

SITE PLAN DRAWINGS

BEACON COMMONS

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- NOTES:

1. EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "TOPOGRAPHIC SURVEY," PREPARED BY JMC PLANNING ENGINEERING LANDSCAPE ARCHITECTURE & LAND SURVEYING, PLLC, DATED 09/20/2018, REVISED 09/23/2019.
2. THE TOPOGRAPHY SHOWN IS REFERENCED FROM NAVD83 VERTICAL DATUM AS SHOWN ON THE ABOVE TOPOGRAPHIC SURVEY.
3. THE PROJECT SITE IS LOCATED IN ZONE X, "AREA OF MINIMAL FLOOD HAZARD" ACCORDING TO FEMA MAP NO. 36027C02463E, EFFECTIVE 05/02/2012.
4. THE EXISTING SANITARY SEWER SERVICE LATERAL WAS NOT LOCATED AND IS PROPOSED TO BE REMOVED. IT IS ASSUMED TO BE LOCATED FROM THE SOUTH SIDE OF THE BUILDING TO THE MAIN WASTEWATER MAIN STREET. THE CONNECTION SHALL BE MADE IN ACCORDANCE WITH REQUIREMENTS OF DUTCHESS COUNTY HEALTH DEPARTMENT AND CITY OF WESTMAN STANDARDS.

ANY ALTERATION OF PLANS,
SPECIFICATIONS, PLATS AND
REPORTS BEARING THE SEAL
OF A LICENSED PROFESSIONAL
ENGINEER OR LICENSED LAND
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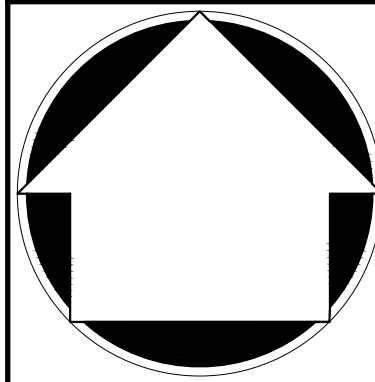

EXISTING
CONDITIONS PLAN

BEACON COMMONS
16 WEST MAIN STREET

EXISTING
CONDITIONS PLAN
BEACON COMMONS
16 WEST MAIN STREET

Drawn:	AH	Approved:	S
Scale:	1" = 20'		
Date:	10/29/2019		
Project No:	18119		
18119-EXISTING	EXIST	EXIST	
Drawing No:	C-010		

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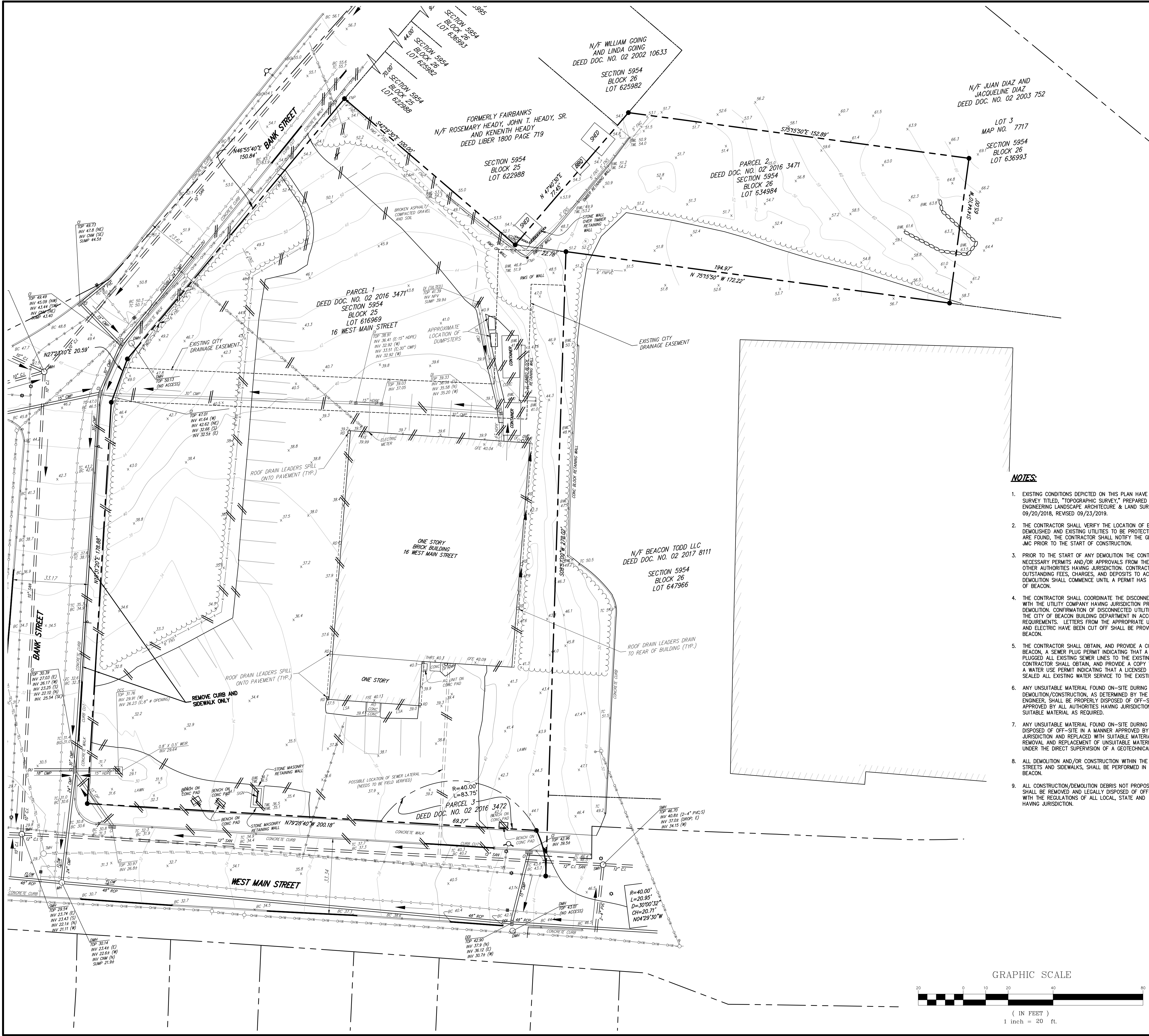


APPLICANT/OWNER:
FARRELL BUILDING COMPANY
2317 MONTAUK HIGHWAY
BRIDGEHAMPTON, NY 11932

ARCHITECT:
ARYEH SIEGEL ARCHITECT
84 MASON CIRCLE
BEACON, NY 12508

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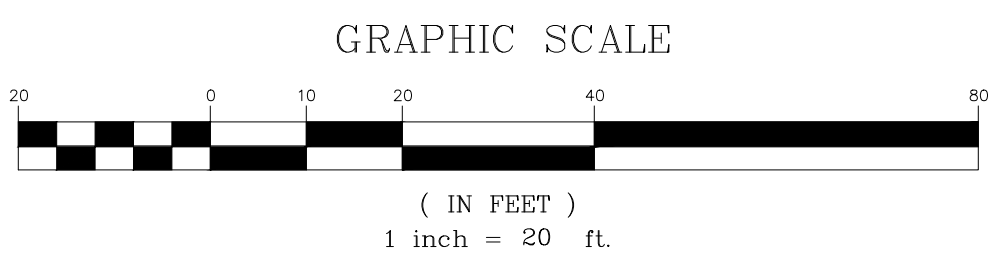
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NOTES

