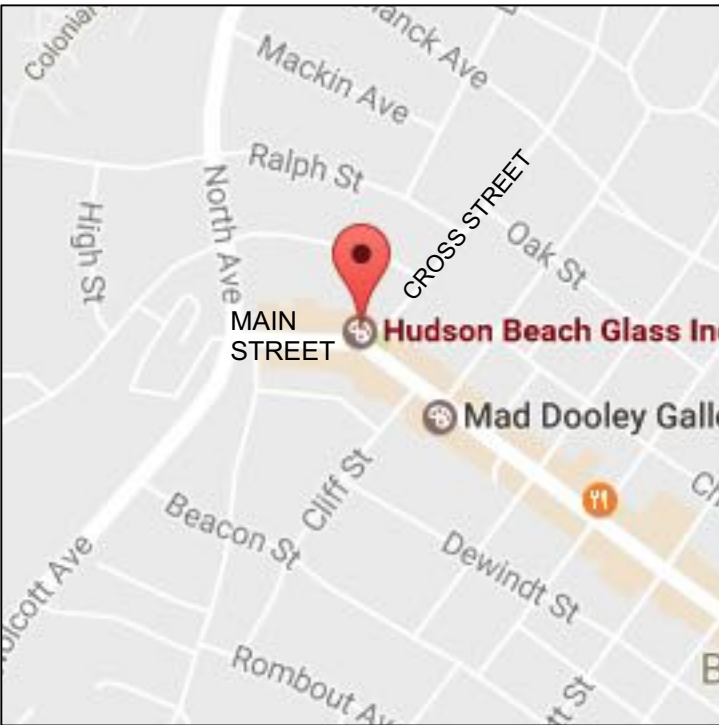


**BUILDING INFORMATION:**  
EXISTING CIRCA 1890'S 3 STORY MASONRY STRUCTURE W/ ONE-STOREY CIRCA 1950'S MASONRY ADDITION. BUILDING IS SPRINKLERED. PROPERTY WAS RENOVATED IN 2002.

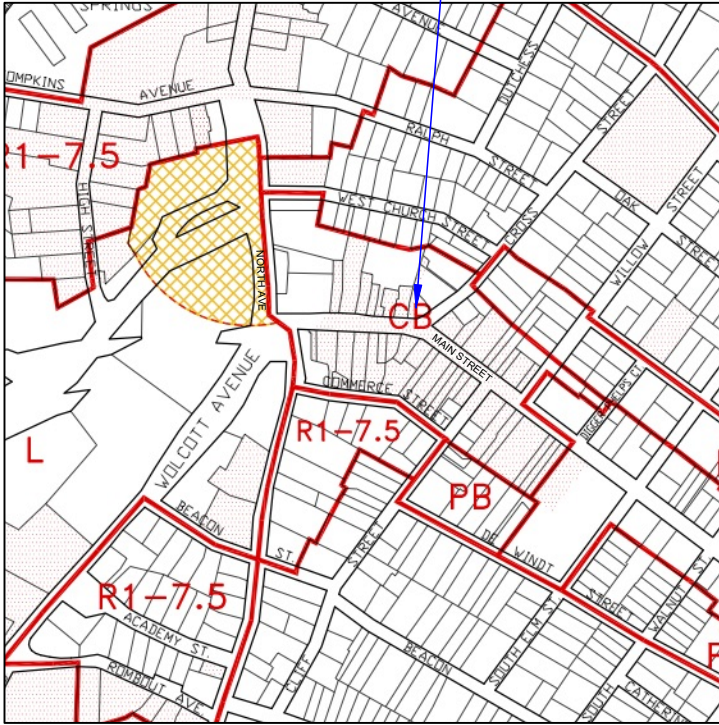
**EXISTING /PROPOSED OCCUPANCY**  
FIRST FLOOR- MERCANTILE /WORK AREA  
EXISTING WORK AREA TO BE EXPANDED.  
SECOND FLOOR- OFFICE/MERCANTILE  
EXISTING OFFICE AREA TO BE ENLARGED 800 GROSS S.F.  
THIRD FLOOR- OFFICE  
PROPOSED OCCUPANCY- SAME

