. THE STATE UTILIZES THE AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (AASHTO) GUIDELINES FOR INTERSECTION SIGHT DISTANCES. FOR ROADS WITH A SPEED LIMIT OF 30 MPH, AASHTO DESIGN TABLES CALL FOR A SIGHT DISTANCE OF 290 FEET TO THE LEFT AND 335 FEET TO THE RIGHT. THE MEASURED SIGHT DISTANCE IS AS FOLLOWS:  
LOT 1: SLSD RIGHT = ±630' FEET (TO INTERSECT OF MADISON AVENUE)  
SLSD LEFT = ±532' FEET (TO CENTERLINE OF ALICE STREET)  
LOT 2: SLSD RIGHT = ±534 FEET (TO INTERSECTION OF MADISON AVENUE)  
SLSD LEFT = ±630 FEET (TO CENTERLINE OF ALICE STREET)

- STOPPING SIGHT DISTANCE (SSD) WAS OBSERVED TO BE IN EXCESS OF THE REQUIRED 200 FEET WHEN APPROACHING ALICE STREET FROM THE LEFT, AND MADISON AVENUE FROM THE RIGHT, FOR BOTH LOT 1 AND LOT 2.
14. TO ACHIEVE SLSD LEFT FROM LOT 2, AND SLSD RIGHT FROM LOT 1, LANDSCAPING NEEDS TO BE TRIMMED OR REMOVED, AND HEDGES ON LOT 1 SHALL BE TRIMMED TO 36" HIGH OR LESS.
15. INSTALLATION AND DESIGN OF SANITARY SEWER LINE IS SUBJECT TO VERIFICATION OF THE CITY OF BEACON MUNICIPAL SEWER SYSTEM.
16. THE CITY OF BEACON BUILDING DEPARTMENT IS GRANTED PERMISSION TO VERIFY THE LOCATION AND DISCHARGE POINTS OF ALL ROOF LEADERS.

**PRELIMINARY SUBDIVISION PLAN**

SCALE: 1" = 20'  
GRAPHIC SCALE



**SURVEYOR'S CERTIFICATION:**

I HEREBY CERTIFY THAT THE SURVEY SHOWN HEREON IS BASED ON ACTUAL FIELD MEASUREMENTS COMPLETED ON FEBRUARY 21, 2016.