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- THE CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING UTILITIES TO BE DEMOLISHED AND EXISTING UTILITIES TO BE PROTECTED. IF ANY DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE GENERAL CONTRACTOR AND JMC PRIOR TO THE START OF CONSTRUCTION.
- PRIOR TO THE START OF ANY DEMOLITION THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND/OR APPROVALS FROM THE CITY OF BEACON AND ALL OTHER AUTHORITIES HAVING JURISDICTION. CONTRACTOR SHALL PAY ALL OUTSTANDING FEES, CHARGES, AND DEPOSITS TO ACQUIRE SAID PERMITS. NO DEMOLITION SHALL COMMENCE UNTIL A PERMIT HAS BEEN OBTAINED FROM CITY OF BEACON.
- THE CONTRACTOR SHALL COORDINATE THE DISCONNECTION OF ALL UTILITIES WITH THE UTILITY COMPANY HAVING JURISDICTION PRIOR TO THE START OF DEMOLITION. CONFIRMATION OF DISCONNECTED UTILITIES SHALL BE PROVIDED TO THE CITY OF BEACON BUILDING DEPARTMENT IN ACCORDANCE WITH THEIR REQUIREMENTS. LETTERS FROM THE APPROPRIATE UTILITIES STATING THAT GAS AND ELECTRIC HAVE BEEN CUT OFF SHALL BE PROVIDED TO THE CITY OF BEACON.
- THE CONTRACTOR SHALL OBTAIN, AND PROVIDE A COPY TO THE CITY OF BEACON, A SEWER PLUG PERMIT INDICATING THAT A LICENSED PLUMBER HAS PLUGGED ALL EXISTING SEWER LINES TO THE EXISTING BUILDING. THE CONTRACTOR SHALL OBTAIN, AND PROVIDE A COPY TO THE CITY OF BEACON, A WATER USE PERMIT INDICATING THAT A LICENSED PLUMBER HAS CUT AND SEALED ALL EXISTING WATER SERVICE TO THE EXISTING BUILDING.
- ANY UNSUITABLE MATERIAL FOUND ON-SITE DURING DEMOLITION/CONSTRUCTION, AS DETERMINED BY THE PROJECT'S GEOTECHNICAL ENGINEER, SHALL BE PROPERLY DISPOSED OF OFF-SITE IN A MANNER APPROVED BY ALL AUTHORITIES HAVING JURISDICTION AND REPLACED WITH SUITABLE MATERIAL AS REQUIRED.
- ANY UNSUITABLE MATERIAL FOUND ON-SITE DURING CONSTRUCTION SHALL BE DISPOSED OF OFF-SITE IN A MANNER APPROVED BY ALL AUTHORITIES HAVING JURISDICTION AND REPLACED WITH SUITABLE MATERIAL AS REQUIRED. ALL REMOVAL AND REPLACEMENT OF UNSUITABLE MATERIAL SHALL BE COMPLETED UNDER THE DIRECT SUPERVISION OF A GEOTECHNICAL ENGINEER.
- ALL DEMOLITION AND/OR CONSTRUCTION WITHIN THE RIGHT-OF-WAY, INCLUDING STREETS AND SIDEWALKS, SHALL BE PERFORMED IN ACCORDANCE WITH CITY OF BEACON.
- ALL CONSTRUCTION/DEMOLITION DEBRIS NOT PROPOSED TO BE RECYCLED SHALL BE REMOVED AND LEGALLY DISPOSED OF OFF-SITE IN ACCORDANCE WITH THE REGULATIONS OF ALL LOCAL, STATE AND FEDERAL AGENCIES HAVING JURISDICTION.
- EXISTING CONCRETE MAY BE STORED ON SITE, AND RECYCLED FOR USE AS COMPACTED FILL. ALL MATERIAL TO BE USED AS FILL SHALL BE APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.
- PRIOR TO THE START OF SITE DEMOLITION, EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH CITY OF BEACON, AS REQUIRED AND/OR DIRECTED BY THE CITY OF BEACON OR JMC.
- EXISTING DRAINAGE PATTERNS ON SITE SHALL BE MAINTAINED TO THE MAXIMUM EXTENT PRACTICABLE.
- ALL EXISTING UTILITY CASTINGS WHICH ARE TO REMAIN SHALL BE REMOVED AND RESET TO THE NEW PROPOSED GRADES IN ACCORDANCE WITH THE DIRECTIONS OF THE OWNER'S FIELD REPRESENTATIVE. EXISTING CASTINGS WHICH ARE DAMAGED OR UNFIT FOR INSTALLATION IN THE NEW CONSTRUCTION, AS DETERMINED BY THE OWNER'S FIELD REPRESENTATIVE, SHALL BE REPLACED.
- ALL EXISTING SIDEWALKS, CURBS, PAVEMENT, ETC. TO REMAIN, WHICH ARE DISTURBED OR DAMAGED DUE TO THE NEW CONSTRUCTION, ARE TO BE REPLACED WITH MATERIALS CONSISTENT WITH EXISTING CONDITIONS.
- THESE PLANS ARE TO BE PROVIDED TO BOTH THE DEMOLITION CONTRACTOR AND THE SITE CONTRACTOR FOR THEIR USE. INFORMATION AND COORDINATION. ANY QUESTIONS OF CONTRACTOR RESPONSIBILITY AND/OR SEPARATION OF WORK SHALL BE DIRECTED TO THE GENERAL CONTRACTOR IN WRITING PRIOR TO ISSUANCE OF BID.
- THE OWNER SHALL RETAIN A LICENSED AND QUALIFIED PROFESSIONAL, CERTIFIED BY THE CITY OF BEACON, TO INSPECT FOR THE PRESENCE OF ASBESTOS AND/OR OTHER HAZARDOUS MATERIALS WITHIN DEMOLITION AREAS PRIOR TO THE COMMENCEMENT OF DEMOLITION. IF REMEDIATION IS REQUIRED, THE OWNER SHALL DO SO IN ACCORDANCE WITH THE NYS ASBESTOS RULES AND REGULATIONS AND/OR ANY AUTHORITIES HAVING JURISDICTION. THE CONTRACTOR SHALL PROVIDE ALL REQUIRED DOCUMENTATION TO THE NYS PRIOR TO OBTAINING A DEMOLITION PERMIT.
- THE CONTRACTOR SHALL EXTERMINATE RODENTS AS REQUIRED BY THE DUTCHESS COUNTY DEPARTMENT OF HEALTH AND MENTAL HYGIENE, A LETTER FROM THE HEALTH DEPARTMENT CERTIFYING THAT A LICENSED EXTERMINATOR HAS TREATED THE EXISTING BUILDING SHALL BE PROVIDED TO THE CITY OF BEACON DEPARTMENT OF BUILDINGS.
- PRIOR TO COMMENCEMENT OF DEMOLITION, THE CONTRACTOR MUST PROVIDE 24-HOUR NOTIFICATION TO THE CITY OF BEACON.
- THE CONTRACTOR SHALL PROVIDE VERIFICATION TO THE CITY OF BEACON THAT FIVE (5) DAYS' PRIOR NOTIFICATION WAS GIVEN TO ALL ADJOINING OWNERS AND THAT NOTIFICATION WAS GIVEN TO THE APPROPRIATE COMMUNITY BOARD PRIOR TO THE COMMENCEMENT OF DEMOLITION.

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.



No.	Revision	Date	By

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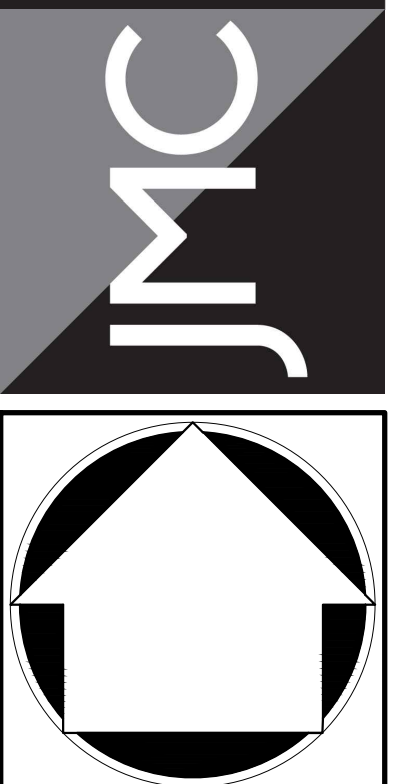
LEGEND	
	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING EASEMENT LINE
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING INDEX CONTOUR
	EXISTING CONTOUR
	EXISTING STONE WALL
	EXISTING RETAINING WALL
	EXISTING FENCE
	EXISTING TREE LINE
	EXISTING PARKING
	EXISTING STORM DRAIN LINE AND SIZE
	EXISTING SANITARY LINE AND SIZE
	EXISTING WATER LINE
	EXISTING GAS LINE
	EXISTING OVERHEAD WIRES
	EXISTING DRAIN INLET
	EXISTING MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING GAS VALVE
	EXISTING WATER VALVE
	EXISTING LIGHT POLE
	EXISTING SIGN
	EXISTING FEATURE TO BE REMOVED

APPLICANT/OWNER:
FARRELL BUILDING COMPANY
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84 MASON CIRCLE
BEACON, NY 12508

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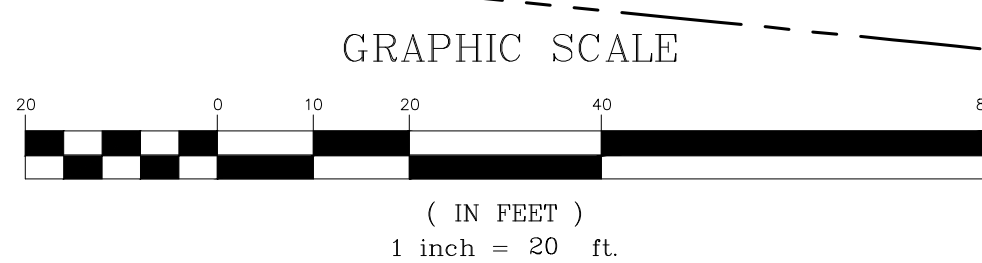
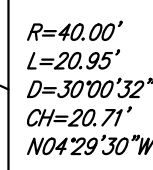


DEMOLITION PLAN

BEACON COMMONS
16 WEST MAIN STREET
BEACON, NY 12508






Drawn: AH Approved: SS
Scale: 1" = 20'
Date: 10/29/2019
Project No: 18119
Drawing No: DEMO DEMO.scr
C-020

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NOTES:

SIGN TABLE

DESIGNATION NUMBER	SGN	SIZE	DESCRIPTION	MOUNTING TYPE	MOUNTING HEIGHT	REGULATORY	REFLECTORIZED
A		30"x30"	WHITE ON RED	STEEL CHANNEL	7'-0"	R1-1	X
B		12"x18"	GREEN & BLUE ON WHITE	STEEL CHANNEL	7'-0"	R7-8	X
C		12"x18"	RED ON WHITE	STEEL CHANNEL	7'-0"	NYP1-2	X
D	 	12"x18" 12"x6"	GREEN & BLUE ON WHITE	STEEL CHANNEL	7'-0"	R7-8 R7-8A	X

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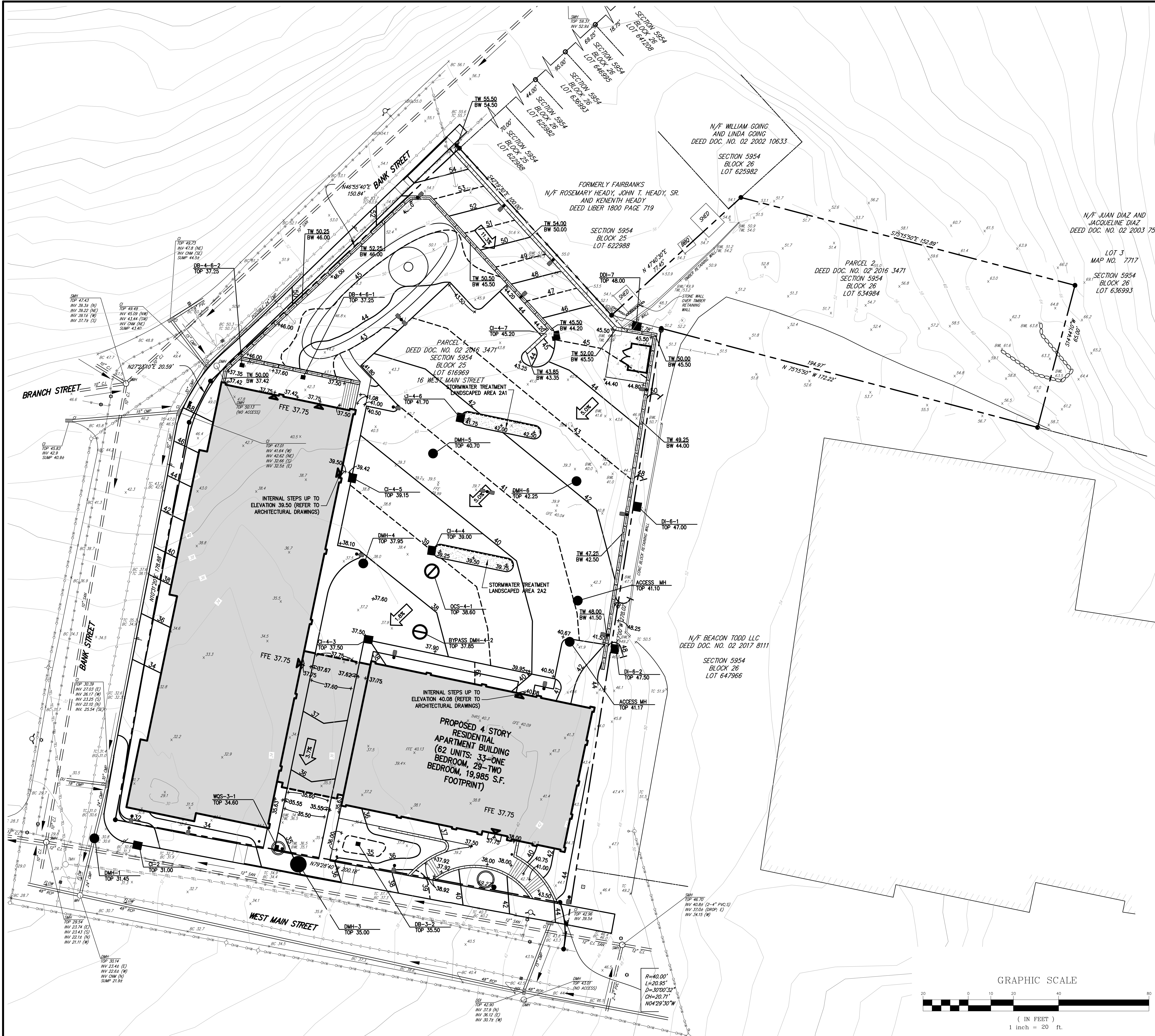
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SITE PLAN