- ZONING:**  
CENTRAL BUSINESS DISTRICT IN AN HISTORICAL OVERLAY DISTRICT  
LOT AREA: 4,187 S.F. 0.096 ACRES  
TAX PARCEL: CITY OF BEACON, DUTCHESS COUNTY, NY 130200-5954-27-781973-0000
- GENERAL NOTES:**  
1) CURB CUT ON CROSS STREET IS EXISTING AND SHALL REMAIN  
2) ELECTRIC, WATER AND SEWER SERVICES ARE EXISTING AND SHALL REMAIN  
3) THE APPLICANT IS "THE HOSE COMPANY LLC"  
MICHAEL BENZER, PRESIDENT  
JOHN GILVEY, VICE PRESIDENT  
4) ALL EXTERIOR LIGHTING SHALL BE DIRECTED AND/OR SHIELDED SO AS TO PRECLUDE OBJECTIONABLE GLARE FROM BEING OBSERVABLE FROM ADJACENT STREETS AND PROPERTIES.  
5) HOURS OF OPERATION: AS ALREADY ESTABLISHED BY HUDSON BEACH GLASS  
6) EXTERIOR SIGNAGE: AS ALREADY APPROVED ON EXISTING PROPERTY  
7) EXTERIOR COLORS: AS ALREADY APPROVED ON 2002 PLAN SUBMISSION.  
8) NO NEW WATER OR SEWER SERVICE LINES AS A RESULT OF THIS PROJECT.



LOCATION MAP

SCALE: 1" = 800'



AREA MAP

SCALE: 1" = 800'

SCHEDULE OF REGULATIONS (CB ZONE) AND LOT CONFORMANCE TABLE:		
PARAMETER	REQUIRED	PROVIDED
LOT WIDTH	N/A	N/A
LOT DEPTH	100 FT. MINIMUM	91 FEET VARIED (SEE NOTE 1)
FRONT YARD	N/A	N/A
SIDE YARD	25 FT. MINIMUM	N/A (SEE NOTE 2)
REAR YARD	25 FT. MINIMUM	N/A (SEE NOTE 2)
MAX. BLDG. HEIGHT	35 FT. MAXIMUM	28.5 FEET (ADDITION)
FLOOR AREA RATIO (FAR)		
PARCEL AREA		4187 SF.
FLOOR AREA PROVIDED		7182 SQFT.
FAR PERMITTED	2 MAXIMUM	1.72
(1) PRE-EXISTING NON-CONFORMING (2) ONLY APPLICABLE WHERE DISTRICT ABUTS A RESIDENTIAL DISTRICT, OR IF A DRIVEWAY IS PROPOSED BETWEEN THE BUILDING AND THE PROPERTY LINE. (3) DENOTES BUILDING FLOOR AREA AFTER BUILDING ADDITION. FLOOR AREA IS DEFINED AS THE SUM OF THE GROSS HORIZONTAL AREAS OF THE SEVERAL FLOORS OF A BUILDING OR BUILDINGS, MEASURED FROM THE EXTERIOR FACE OF EXTERIOR WALLS OR FROM THE CENTER LINE OF WALLS SEPARATING TWO BUILDINGS, AND EXCLUDING BREEZEWAY AND GARAGE AREAS AND BASEMENT AND ATTIC FLOOR AREAS USED ONLY FOR ACCESSORY USES. (4) FAR IS DEFINED AS THE QUOTIENT OF THE FLOOR AREA OF A BUILDING DIVIDED BY ITS LOT AREA.		

**PARKING**  
PROPOSED USE  
FIRST FLOOR:  
MERCANTILE  
WORK/INSTRUCTIONAL AREA  
1 SPACE FOR EACH 200 S.F. GROSS FLOOR AREA  
EXCLUDING UTILITY AREAS 2,480 S.F. 12.5 SPACES REQUIRED

SECOND FLOOR:  
OFFICE- MERCANTILE 9.5 SPACES REQUIRED  
1,159 + 750 S.F.  
THIRD FLOOR OFFICE 1329 S.F. 6.5 SPACES REQUIRED  
1 SPACE FOR EACH 200 S.F. GROSS FLOOR AREA  
EXCLUDING UTILITY AREAS 28.5 SPACES REQUIRED  
4 SPACES PROVIDED  
25 SPACES REQUIRED