THOMAS CERCHIARA

P.L.S. SEAL

**MAP REFERENCES:**

1. EXISTING FEATURES AS SHOWN ON THIS PLAN ARE PER THE SURVEY PROVIDED BY TEC LAND SURVEYING.

**OWNER'S CONSENT:**

THE UNDERSIGNED OWNER OF THE PROPERTY HEREON STATES THAT HE IS FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

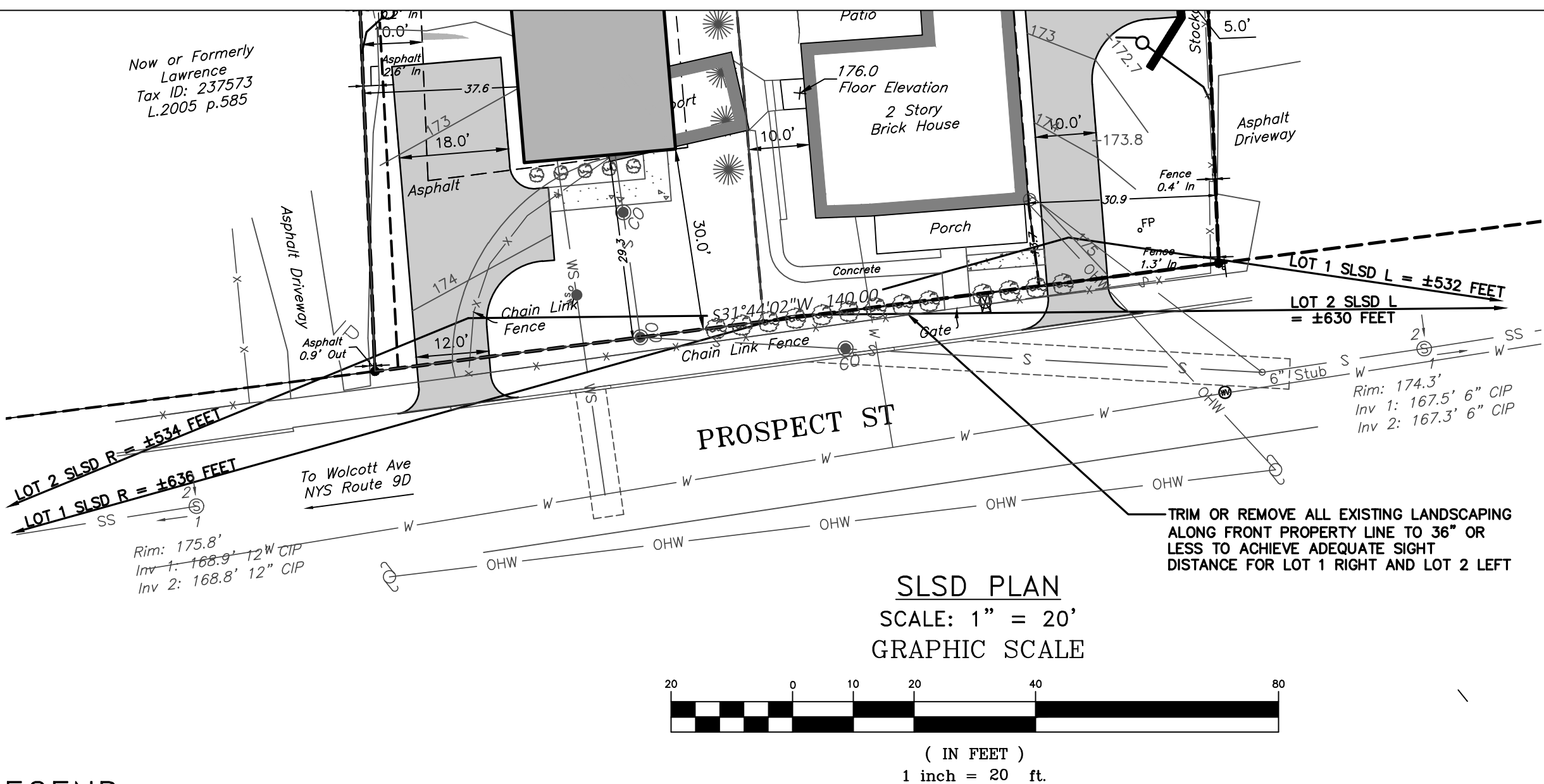
BARBARA O'DELL

DATE

**LEGEND**

- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- BUILDING SETBACK LINE
- EXISTING ADJOINER LINE
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING UTILITY POLE
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED SPOT ELEVATION
- EXISTING SEWER MAIN
- PROPOSED SEWER SERVICE LINE
- EXISTING WATER MAIN
- PROPOSED WATER MAIN
- PROPOSED WATER SHUT-OFF VALVE
- PROPOSED SEWER CLEAN OUT
- PROPOSED ROOF LEADER
- PROPOSED FOOTING DRAIN
- PROPOSED ARBORVITAE (THUJA OCCIDENTALIS EMERALD GREEN) SEE SITE SPECIFIC NOTE 12
- EXISTING LANDSCAPING

SIDEWALK REPLACEMENT AREA



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- BUILDING SETBACK LINE
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- EXISTING LANDSCAPING

SIDEWALK REPLACEMENT AREA



**SITE LOCATION MAP** SCALE: 1" = 200'

**PROJECT INFORMATION:**

PARCEL OWNER:	BARBARA O'DELL, 55 PROSPECT ST. BEACON, NY 12508
PROJECT ENGINEER:	HUDSON LAND DESIGN P.C., 174 MAIN STREET BEACON, NY 12508
PARCEL LOCATION:	55 PROSPECT ST. BEACON, NY 12508
ITAX PARCEL ID:	6054-46-243586
PARCEL AREA:	±0.48-ACRE
WATER SUPPLY:	MUNICIPAL
SEWAGE DISPOSAL:	MUNICIPAL

**SCHEDULE OF REGULATIONS (R1-5 ZONING DISTRICT) AND LOT CONFORMANCE TABLE:**

PARAMETER	REQUIREMENT	LOT #1	LOT #2
LOT AREA:	5,000 SQUARE FEET MIN	11,783	9,139
LOT WIDTH:	50 FEET MINIMUM	75.6	57.8
LOT DEPTH:	100 FEET MINIMUM	150	150
YARD SETBACKS (RESIDENTIAL USE):			
FRONT YARD:	30 FEET MINIMUM	13.7*	30.0
SIDE YARD:	10 FEET MINIMUM	10.0	12.0
SIDE YARD (TOTAL OF TWO):	20 FEET MINIMUM TOTAL	40.9	36.1
REAR YARD:	30 FEET MINIMUM	96.8	78.6
YARD SETBACKS (ACCESSORY STRUCTURE):			
SIDE YARD:	5 FEET MINIMUM	N/A	22.6
REAR YARD:	5 FEET MINIMUM	N/A	5.6
MAIN BUILDING HEIGHT:	MAX 35 FEET, 2.5 STORIES	<35'/2-STORY	<35'/2-STORY
MAIN BUILDING HEIGHT:	MIN 12 FEET, 1 STORY	>12'	>12'
ACCESSORY BLDG. HEIGHT:	MAX 15 FEET, 1 STORY	N/A	<15'/1 STORY

\*LOT 1 IS A NON-CONFORMING, EXISTING LOT

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE

DAY OF 20, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS DAY OF 20, BY

CHAIRMAN

SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

**PRELIMINARY SUBDIVISION PLAN**  
**55 PROSPECT STREET**

55 PROSPECT STREET  
CITY OF BEACON  
DUTCHESS COUNTY, NEW YORK  
TAX ID: 6054-46-243586  
SCALE: 1" = 20'  
FEBRUARY 28, 2017

**HUDSON LAND DESIGN**  
PROFESSIONAL ENGINEERING P.C.  
174 MAIN STREET  
BEACON, NEW YORK 12508  
PH: 845-440-6926 F: 845-440-6637

SEAL  
JON D. BODENDORF, P.E.  
NYS LICENSE NO. 076245  
DANIEL G. KOEHLER, P.E.  
NYS LICENSE NO. 082716

SHEET: 2 OF 5