BEACON COMMONS
16 WEST MAIN STREET
BEACON, NY 12508

Drawn:	AH	Approved:	SS
Scale:	1" = 20'		
Date:	10/29/2019		
Project No:	18119		
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Drawing No:			
C-100			

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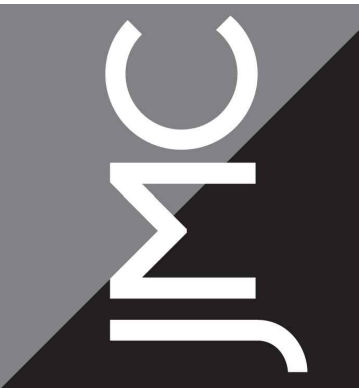
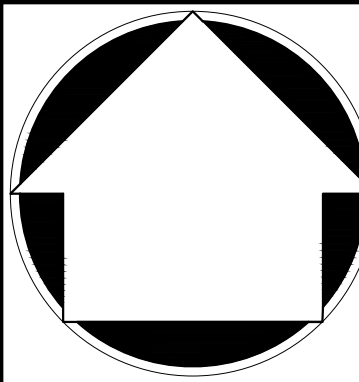
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Date:	10/29/2019				
Project No:	18119				
18119-SITE	GRAD		GRAD.scr		
Drawing No:	C-200				

GRADING PLAN

BEACON COMMONS
16 WEST MAIN STREET
BEACON, NY 12508



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JMC Site Development Consultants, LLC

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






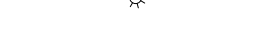












2317 MONTAUK HIGHWAY
BRIDGEHAMPTON, NY 11932

ARCHITECT:

ARYEH SIEGEL ARCHITECT

84 MASON CIRCLE
BEACON, NY 12508

LEGEND

- | | |
|---|--|
|  | EXISTING PROPERTY LINE |
|  | ADJACENT PROPERTY LINE |
|  | EXISTING BUILDING LINE |
|  | EXISTING CURB LINE |
|  | EXISTING INDEX CONTOUR |
|  | EXISTING CONTOUR |
|  | EXISTING SPOT GRADE |
|  | EXISTING STONE WALL |
|  | EXISTING RETAINING WALL |
|  | EXISTING FENCE |
|  | EXISTING DRAIN INLET |
|  | EXISTING MANHOLE |
|  | EXISTING UTILITY POLE |
|  | EXISTING LIGHT POLE |
|  | EXISTING SIGN |
|  | PROPOSED BUILDING LINE |
|  | PROPOSED CONCRETE CURB |
|  | PROPOSED CONCRETE SIDEWALK |
|  | PROPOSED FINISHED GRADE |
|  | PROPOSED SPOT GRADE |
|  | PROPOSED STORM DRAIN MANHOLE |
|  | PROPOSED TYPE CI DRAIN INLET |
|  | PROPOSED TYPE DI DRAIN INLET |
|  | PROPOSED TYPE DB DRAIN BASIN |
|  | PROPOSED WATER QUALITY STRUCTURE |
|  | PROPOSED SUBSURFACE DRAINAGE
OUTLET CONTROL STRUCTURE |
|  | PROPOSED CLEANOUT |
|  | PROPOSED RETAINING WALL AND SAFETY FENCE
(DESIGN BY OTHERS) |
|  | PROPOSED DOUBLE ARM LIGHTING STANDARD
(DESIGN BY OTHERS) |
|  | PROPOSED SINGLE ARM LIGHTING STANDARD
(DESIGN BY OTHERS) |

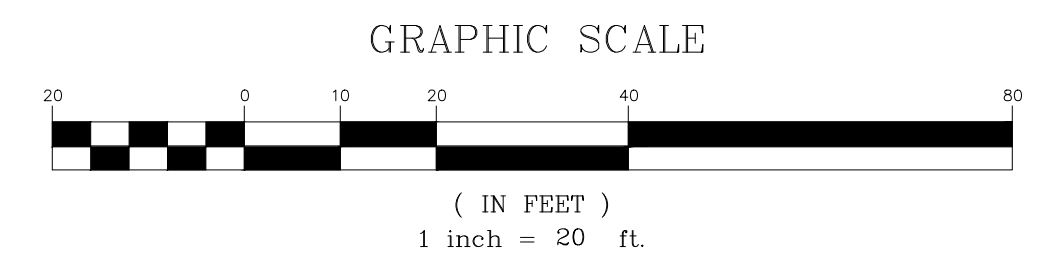
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2. ALL STORMWATER MANAGEMENT PRACTICES SHALL REMAIN UNDISTURBED AND BE PROTECTED FROM HEAVY MACHINERY TRAFFIC DURING CONSTRUCTION. HOWEVER DURING CONSTRUCTION OF THE PRACTICE THE CONTRACTOR SHALL MINIMIZE AND AVOID HEAVY MACHINERY TRAFFIC TO THE MAXIMUM EXTENT PRACTICABLE. THERE SHALL BE NO STORAGE OF MATERIALS WITHIN AREAS TO BE USED FOR STORMWATER MANAGEMENT PRACTICES. THE CONTRACTOR SHALL INSTALL A CONSTRUCTION FENCE AROUND THE PRACTICE TO DISCOURAGE VEHICLE TRAFFIC.
3. ALL FILLS SHALL BE COMPACTED TO PROVIDE STABILITY OF MATERIAL AND TO PREVENT SETTLEMENT.
4. EXCAVATIONS AND FILLS SHALL NOT ENDANGER ADJOINING PROPERTIES, NOR DISTURB WATER OR OTHER PROPERTY OF OTHERS AT ANY TIME DURING THE COURSE OF CONSTRUCTION.
5. CONTRACTOR SHALL REFER TO EROSION AND SEDIMENT CONTROL PLAN FOR FURTHER DIRECTION REGARDING SITE STABILIZATION THROUGHOUT THE COURSE OF CONSTRUCTION.

RETAINING WALL SPOT GRADE LEGEND

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LEGEND	
	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING EASEMENT LINE
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING STONE WALL
	EXISTING RETAINING WALL
	EXISTING FENCE
	EXISTING STORM DRAIN LINE AND SIZE
	EXISTING SANITARY LINE AND SIZE
	EXISTING WATER LINE
	EXISTING GAS LINE
	EXISTING OVERHEAD WIRES
	EXISTING DRAIN INLET
	EXISTING MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING GAS VALVE
	EXISTING WATER VALVE
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SIGN
	PROPOSED BUILDING LINE
	PROPOSED CONCRETE CURB
	PROPOSED EASEMENT LINE
	PROPOSED CONCRETE SIDEWALK
	PROPOSED DROP CURB AND RAMP
	PROPOSED STORM DRAIN MANHOLE
	PROPOSED TYPE CI DRAIN INLET
	PROPOSED TYPE DI DRAIN INLET
	PROPOSED TYPE DB DRAIN BASIN
	PROPOSED WATER QUALITY STRUCTURE
	PROPOSED SUBSURFACE DRAINAGE OUTLET CONTROL STRUCTURE
	PROPOSED CLEANOUT
	PROPOSED STORM DRAIN LINE & SIZE
	PROPOSED SANITARY SEWER LINE & SIZE
	PROPOSED WATER LINE & SIZE
	PROPOSED GAS LINE
	PROPOSED OVERHEAD WIRES
	PROPOSED WATER VALVE
	PROPOSED GAS VALVE
	PROPOSED RETAINING WALL AND SAFETY FENCE (DESIGN BY OTHERS)
	PROPOSED UTILITY POLE



NOTES:

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2. ALL STORMWATER MANAGEMENT PRACTICES SHALL REMAIN UNDISTURBED AND BE PROTECTED FROM HEAVY MACHINERY TRAFFIC DURING CONSTRUCTION. HOWEVER, FOR THE CONSTRUCTION OF THE PRACTICE, THE CONTRACTOR SHALL MINIMIZE AND AVOID HEAVY MACHINERY TRAFFIC TO THE MAXIMUM EXTENT PRACTICABLE. THERE SHALL BE NO STORAGE OF MATERIALS WITHIN AREAS TO BE USED FOR STORMWATER MANAGEMENT PRACTICES. THE CONTRACTOR SHALL INSTALL CONSTRUCTION FENCE AROUND THE PRACTICE TO DISCOURAGE VEHICLE TRAFFIC.
3. UNLESS OTHERWISE SPECIFIED, PIPE FOR STORM DRAINS SHALL BE HIGH DENSITY POLYETHYLENE (HDPE) PIPE. EXCEPT FOR THE CONTRACTOR AND ANNUAL EXTERIOR CORRUGATIONS IN ACCORDANCE WITH ASTM F-2611, JOINTS SHALL BE WATERTIGHT IN ACCORDANCE WITH ASTM D-3212.
4. UNLESS OTHERWISE SPECIFIED, PIPE FOR SANITARY SEWER GRAVITY LINES SHALL BE POLYVINYL CHLORIDE PIPE (PVC), SDR-35, WITH PUSH-ON JOINTS IN ACCORDANCE WITH ASTM D-3034 AND D-3212.
5. UNLESS OTHERWISE SPECIFIED, PIPE FOR WATER LINES SHALL BE DOUBLE CEMENT-LINED DUCTILE IRON PIPE (DIP), CLASS 54, WITH MECHANICAL JOINTS IN ACCORDANCE WITH AWWA C-150, C-151, C-154 AND C-111.
6. ELECTRIC, TELEPHONE, FIRE ALARM AND CABLE TELEVISION LINES SHALL BE INSTALLED UNDERGROUND IN CONDUIT IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY COMPANY HAVING JURISDICTION.
7. THE CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING UTILITIES TO BE CONNECTED TO AND EXISTING UTILITIES TO REMAIN AND BE PROTECTED, IF ANY. DISCREPANCIES ARE FOR THE CONTRACTOR'S INFORMATION. THE CONTRACTOR SHALL NOTIFY THE GENERAL CONTRACTOR AND JMC PRIOR TO THE START OF CONSTRUCTION.