**1964 USE**  
INDUSTRIAL STORAGE--FIREHOUSE  
FIRST FLOOR @ 1,411 S.F. 4 SPACES  
TOTAL AREA = 1,411 S.F.  
(1) SPACE/400 GROSS FT  
EXCLUDING MECH, BATH, STAIR & STORAGE

PUBLIC ASSEMBLY  
FIRST FLOOR @ 588 S.F.  
SECOND FLOOR @ 1,159 S.F.  
THIRD FLOOR @ 1,329 S.F.  
TOTAL = 3,079 S.F. 16 SPACES  
TOTAL PARKING 20 SPACES

1) PROPOSED PARKING DOES NOT EXCEED THE 1964 REQUIREMENTS PLUS 25%. 20 SPACES PLUS 5 SPACES TOTAL 25 SPACES

APPROVED BY RESOLUTION OF THE BEACON PLANNING BOARD  
ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_  
SUBJECT TO ALL CONDITIONS AS STATED THEREIN  
CHAIRMAN, CITY PLANNING BOARD DATE



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PROJECT:  
STUDIO & OFFICE  
EXPANSION  
162 MAIN STREET  
BEACON, NY 12508

**DRAWING INDEX**  
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SURVEY BY TEC  
A-1 FIRST FLOOR  
A-2 SECOND FLOOR  
A-3 SOUTH ELEVATION  
A-4 EAST ELEVATION  
A-5 NORTH ELEVATION  
A-6 EXTERIOR VIEWS  
A-7 BUILDING DETAILS

SEAL & SIGNATURE

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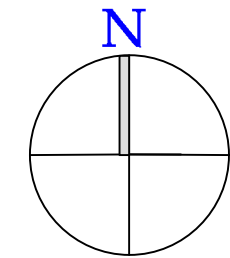
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NO.	DESCRIPTION	DATE:

DRAWING TITLE:

SITE PLAN



DATE: 3 . 28 . 17  
PLAN I.D.  
SCALE:  
DWG No: S-1



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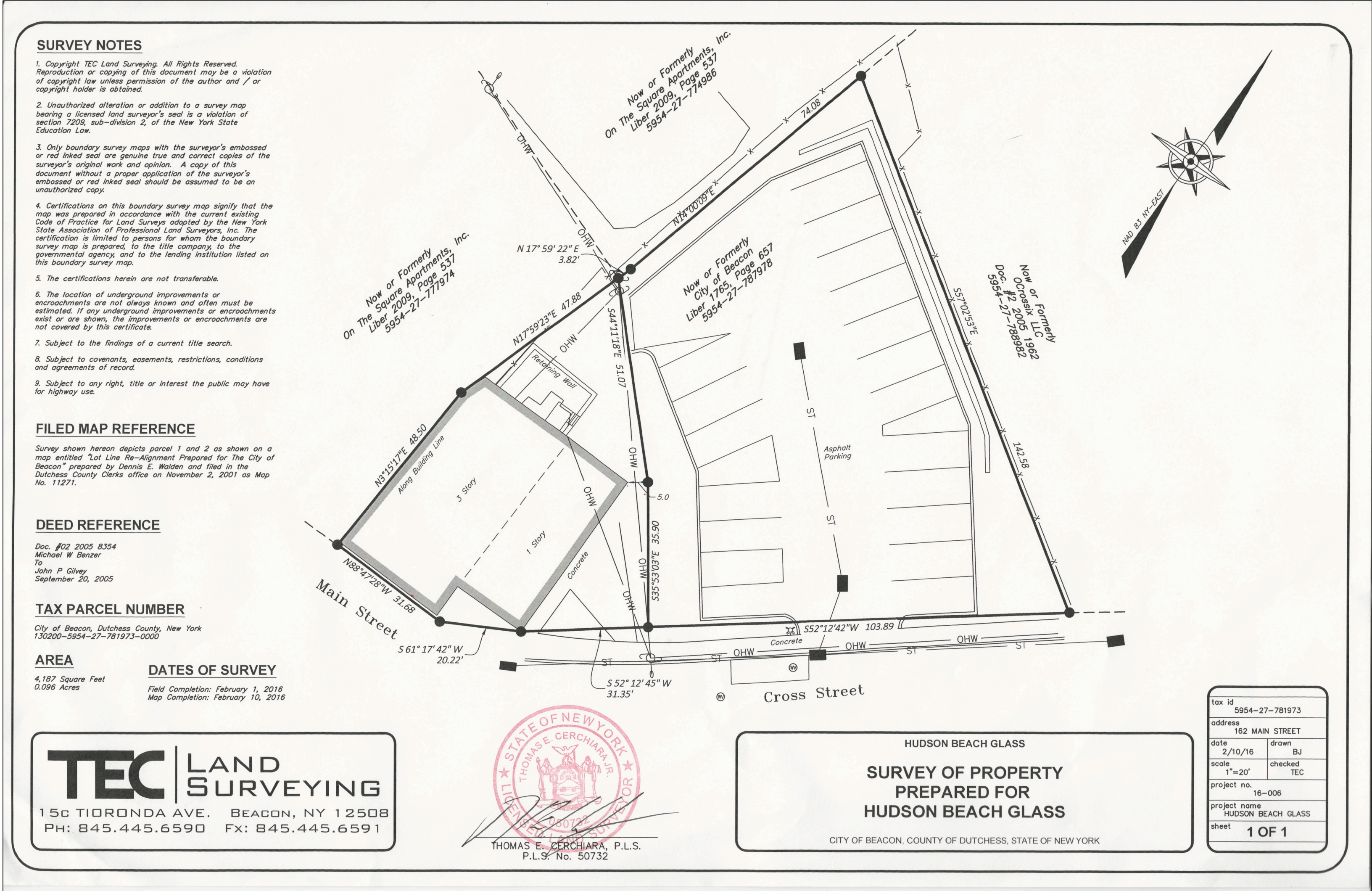
