

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF BEACON, NEW YORK, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAT, AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY \_\_\_\_\_ CHAIRMAN \_\_\_\_\_ SECRETARY

IN ABSENCE OF THE CHAIRMAN OR SECRETARY, THE ACTING CHAIRMAN OR ACTING SECRETARY RESPECTIVELY MAY SIGN IN THIS PLACE.

Zoning District	Required Setbacks			Proposed Setbacks			Lot Depth Required	Lot Depth Existing	Maximum Building Coverage	Proposed Building Coverage	Allowable Building Height	Proposed Building Height	Lot Area	Allowable FAR	Allowable Floor Area	Proposed Floor Area
	Front	Side	Rear	Front	Side	Rear										
CB (Central Business)	N/A	20**	25'	10.04'	0	58'-4"	100'	185.98'	NA	NA	35'	35' (No Change)	4,679	2	9,358sf	6,385sf

\* Existing Condition  
\*\* Required only when abutting a residential district or when a driveway is proposed between the building and the lot line

Zoning Summary	
Zoning District:	CB (Central Business)
Tax Map No.:	5954-27-791947
Lot Area:	4,679 Square Feet
Building Footprint:	2,810 Square Feet
Historical Overlay District:	Included
Parking Overlay District:	Included
Existing Use:	1 Mercantile / 3 Residential (3) One Bedroom
Proposed Use:	1 Mercantile / 2 Residential (1) One Bedroom (1) Two Bedroom

Use & Parking Requirements	1964 Area	1964 Parking Requirement	Proposed Area	Current Parking Requirement
<b>Mercantile</b>				
1 space per 200sf	1800 sf	9 Spaces	800 sf	4 Parking Spaces
<b>Residential</b>				
1 Space per Apartment 1/4 Space per Bedroom	(3) One Bedroom	4 Spaces	(1) One Bedroom (1) Two Bedroom	3 Parking Spaces
<b>Total Required Parking Spaces</b>		<b>13 Spaces</b>		<b>7 Parking Spaces</b>
<b>Total Proposed Parking Spaces</b>				<b>2 Parking Spaces</b>