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

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Drawing No:			
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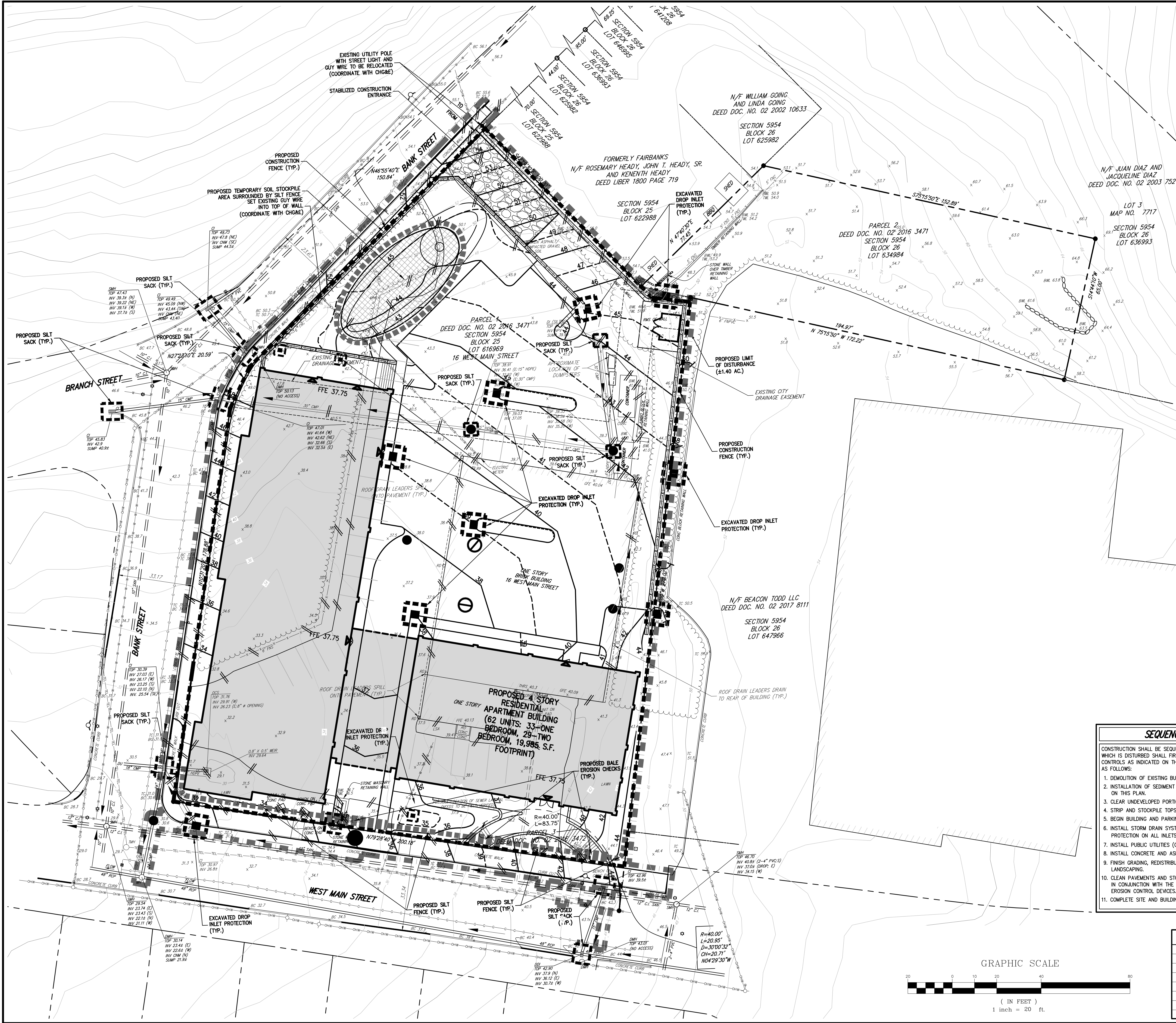
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UTILITIES PLAN	BEACON COMMONS 16 WEST MAIN STREET BEACON, NY 12508
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LEGEND

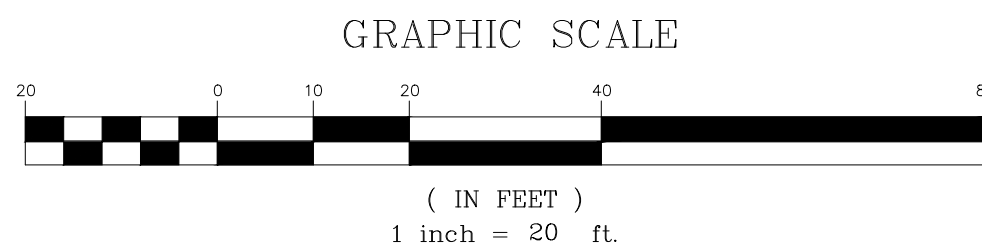
- PROPOSED INLET PROTECTION
- PROPOSED CONSTRUCTION FENCE
- PROPOSED SILT FENCE
- PROPOSED BAILE EROSION CHECKS
- PROPOSED LIMIT OF DISTURBANCE
- PROPOSED STABILIZED CONSTRUCTION ENTRANCE
- PROPOSED STOCKPILE AREA
- EXISTING FEATURE TO BE REMOVED

- NOTES:**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "TOPOGRAPHIC SURVEY," PREPARED BY JMC PLANNING, ENGINEERING, ARCHITECTURE & LAND SURVEYING, PLLC, DATED 09/20/2018, REVISED 09/23/2019.
 - THIS PLAN IS FOR TEMPORARY EROSION AND SEDIMENT CONTROL INFORMATION ONLY.
 - PRIOR TO BEGINNING ANY CLEARING, GRUBBING OR EXCAVATION, ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH ALL THE PLANS AND SPECIFICATIONS. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED UNTIL THE SITE IS STABILIZED. FINAL STABILIZATION OF LANDSCAPED AREAS SHALL BE IN ACCORDANCE WITH THE LANDSCAPE PLAN.
 - THE CONTRACTOR SHALL INSPECT AND MAINTAIN ON-SITE EROSION AND SEDIMENT CONTROL MEASURES ON A DAILY BASIS. ALL COLLECTED SEDIMENT WITHIN SEDIMENT BARRIERS SHALL BE REMOVED PERIODICALLY AS REQUIRED TO MAINTAIN THE FUNCTION OF THE SEDIMENT BARRIERS. ALL SEDIMENT COLLECTED SHALL BE RESPAVED ON-SITE WITHIN STABILIZED AREAS AS DIRECTED BY THE OWNERS REPRESENTATIVE.
 - THE CONTRACTOR SHALL INSPECT DOWNSLOPE CONDITIONS FOR EVIDENCE OF SEDIMENTATION ON A WEEKLY BASIS, AFTER EACH RAINSTORM, AND AS MAY BE REQUIRED OR DIRECTED BY ALL APPLICABLE APPROVALS AND PERMITS. THE CONTRACTOR SHALL IMMEDIATELY PROVIDE A WRITTEN REPORT ON FINDINGS OF SEDIMENT IN DOWNSLOPE AREAS TO ALL AUTHORITIES HAVING JURISDICTION AND MAKE REPAIRS AS REQUIRED OR DIRECTED.
 - ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED BY THE CONTRACTOR AS REQUIRED/WARRANTED BY FIELD CONDITIONS AND AS DIRECTED BY THE OWNERS REPRESENTATIVE, JMC, AND/OR ANY AUTHORITY HAVING JURISDICTION.
 - STOCKPILING OF CONSTRUCTION MATERIAL SHALL BE PLACED ON-SITE IN THE AREA DESIGNATED ON THIS PLAN OR AS APPROVED BY THE OWNERS REPRESENTATIVE. STOCKPILED EXCAVATED MATERIAL SHALL HAVE TWO ROWS OF SILT FENCE LOCATED AROUND ITS PERIMETER. ALL STOCKPILED MATERIAL SHALL BE MAINTAINED IN AN ORDERLY MANNER SO AS NOT TO IMPEDE ON PEDESTRIAN AND/OR VEHICULAR TRAFFIC CIRCULATION ROUTES.
 - DUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED METHODS AS NECESSARY, OR AS DIRECTED BY THE OWNERS REPRESENTATIVE.
 - ALL STORMWATER MANAGEMENT PRACTICES SHALL REMAIN UNDISTURBED AND BE PROTECTED FROM HEAVY MACHINERY TRAFFIC DURING CONSTRUCTION. HOWEVER DURING CONSTRUCTION OF THE PRACTICE THE CONTRACTOR SHALL MINIMIZE AND AVOID HEAVY MACHINERY TRAFFIC TO THE MAXIMUM EXTENT PRACTICABLE. THERE SHALL BE NO STORAGE OF MATERIALS WITHIN AREAS TO BE USED FOR STORMWATER MANAGEMENT PRACTICES. THE CONTRACTOR SHALL INSTALL CONSTRUCTION FENCE AROUND THE PRACTICE TO DISCOURAGE VEHICLE TRAFFIC.
 - ALL EXPOSED SLOPES AND GRADED/DISTURBED AREAS, THAT WILL NOT BE FURTHER DISTURBED WITHIN 14 CALENDAR DAYS (7 DAYS FOR CONSTRUCTION SITES THAT EITHER DIRECTLY DISCHARGE TO ONE OF THE 303(d) SEGMENTS LISTED IN APPENDIX E OF THE GENERAL PERMIT OR ARE LOCATED WITHIN ONE OF THE WATERSHEDS LISTED IN APPENDIX C OF THE GENERAL PERMIT), SHALL BE TEMPORARILY SEEDDED WITHIN 24 HOURS OF DISTURBANCE, IN ACCORDANCE WITH THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYSDEC) "EROSION AND SEDIMENT CONTROL GUIDELINES" AND THE ANSI A300 "BEST MANAGEMENT PRACTICES FOR TREE AND SHRUB PLANTING, TRANSPLANTING, MAINTENANCE AND CARE," PREPARED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA), LATEST EDITIONS, AS FOLLOWS:
A. SEED MIXTURE AND RATE OF APPLICATION:
A.1. IN SPRING, SUMMER OR EARLY FALL, SEED THE AREA WITH RYEGRASS (ANNUAL OR PERENNIAL) AT 30 POUNDS PER ACRES (APPROXIMATELY 0.7 POUNDS/1000 SQUARE FEET OR USE 1 POUND/1000 SQUARE FEET).
A.2. IN LATE FALL OR EARLY WINTER, SEED THE AREA WITH CERTIFIED "AROSTOOK" WINTER RYE (CEREAL RYE) AT 100 POUNDS PER ACRE (2.5 POUNDS/1000 SQUARE FEET).
B. APPLICATION SHALL BE UNIFORM BY MECHANICAL OR HYDROSEED METHODS.
C. MULCH ALL SEEDDED AREAS WITH STRAW AT A RATE OF 2 TONS PER ACRE (90 POUNDS PER 1,000 SQUARE FEET) SUCH THAT THE MULCH FORMS A CONTINUOUS BLANKET.
D. ALL SEEDDED AREAS SHALL BE FERTILIZED, RESEEDDED, AND MULCHED AS NECESSARY TO MAINTAIN VIGOROUS, DENSE VEGETATIVE COVER.
E. TEMPORARY SEED MIXTURES SHALL NOT BE PLACED ON AREAS WHERE FINAL GRADE HAS BEEN ESTABLISHED AND TOPSOIL HAS BEEN PLACED UNLESS OTHERWISE DIRECTED BY THE PROJECT LANDSCAPE ARCHITECT.