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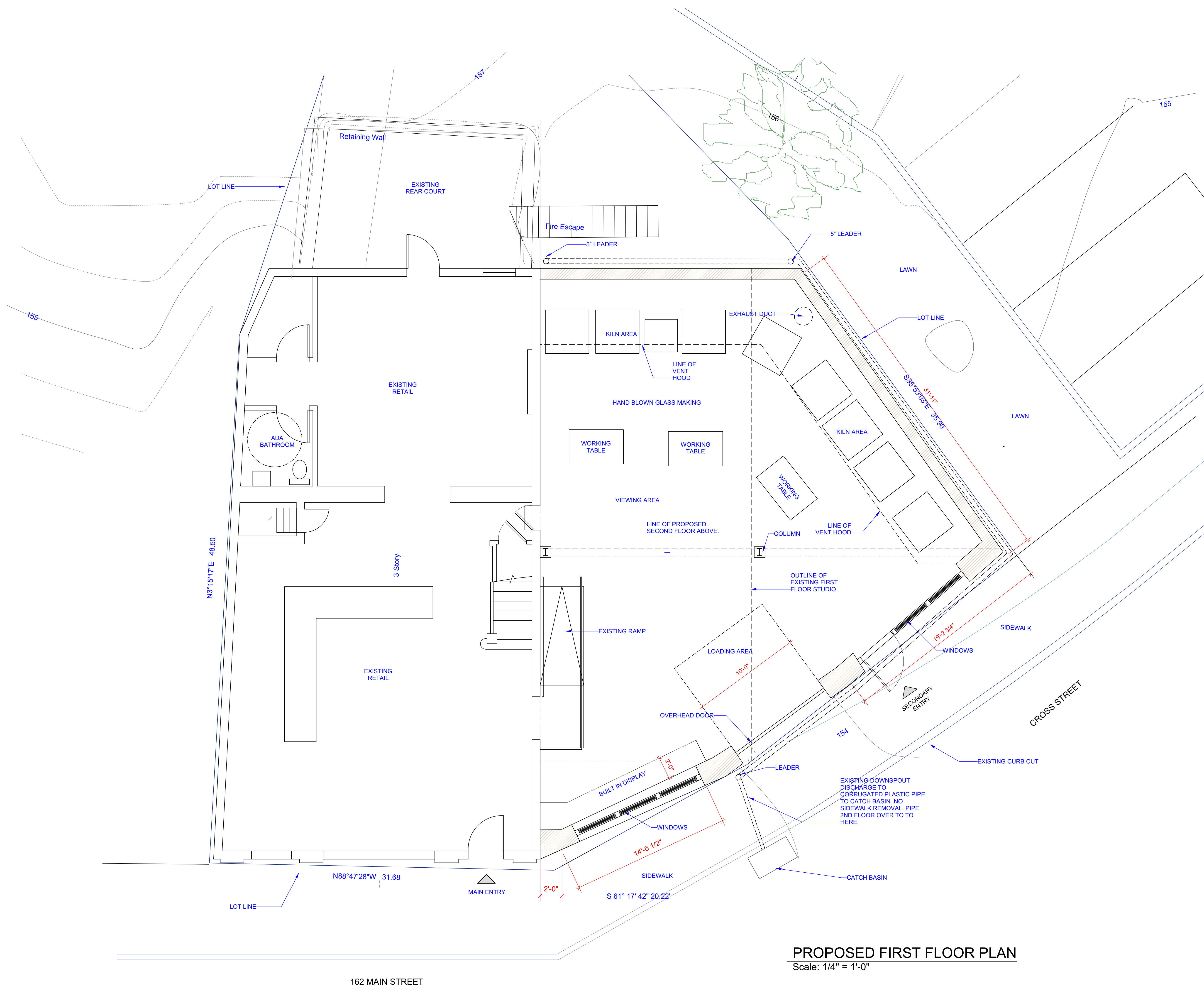
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DRAWING TITLE:  
SURVEY

