

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAN, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY \_\_\_\_\_ CHAIRMAN

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.



**PROPOSED INDUSTRIAL ARTS BREWERY SIGN**

PROPOSED 48" DIAMETER STAINLESS STEEL AND ACRYLIC POLE MOUNTED DOUBLE SIDED SIGN WITH INDUSTRIAL ARTS LOGO WITH INTERNAL ILLUMINATION. THE SIGN POLE IS 8' HIGH.



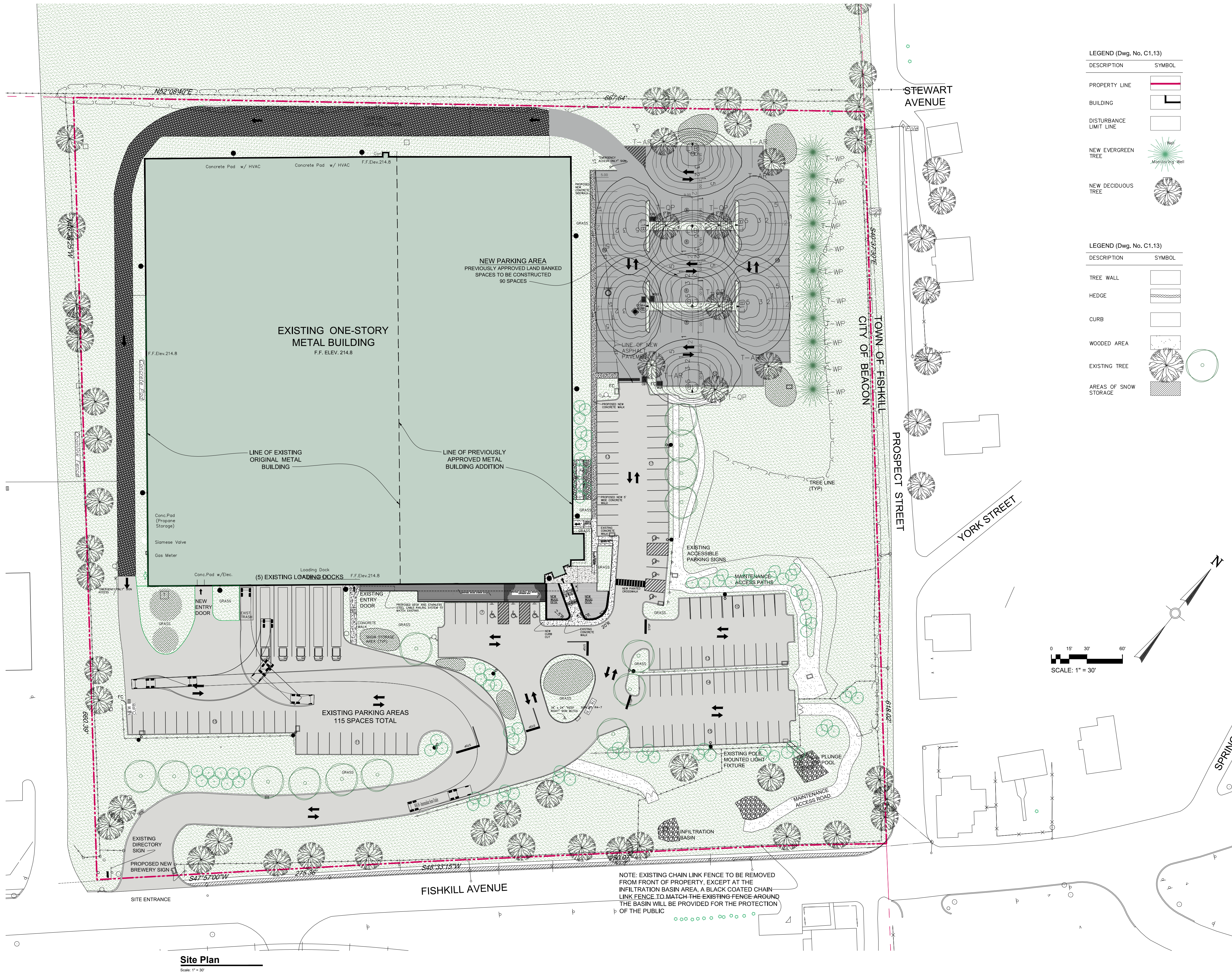
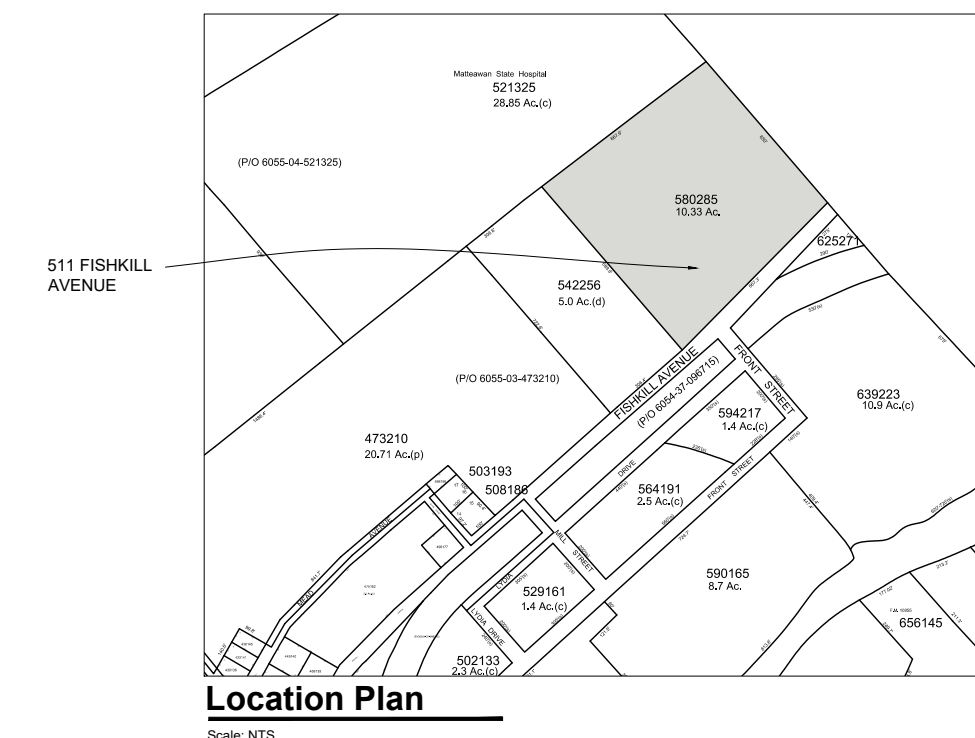
**NEW POLE MOUNTED PARKING LOT LIGHT FIXTURES**