SEQUENCE OF CONSTRUCTION

- CONSTRUCTION SHALL BE SEQUENCED IN SUCH A MANNER THAT ANY AREA WHICH IS DISTURBED SHALL FIRST BE PROTECTED WITH SEDIMENT EROSION CONTROLS AS INDICATED ON THIS PLAN. PARTICULAR REQUIREMENTS ARE GIVEN AS FOLLOWS:
- DEMOLITION OF EXISTING BUILDING AS REQUIRED.
 - INSTALLATION OF SEDIMENT AND EROSION CONTROL MEASURES AS INDICATED ON THIS PLAN.
 - CLEAR UNDEVELOPED PORTION OF PROPERTY WHICH IS TO BE DEVELOPED.
 - STRIP AND STOCKPILE TOPSOIL.
 - BEGIN BUILDING AND PARKING LOT CONSTRUCTION, ROUGH GRADING.
 - INSTALL STORM DRAIN SYSTEM COMPLETE (IMMEDIATELY INSTALL INLET PROTECTION ON ALL INLETS).
 - INSTALL PUBLIC UTILITIES (GAS, ELECTRIC AND TELEPHONE) AS REQUIRED.
 - INSTALL CONCRETE AND ASPHALT CONCRETE PAVEMENT COMPLETE.
 - FINISH GRADING, REDISTRIBUTE TOPSOIL AND ESTABLISH VEGETATION AND/OR LANDSCAPING.
 - CLEAN PAVEMENTS AND STORM DRAIN SYSTEM OF ALL ACCUMULATED SEDIMENT IN CONJUNCTION WITH THE REMOVAL OF ALL TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES.
 - COMPLETE SITE AND BUILDING CONSTRUCTION.

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ARCHITECT:
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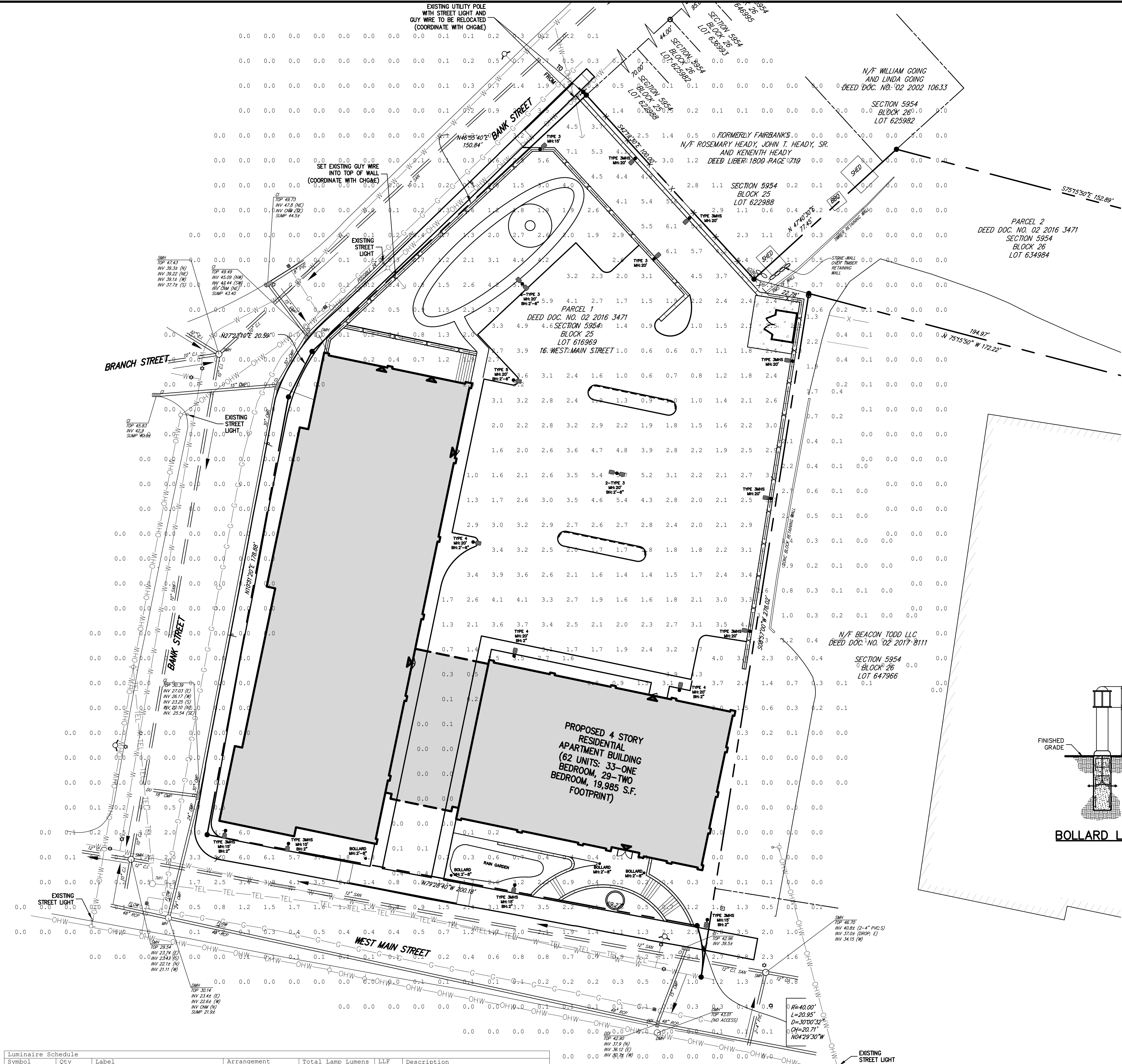
SEDIMENT AND EROSION CONTROL PLAN

BEACON COMMONS
16 WEST MAIN STREET
BEACON, NY 12508

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Date: **10/29/2019**
Project No: **18119**
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Drawing No:
C-400

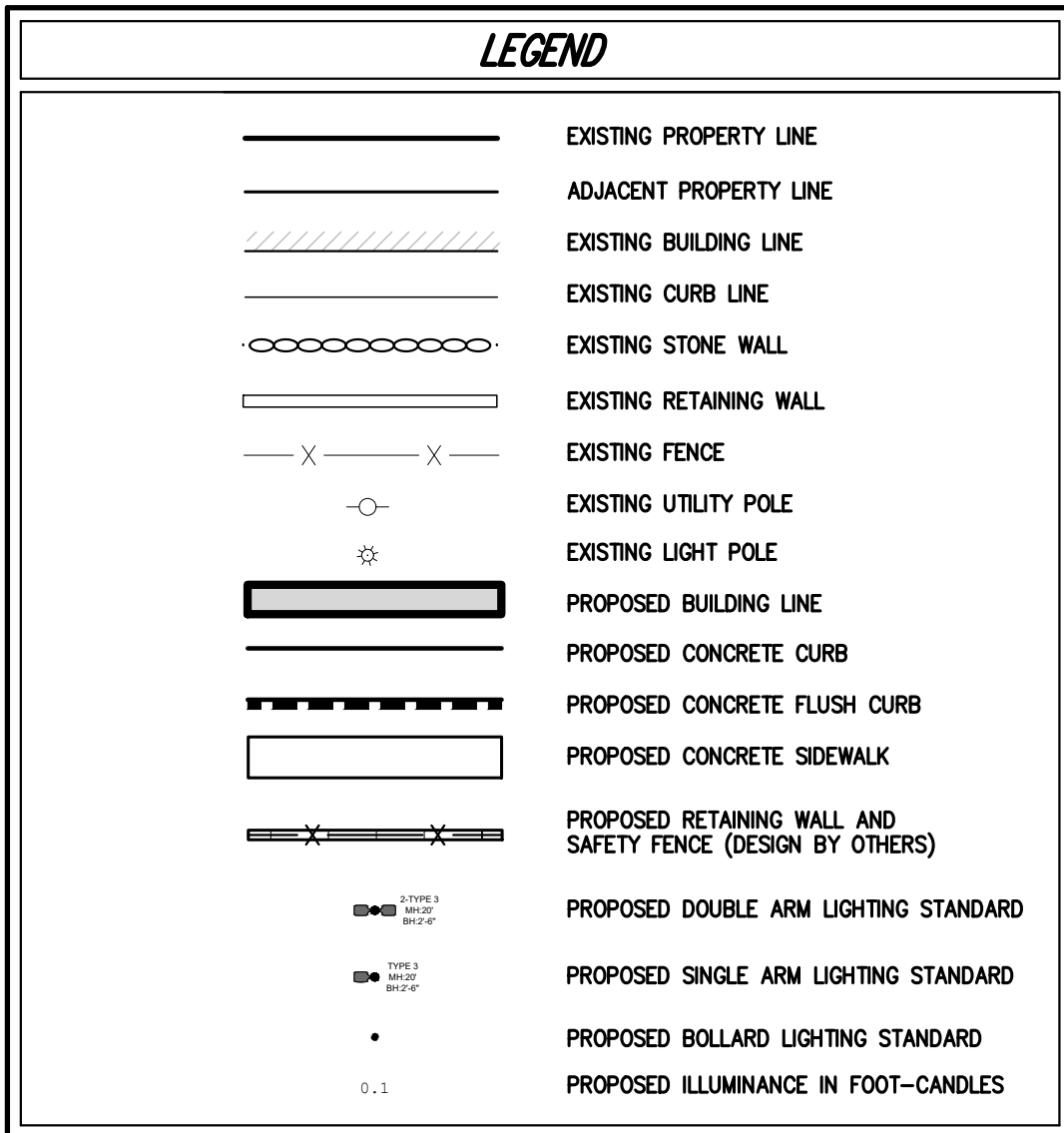
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Luminaire Schedule							
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description	
●	9	MARINA-CN12P1X-FGC-3MHS-68W-4	SINGLE	N.A.	0.900	CN12P1X-FGC-3MHS-68W-4K (TYPE 3 MHS)	
●	6	MARINA-CN12P1X-FGC-3-68W-4K	SINGLE	N.A.	0.900	CN12P1X-FGC-3-68W-4K (TYPE 3)	
●	3	MARINA-CN12P1X-FGC-4-68W-4K	SINGLE	N.A.	0.900	CN12P1X-FGC-4-68W-4K (TYPE 4)	
●	1	MARINA-CN12P1X-FGC-5-68W-4K	SINGLE	N.A.	0.900	CN12P1X-FGC-5-68W-4K (TYPE 5)	
●	4	CBM2112C-FGF-5-35W-4K	SINGLE	N.A.	0.900	CBM2112C-FGF-5-35W-4K (BOLLARD)	

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Parking Lot Planar	Illuminance	Fc	2.53	7.1	0.0	N.A.	N.A.



