

SURVEY NOTES:

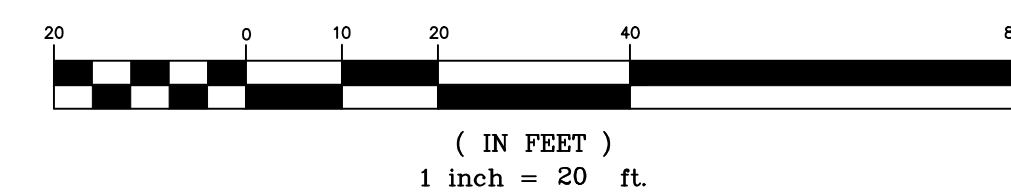
- SEE SHEET 1 FOR METES AND BOUNDS FOR EXISTING AND PROPOSED PROPERTY LINES.

SITE SPECIFIC NOTES:

- THE CONTRACTOR SHALL PERFORM A UTILITIES CALL-OUT PRIOR TO CONSTRUCTION TO VERIFY ALL UNDERGROUND UTILITY LOCATIONS BY CONTACTING UFO @ 1-800-962-7962. SPECIFIC ATTENTION SHALL BE PAID TO THE LOCATIONS OF THE GAS (IF APPLICABLE), WATER AND SEWER MAINS WITH RESPECT TO THE PROPOSED LOCATIONS FOR THE SERVICE LINES.
- THE CONTRACTOR SHALL CONTACT THE CITY OF BEACON WATER AND SEWER DEPARTMENTS TO SCHEDULE A PRE-CONSTRUCTION MEETING TO ENSURE THAT THE ARRANGEMENTS FOR WATER SUPPLY AND SEWAGE DISPOSAL ARE COMMENCED IN ACCORDANCE WITH THE APPROVED PLANS AND AMENDMENTS THERETO AND GENERALLY ACCEPTED STANDARDS.
- THE PROPOSED LOT SHALL BE SERVED BY THE CITY OF BEACON MUNICIPAL WATER AND SEWER SERVICES.
- THE WATER SERVICE LINE AND METER SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF BEACON WATER DEPARTMENT REQUIREMENTS.
- THE WATER SERVICE LINE SHALL BE 3/4" K-COPPER.
- THE SEWER SERVICE LINE SHALL BE 4" SDR 35 PVC PIPE WITH PITCH AS SHOWN ON THE PLAN (MINIMUM OF 1/4" PER FOOT SHALL BE MAINTAINED).
- PROPOSED 4" LSE AND TIE-IN ELEVATION IS BASED ON FIELD MEASURED 4.0% SLOPE FOR THE EXISTING 8" SEWER MAIN. CONTRACTOR MUST CONFIRM SLOPE OF SEWER MAIN AND MAKE NECESSARY ADJUSTMENTS TO PROPOSED LSE AND TIE-IN ELEVATIONS IF NECESSARY.
- A ROAD OPENING PERMITTED SHALL BE REQUIRED FOR THE INSTALLATION OF THE PROPOSED WATER AND SEWER SERVICES FOR THE NEW LOT. STREET CLOSURE FOR WATER AND SEWER SERVICE CONNECTIONS SHALL BE PERFORMED IN ACCORDANCE WITH CITY OF BEACON REQUIREMENTS.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION. THE PROPOSED DRIVEWAY SHALL HAVE A STABILIZED CONSTRUCTION ENTRANCE.
- ROOF LEADER CONNECTIONS TO BE MINIMUM 4" PVC OR HDPE @ 2.0% MIN.
- SUMP PUMP TO BE PROVIDED FOR FOOTING DRAIN, IF NECESSARY, THE TYPE OF PUMP AND METHODS USED TO ENSURE PROPER DRAINAGE SHALL BE ACCEPTABLE TO THE CITY OF BEACON BUILDING DEPARTMENT.
- THE SIXTEEN (16) PROPOSED ARBORVITAE (THUJA OCCIDENTALIS EMERALD GREEN) SHALL HAVE A HEIGHT OF 6 FEET AT PLANTING, AND SHALL BE LOCATED GENERALLY AS SHOWN ON THE PLAN WITH 8-FOOT SPACING.
- THE REQUIRED SIGHT DISTANCE SHALL MEET OR EXCEED THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION REQUIREMENTS. THE STATE UTILIZES THE AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (AASHTO) GUIDELINES FOR INTERSECTION SIGHT DISTANCES. FOR ROADS WITH A SPEED LIMIT OF 30 MPH, AASHTO DESIGN TABLES CALL FOR A SIGHT DISTANCE OF 290 FEET TO THE LEFT AND 335 FEET TO THE RIGHT. THE MEASURED SIGHT DISTANCE IS AS FOLLOWS:
LOT 1: SLSD RIGHT = ±437' FEET (TO CENTERLINE OF EXETER CIRCLE)
SLSD LEFT = ±501' FEET (TO INTERSECTION WITH GOODRICH STREET)
LOT 2: SLSD RIGHT = ±520 FEET (TO CENTERLINE OF EXETER CIRCLE)
SLSD LEFT = ±418 FEET (TO INTERSECTION WITH GOODRICH STREET)