**Notes:**

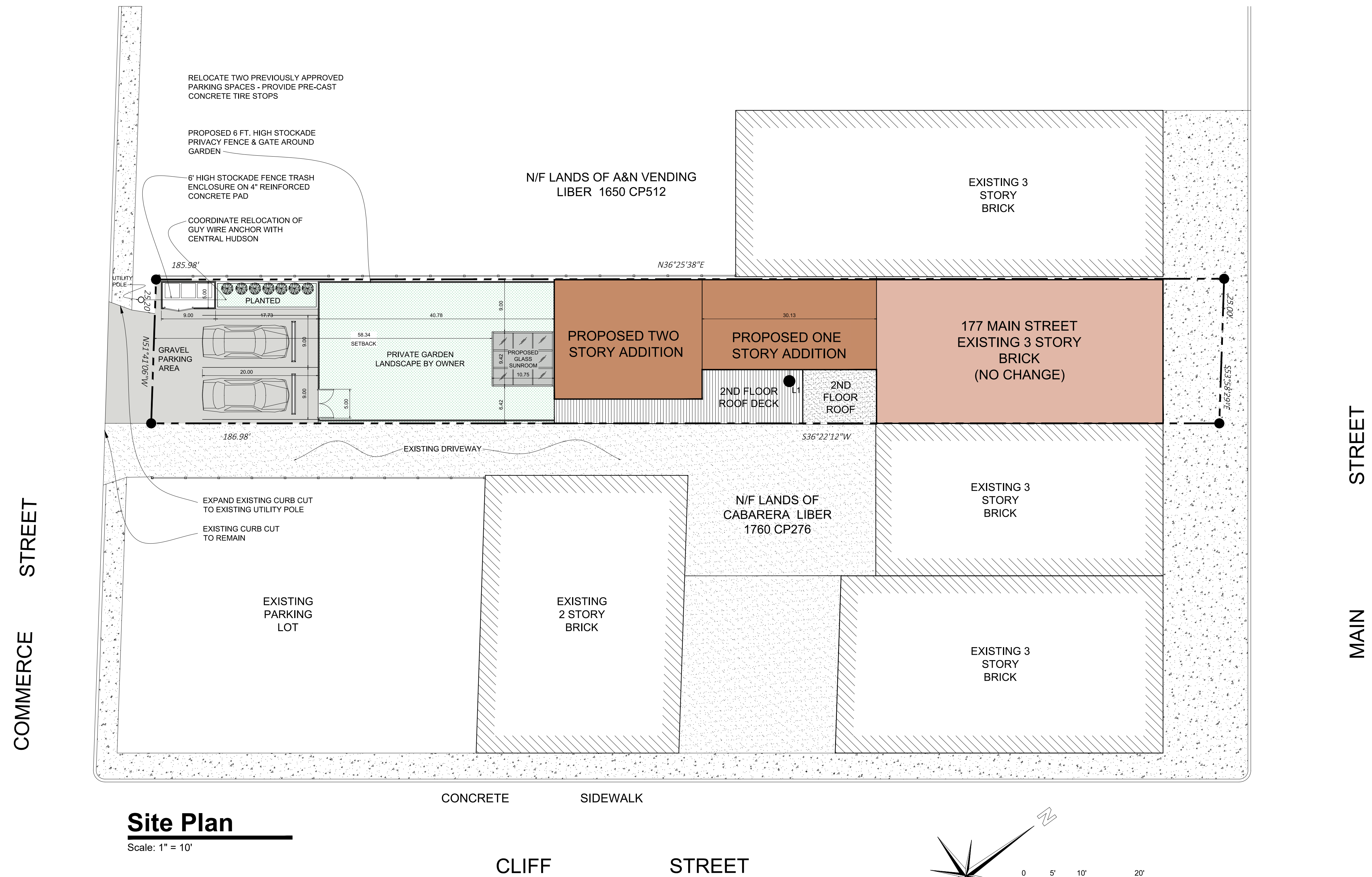
- 7 Parking Spaces is less than 25% greater than 13 parking spaces. Therefore, no parking is required per Beacon Zoning Resolution Section 223-26B (1). Two parking spaces are provided per the previously approved Site Plan. The approved spaces rely on a shared driveway and curb cut that is partially located on the adjacent property. This condition remains, although the parking space layout has been reconfigured.



**Location Map**  
Not to Scale

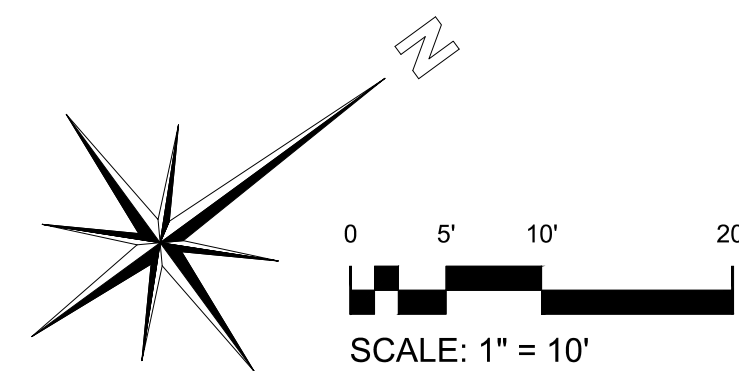
Index of Drawings			
Sheet 1 of 4	Site Plan		
Sheet 2 of 4	Existing Conditions		
Sheet 3 of 4	Floor Plans		
Sheet 4 of 4	Building Section & Elevations		

REVISIONS:			
NO.	DATE	DESCRIPTION	BY



**Site Plan**

Scale: 1" = 10'



# Amendment To Special Use Permit Application

Sheet 1 of 4 - Site Plan

## 177 Main Street

Beacon, New York  
Scale: As Noted  
February 21, 2020

**Owner:**  
Frog Leap, Inc.  
177 Main Street  
Beacon, New York 12508

**Architect:**  
Aryeh Siegel, Architect  
84 Mason Circle  
Beacon, New York 12508

**Surveyor:**  
David Scott Freeman  
176 Bell Hollow Road  
Putnam Valley, New York 10579  
Tel: (631) 926-4563