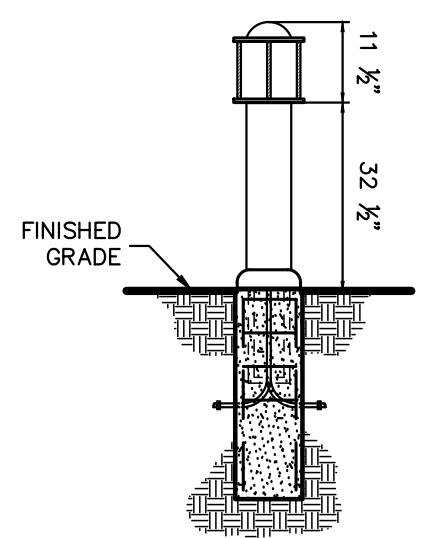
NOTES:

- ALL CABLES AND WIRING SHALL BE INSTALLED UNDERGROUND IN CONDUIT. CONDUIT SHALL BE SCHEDULE 40 PVC CONDUIT INSTALLED WITH TWO (2) FEET OF COVER. MINIMUM SIZE OF CONDUIT SHALL BE TWO (2) INCH DIAMETER.
- CIRCUIT WIRING SHALL BE DESIGNED BY THE PROJECT ELECTRICAL ENGINEER.

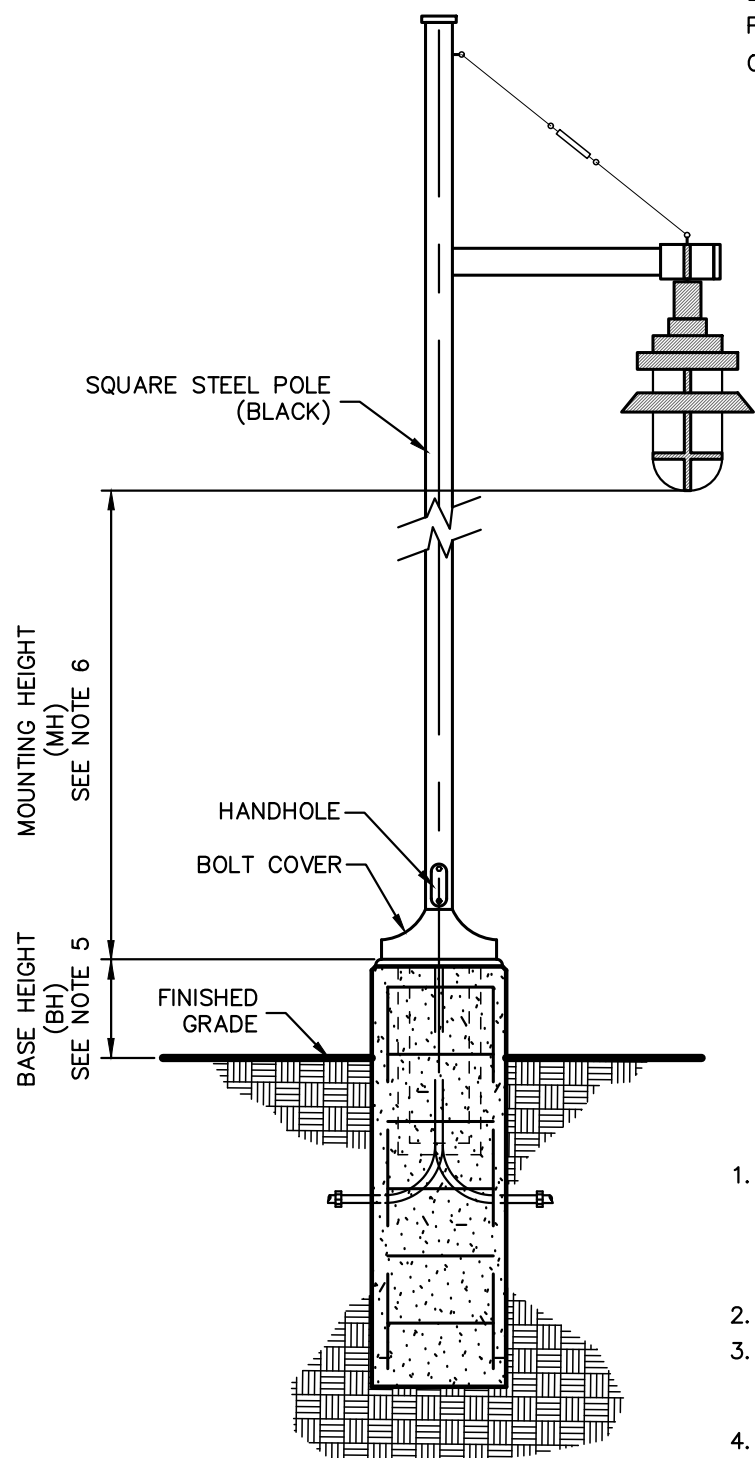
LUMINAIRE & POLE SPECIFICATIONS

- TYPE 3MHS/3/4/5 LIGHTING STANDARD (DOUBLE ARM-MOUNTED)
LUMINAIRE: MARINA-CN12PIX-FGC
- TYPE 3MHS/3/4/5 LIGHTING STANDARD (SINGLE ARM-MOUNTED)
LUMINAIRE: MARINA-CN12PIX-FGC

LUMINAIRES AND POLES ARE TO BE THE PRODUCT OF CYCLONE OR APPROVED EQUAL.



BOLLARD LIGHT



SITE LIGHT

NOTES:

- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CHECK AND VERIFY ALL ANCHOR BOLT DIMENSIONS (SIZE, BOLT CIRCLE, ETC.) WITH THE POLE MANUFACTURER PRIOR TO INSTALLATION OF THE FOUNDATIONS.
 - CHAMFER EXPOSED EDGES OF ALL FOUNDATIONS.
 - PROVIDE INSULATED GROUNDING BUSHING ON EXPOSED ENDS (IN BASE OF POLE) OF ALL GALVANIZED STEEL BENDS.
 - COLOR OF LUMINAIRE SHALL MATCH COLOR OF POLE.
 - CONCRETE BASE IN PARKING AREAS: 2'-6" CONCRETE BASE IN LANDSCAPED AREAS: 2'
 - LIGHT POLE LENGTHS SHALL BE ADJUSTED DEPENDING ON MOUNTING APPLICATION SUCH AS LAWN AREAS, IN PARKING AREAS AND ON TOP OF RETAINING WALLS.
- MH: MOUNTING HEIGHT IS THE DISTANCE FROM THE GROUND BELOW THE LIGHT TO THE BOTTOM OF THE LIGHT.

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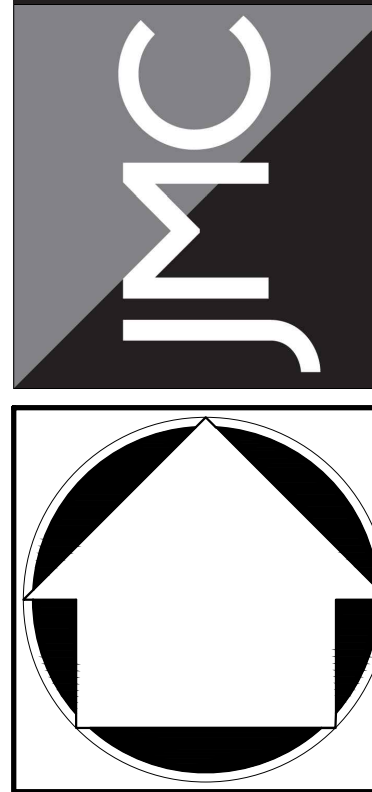
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Drawing No: C-600