MATCH EXISTING POLE MOUNTED LIGHT DESIGN, USE LED FIXTURE

KIM LIGHTING "ARCHETYPE" SERIES CUT-OFF LUMINAIRE DIE-CAST ALUMINUM REFLECTOR SYSTEM WITH SPECULAR PANELS, DIE-CAST ALUMINUM HOUSING AND LENS FRAME - CLEAR CONVEX GLASS LENS

3,000 K PICO PRISM LED LAMP WITH 17,539 LUMENS, NIGHT SKY COMPLIANT

Zoning District	Minimum Lot Width	Minimum Lot Depth	Required Minimum Setbacks			Existing Setbacks			Maximum Building Height	Existing Building Height
			Front	Side	Rear	Front	Side	Rear		
HI	N/A	100	0	20'	25'	220'	51'	43'	35'	34'



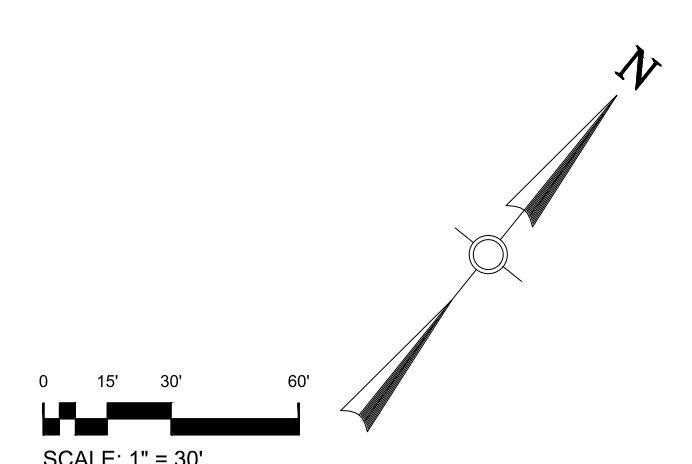
LEGEND (Dwg. No. C1.13)

DESCRIPTION	SYMBOL
PROPERTY LINE	---
BUILDING	—
DISTURBANCE LIMIT LINE	---
NEW EVERGREEN TREE	⊙
NEW DECIDUOUS TREE	⊙

LEGEND (Dwg. No. C1.13)

DESCRIPTION	SYMBOL
TREE WALL	▭
HEDGE	▭
CURB	▭
WOODED AREA	▭
EXISTING TREE	⊙
AREAS OF SNOW STORAGE	▭



**Zoning Summary**

Zoning District:	HI (Heavy Industry)
Tax Map No.:	6055-04-580285
Lot Area:	9.79 acres (426,327.9 sf)
Building Footprint:	76,773 square feet (existing)
Total Lot Coverage:	18%
Historical Overlay District:	No
Parking Overlay District:	No
Existing Use:	Industrial & Office (Vacant)
Proposed Use:	Industrial, Warehouse, Brewery, Office, Retail, Commercial Recreation (Arcade)

**Parking & Loading**

Use & Parking Requirements	Area / Count	Proposed Parking Requirement
<b>Future Brewery</b> 1 space per 2 employees but not less than 1 space per 400 square feet of gross floor space  1 space per employee but not less than 1 space per 1,000 square feet of gross floor space	42,802 sf total area (14,000 sf brewery requires 35 spaces; 28,802 sf warehouse requires 29 spaces)  10 employees estimated	64 spaces
<b>Warehouse</b> 1 space per employee but not less than 1 space per 1,000 square feet of gross floor space	66,696 sf 20 employees estimated	67 spaces
<b>Arcade (commercial recreation)</b> 1 space for each 4 persons of maximum occupancy or 1 space for each 200 square feet of gross floor area, whichever is greater  5 spaces per bowling lane	11,381 sf minus 2700 sf for 5 bowling lanes = 8,681 sf  8,681 sf @ 50 sf/occupant = 174 arcade game occupants  5 bowling lanes @ 5 per lane = 25 bowling lane occupants	69 spaces (44 for game occupancy + 25 for bowling lane occupancy)
<b>Office (For Brewery)</b> 1 space for each 200 square feet of gross floor area, excluding utility areas <b>Brewery Event Space / Lounge</b> 1 space for each 3 patron seats or 1 space for each 150 square feet of gross floor area, excluding kitchen and storage areas, whichever is greater	2,296 sf  4,965 sf 331 occupants @ 15 sf per occupant	0 spaces - Non-simultaneous use  111 spaces
<b>Total Required Parking Spaces</b>		<b>311</b>
<b>Total Proposed Parking Spaces</b>		<b>205</b>
<b>Total Required Loading Spaces</b>		<b>1</b>
<b>Total Proposed Loading Spaces</b>		<b>5</b>

**Notes:**

- The Applicant agrees to monitor actual parking needs, along with the City, during the first few months of peak operations to make sure the parking supply is adequate.
- The Applicant will maintain the existing emergency access drive around the sides and rear of the building with the existing materials.

REVISIONS		
NO.	DATE	DESCRIPTION

**Index of Drawings**

Sheet 1 of 4	Site Plan
Sheet 2 of 4	Survey/Existing Conditions Plan
Sheet 3 of 4	Floor Plans
Sheet 4 of 4	Building Elevations