STOPPING SIGHT DISTANCE (SSD) WAS OBSERVED TO BE IN EXCESS OF THE REQUIRED 200 FEET WHEN APPROACHING GOODRICH STREET FROM THE LEFT, AND EXETER COURT FROM THE RIGHT, FOR BOTH LOT 2 AND LOT 3. 14. TO ACHIEVE SLSD RIGHT FROM LOT 2, LANDSCAPING NEEDS TO BE TRIMMED OR REMOVED, AND HEDGES ON LOT 3 SHALL BE TRIMMED TO 36" HIGH OR LESS. 15. INSTALLATION AND DESIGN OF SANITARY SEWER LINE IS SUBJECT TO VERIFICATION OF THE CITY OF BEACON MUNICIPAL SEWER SYSTEM. 16. THE CITY OF BEACON BUILDING DEPARTMENT IS GRANTED PERMISSION TO VERIFY THE LOCATION AND DISCHARGE POINTS OF ALL ROOF LEADERS.

PRELIMINARY SUBDIVISION PLAN
SCALE: 1" = 20'
GRAPHIC SCALE



MAP REFERENCES:

- EXISTING FEATURES AS SHOWN ON THIS PLAN ARE PER THE SURVEY PROVIDED BY TEC LAND SURVEYING.

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY THAT THE SURVEY SHOWN HEREON IS BASED ON ACTUAL FIELD MEASUREMENTS COMPLETED ON FEBRUARY 21, 2016.

THOMAS CERCHIARA P.L.S.

SEAL

OWNER'S CONSENT:

THE UNDERSIGNED OWNER OF THE PROPERTY HEREON STATES THAT HE IS FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

JONATHAN MILLER

DATE

PROJECT INFORMATION:

PARCEL OWNER:	JONATHAN MILLER 451 MAIN STREET BEACON, NY 12508
ENGINEER OF RECORD:	HUDSON LAND DESIGN P.C. 174 MAIN STREET, BEACON NY 12508
SURVEYOR OF RECORD:	TEC LAND SURVEYING, TIORONDA AVENUE BEACON, NY 12508
PROJECT LOCATION:	119 HOWLAND AVENUE, BEACON NY 12508
TAX PARCEL ID:	6054-14-278498
PARCEL AREA:	±1.09-ACRE TOTAL
ZONING DISTRICT:	R1-7.5 SINGLE-FAMILY RESIDENCE DISTRICT
TOTAL PROPOSED LOTS:	THREE (ONE EXISTING LOT)
POTABLE WATER SUPPLY:	CITY OF BEACON WATER
SEWAGE DISPOSAL:	CITY OF BEACON SEWER

LEGEND

---	EXISTING PROPERTY LINE
---	PROPOSED PROPERTY LINE
---	BUILDING SETBACK LINE
---	EXISTING ADJOINER LINE
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
---	EXISTING UTILITY POLE
---	PROPOSED MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
---	PROPOSED SPOT ELEVATION
---	EXISTING SEWER MAIN
---	PROPOSED SEWER SERVICE LINE
---	EXISTING WATER MAIN
---	PROPOSED WATER SERVICE LINE
---	PROPOSED WATER SHUT-OFF VALVE
---	PROPOSED SEWER CLEAN OUT
---	PROPOSED ROOF LEADER
---	PROPOSED FOOTING DRAIN
---	PROPOSED TREELINE
---	PROPOSED ARBORVITAE (THUJA OCCIDENTALIS EMERALD GREEN)
---	SEE SITE SPECIFIC NOTE 12