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LIGHTING PLAN

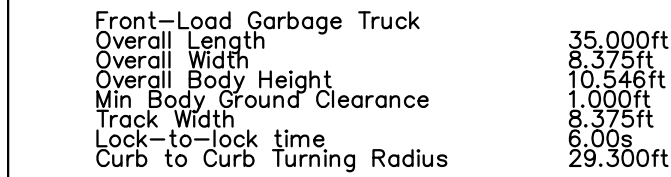
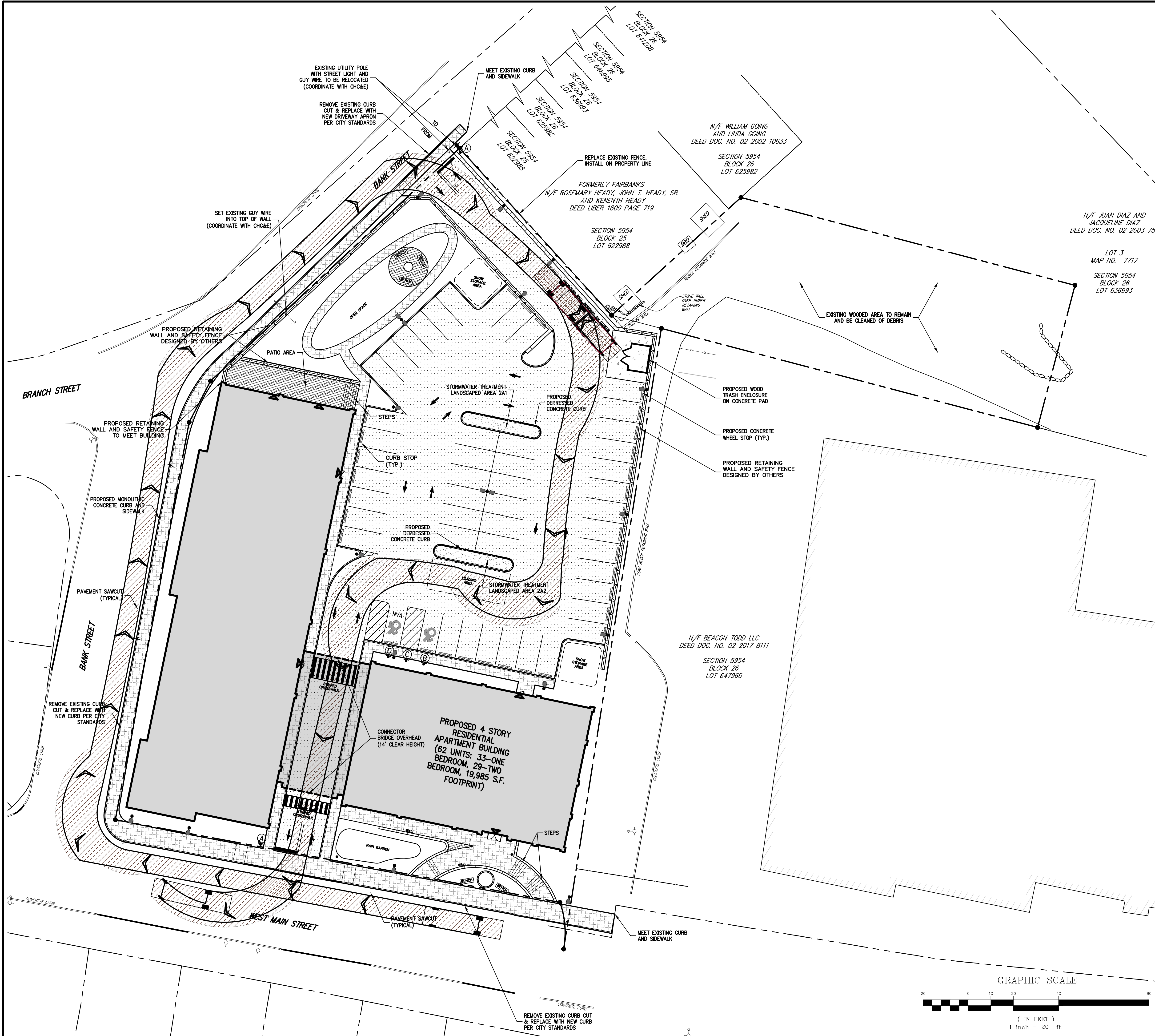
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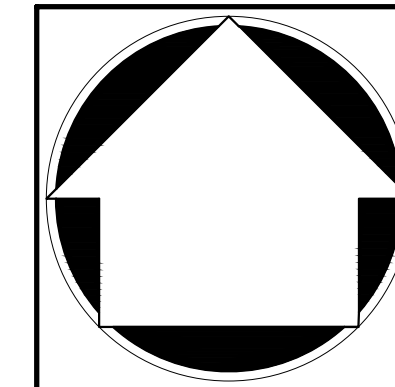
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Drawing No:	C-700		

GARBAGE TRUCK TURNING PLAN (FRONT LOADING)

BEACON COMMONS
16 WEST MAIN STREET
BEACON, NY 12508



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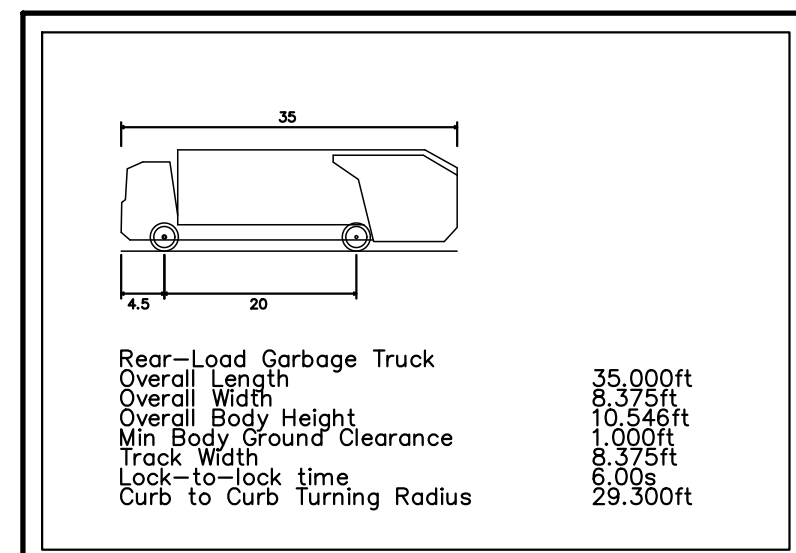
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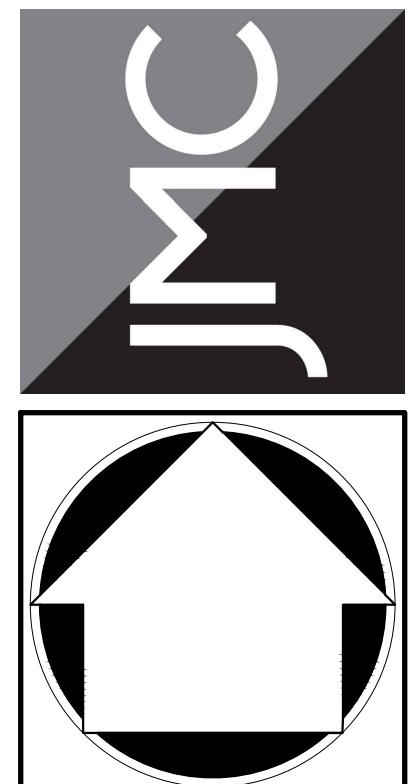
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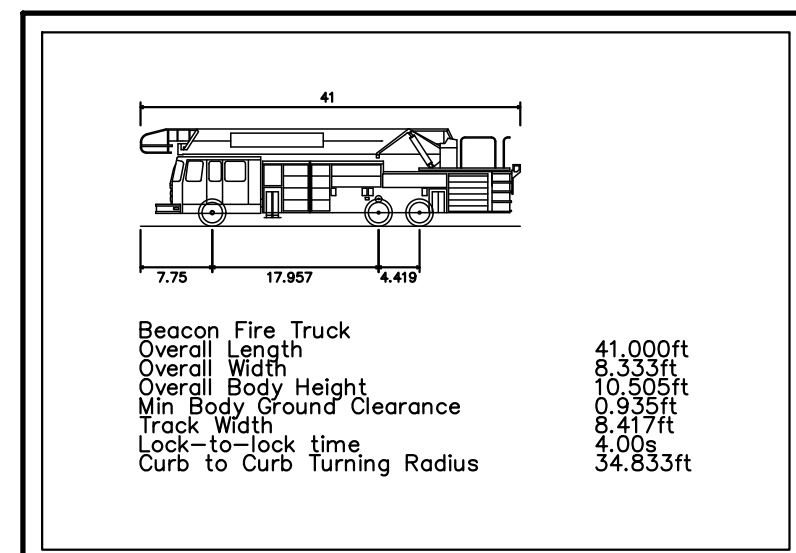
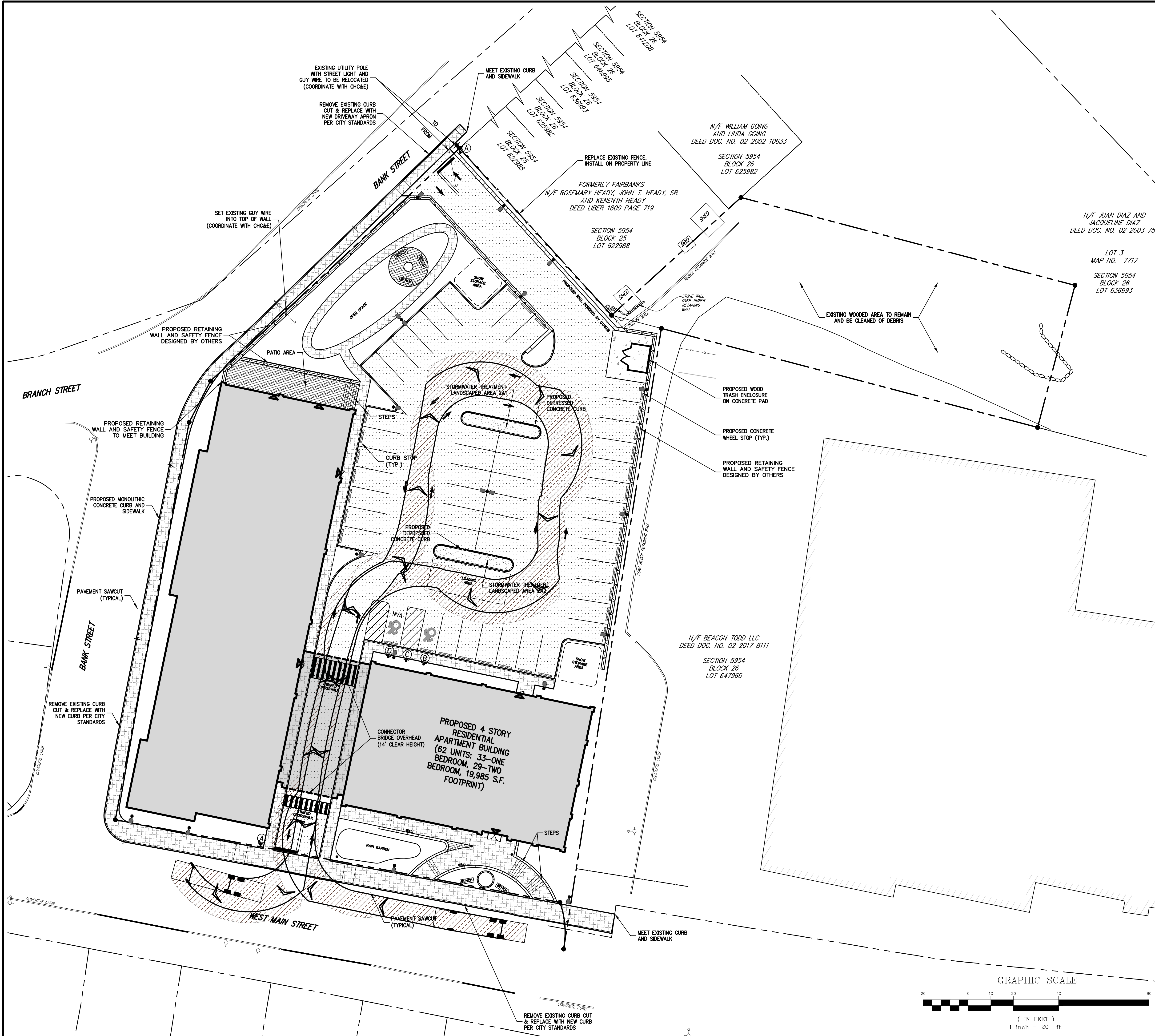
<p>GARBAGE TRUCK TURNING PLAN (REAR LOADING)</p>	<p>BEACON COMMONS 16 WEST MAIN STREET BEACON, NY 12508</p>
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PROFILE