DATE: 3 . 28 .17  
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SCALE:  
DWG No:





**PROPOSED FIRST FLOOR PLAN**  
Scale: 1/4" = 1'-0"



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DRAWING INDEX  
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A-4 EAST ELEVATION  
A-5 NORTH ELEVATION  
A-6 EXTERIOR VIEWS  
A-7 BUILDING DETAILS

SEAL & SIGNATURE

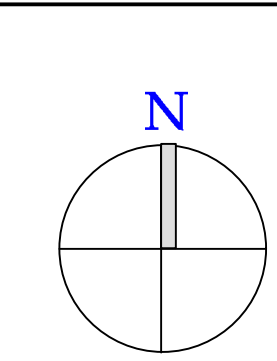
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DRAWING TITLE:  
**PROPOSED FIRST  
FLOOR PLAN**



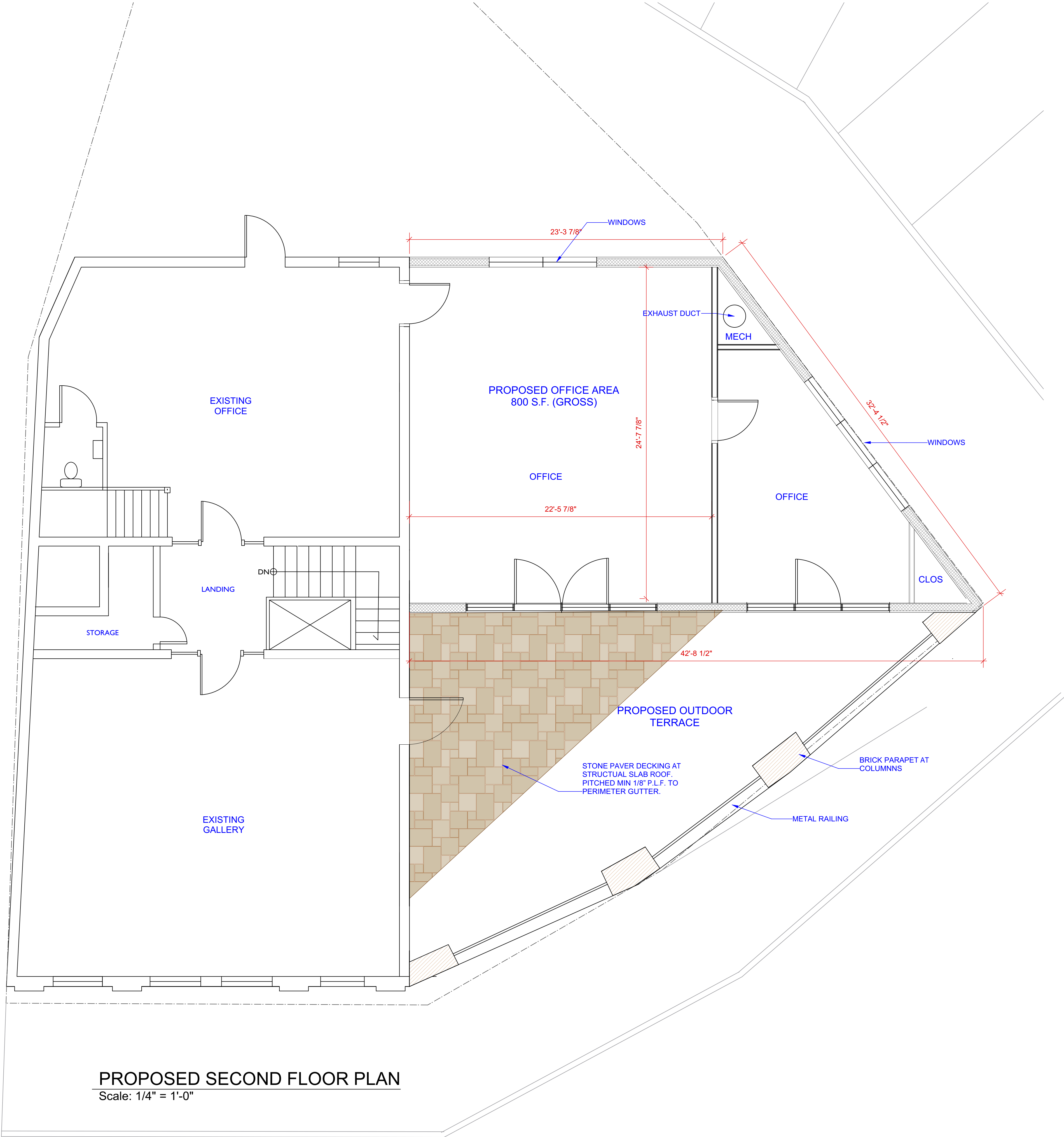
DATE: 3 . 28 .17

PLAN I.D.

SCALE: 1/4"=1'-0"

DWG No:

**A-1**



PROPOSED SECOND FLOOR PLAN  
Scale: 1/4" = 1'-0"



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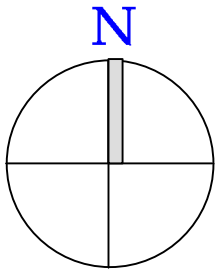
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NO.	DESCRIPTION	DATE:

DRAWING TITLE:  
PROPOSED SECOND  
FLOOR PLAN



DATE: 3 . 28 .17  
PLAN I.D.  
SCALE:  
DWG No:

A-2



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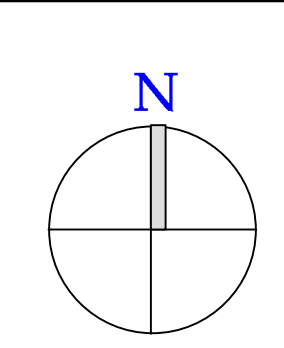
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NO.	DESCRIPTION	DATE:

DRAWING TITLE:  
**PROPOSED SOUTH  
ELEVATION**



DATE: 3 . 28 .17
PLAN I.D.
SCALE: 1/4"=1'-0"
DWG No: <b>A-3</b>



**PROPOSED SOUTH ELEVATION**  
Scale: 1/4" = 1'-0"



**PROPOSED EAST ELEVATION**  
Scale: 1/4" = 1'-0"



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NO.	DESCRIPTION	DATE:

DRAWING TITLE:  
**PROPOSED EAST  
ELEVATION**

DATE: 3 . 28 .17
PLAN I.D.
SCALE: 1/4"=1'-0"
DWG No: <b>A-4</b>



PROPOSED NORTH ELEVATION

Scale: 1/4" = 1'-0"



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NO.	DESCRIPTION	DATE:

DRAWING TITLE:

PROPOSED NORTH  
ELEVATION

DATE: 3 . 28 .17

PLAN I.D.