SITE LOCATION MAP SCALE: 1" = 400'

ADJOINING OWNERS:

PARCEL: OWNER & MAILING ADDRESS
1: LYNN A. LYONS: 179 UNION ST, BEACON, NY 12508
2: HENRY & NICOLE BEVERIDGE: 175 UNION ST, BEACON, NY 12508
3: LORI JOSEPH BUILDERS INC: 445 MAIN ST, BEACON, NY 12508
4: ARTHUR, LUIGI, & MICHAEL De DOMINICUS: 1100 ROUTE 9, FISHKILL, NY 12524
5: ARTHUR, LUIGI, & MICHAEL De DOMINICUS: 1100 ROUTE 9, FISHKILL, NY 12524

SCHEDULE OF REGULATIONS (R1-7.5 ZONING DISTRICT) AND LOT CONFORMANCE TABLE:

PARAMETER	REQUIREMENT	LOT #1	LOT #2	LOT #3
LOT AREA:	7,500 SQUARE FEET MIN	18,747	14,299	13,851
LOT WIDTH:	75 FEET MINIMUM	89.9'	75.0'	91.2'
LOT DEPTH:	100 FEET MINIMUM	105.8'	165'	142.9'
YARD SETBACKS (RESIDENTIAL USE):				
FRONT YARD:	30 FEET MINIMUM	26.4'	35.0'	35.0'
SIDE YARD:	10 FEET MINIMUM	24.7'	13.2'	11.6'
SIDE YARD (TOTAL OF TWO):	20 FEET MINIMUM TOTAL	122.8'	45.0'	50.6'
REAR YARD:	30 FEET MINIMUM	42.7'	115.4'	93.2'
YARD SETBACKS (ACCESSORY STRUCTURE):				
SIDE YARD:	5 FEET MINIMUM	N/A	N/A	N/A
REAR YARD:	5 FEET MINIMUM	N/A	N/A	N/A
MAIN BUILDING HEIGHT:	MAX 35 FEET, 2.5 STORIES	<35/2-STORY	<35/2-STORY	<35/2-STORY
MAIN BUILDING HEIGHT:	MIN 12 FEET, 1 STORY	>12	>12	>12
ACCESSORY BLDG. HEIGHT:	MAX 15 FEET, 1 STORY	<15'	N/A	N/A

*LOT 3 WIDTH IS THE AVERAGE OF THE PARCEL'S WIDTHS.
**LOT 1 DEPTH IS THE AVERAGE OF THE PARCEL'S DEPTHS.
***LOT 1 IS A NON-CONFORMING, EXISTING LOT.
****EXISTING SHED

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE

DAY OF _____, 20____, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS _____ DAY OF _____, 20____, BY

CHAIRMAN

SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

PRELIMINARY SUBDIVISION PLAN
119 HOWLAND AVENUE

119 HOWLAND AVENUE
CITY OF BEACON
DUTCHESS COUNTY, NEW YORK
TAX ID: 6054-14-278498
SCALE: 1" = 20'
FEBRUARY 28, 2017

HUDSON LAND DESIGN
PROFESSIONAL ENGINEERING P.C.
174 MAIN STREET
BEACON, NEW YORK 12508
PH: 845-440-6926 F: 845-440-6637

SEAL

JON D. BODENDORF, P.E.
NYS LICENSE NO. 076245
DANIEL G. KOHLER, P.E.
NYS LICENSE NO. 082716

SHEET: 2 OF 4

DRAWN BY: AG		CHECKED BY: MAB	JOB NO.: 2016-029
REVISIONS:			
NO.	DATE	DESCRIPTION	BY
1	03/28/2017	PER CONSULTANTS COMMENTS	AG

Dig Safely. New York
800-962-7962
www.digsafelynewyork.org
☐ Call Before You Dig
☐ Wait The Required Time
☐ Confirm Utility Response
☐ Respect The Marks
☐ Dig With Care