SCALE: 1/4"=1'-0"

DWG No:

A-5



EXISTING VIEW FROM SOUTH



EXISTING VIEW FROM EAST



EXISTING VIEW FROM NORTH



PROPOSED VIEW FROM MAIN STREET



PROPOSED VIEW FROM CROSS STREET



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EXISTING & PROPOSED  
EXTERIOR VIEWS

DATE: 3 . 28 .17  
PLAN I.D.  
SCALE: N.T.S.  
DWG No:

A-6



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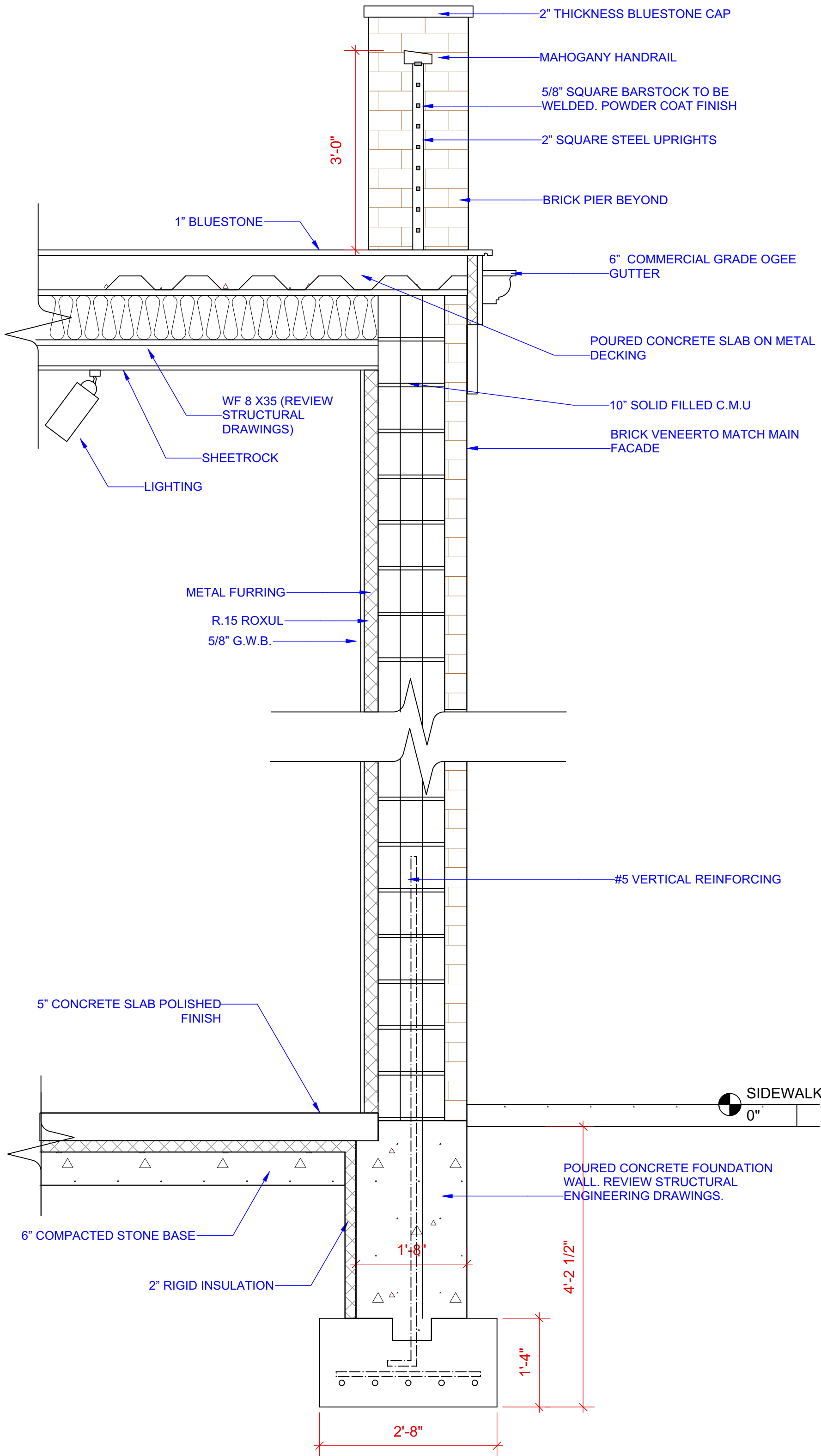
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BUILDING DETAILS

DATE: 3 . 28 .17  
PLAN I.D.  
SCALE: 1" = 3/4"  
DWG No:  
A-7



D-2 WALL DETAIL  
SCALE: 3/4"=1'-0"



D-1 TYPICAL BAY DETAIL  
SCALE: 1/2"=1'-0"



STREET FIXTURE



TERRACE FIXTURE