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FIRE TRUCK TURNING PLAN (SCENARIO 1)

BEACON COMMONS
16 WEST MAIN STREET
BEACON, NY 12508

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BRIDGEHAMPTON, NY 11932

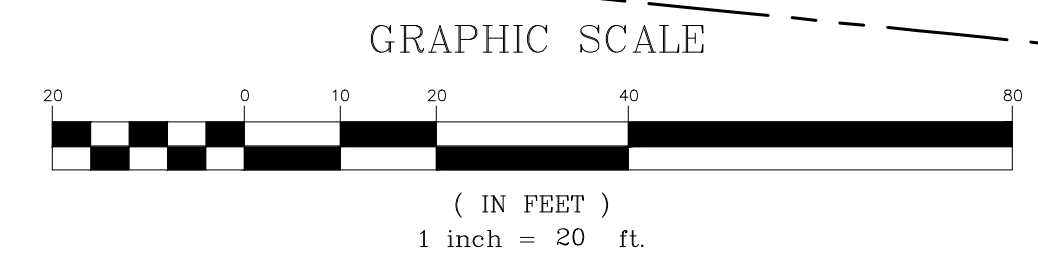
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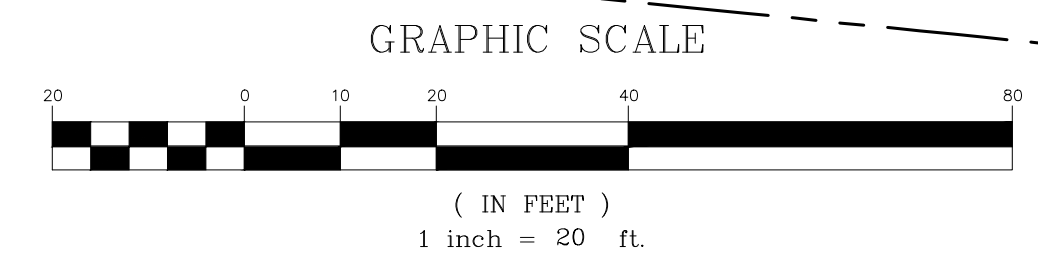
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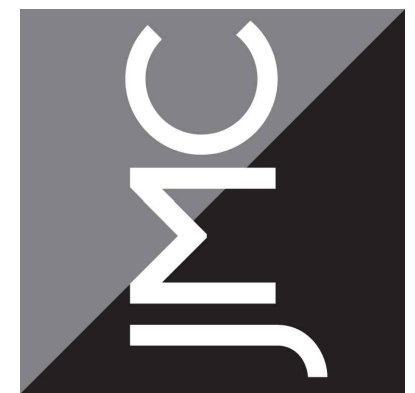
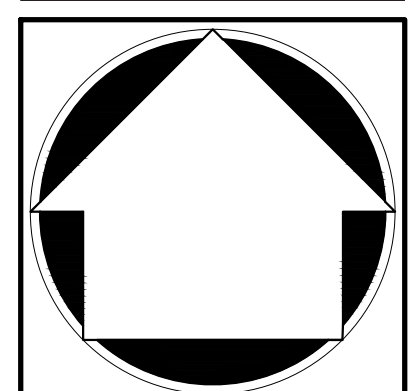
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**FIRE TRUCK TURNING
PLAN (SCENARIO 2)**

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16 WEST MAIN STREET
BEACON, NY 12508



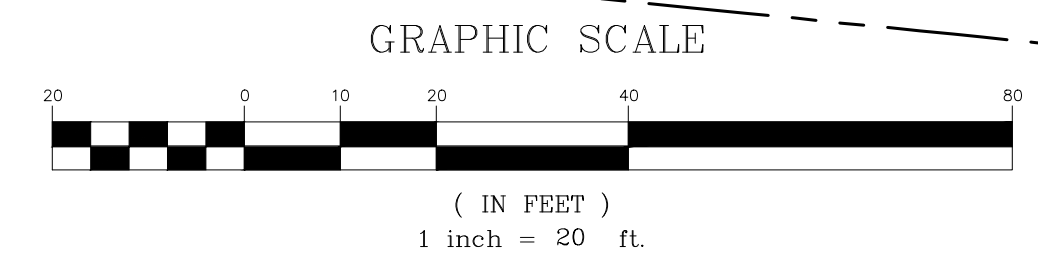
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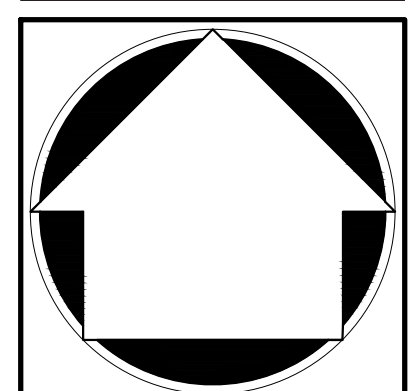
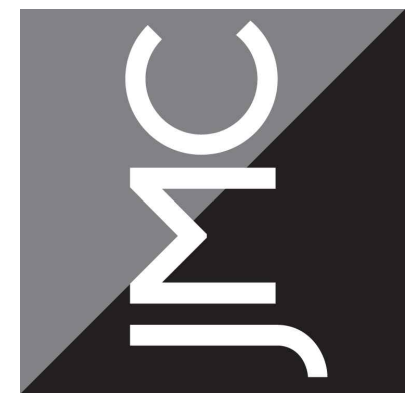


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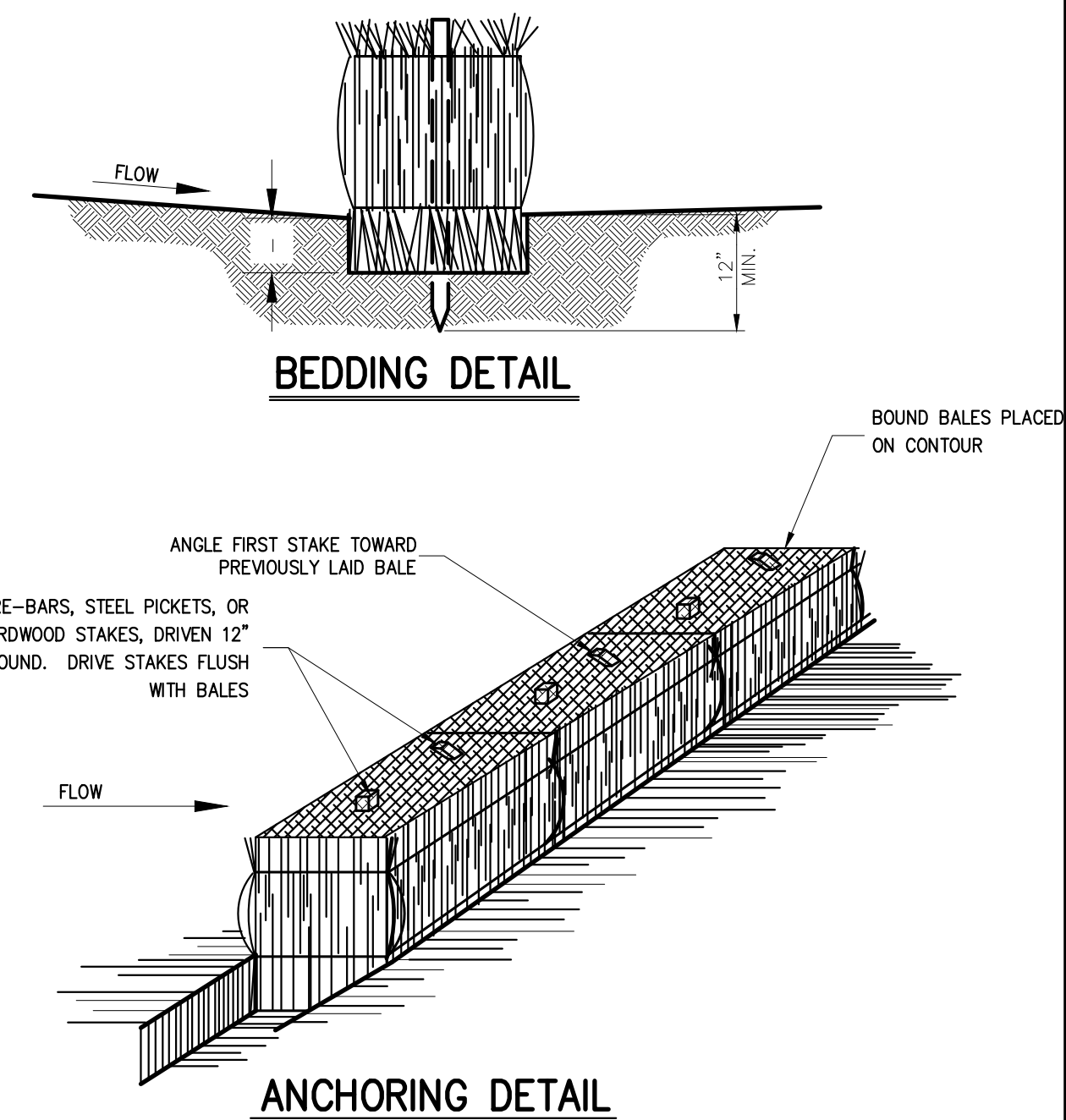
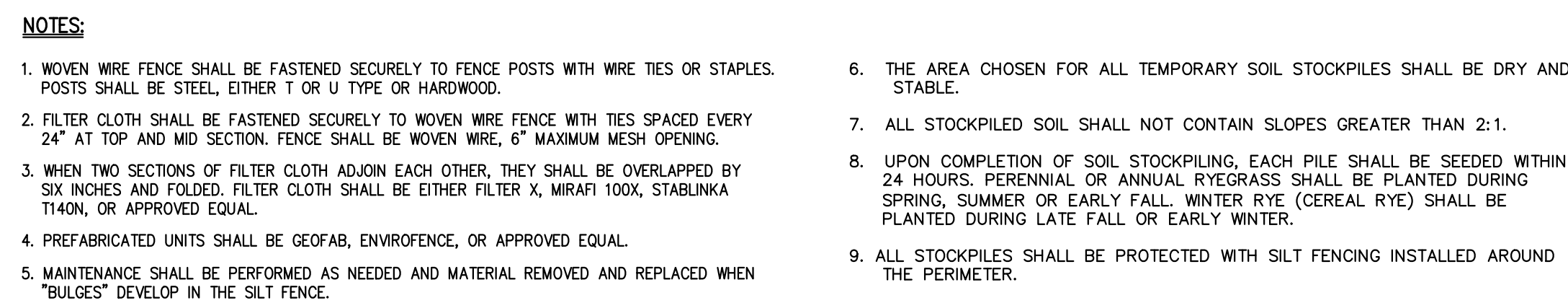
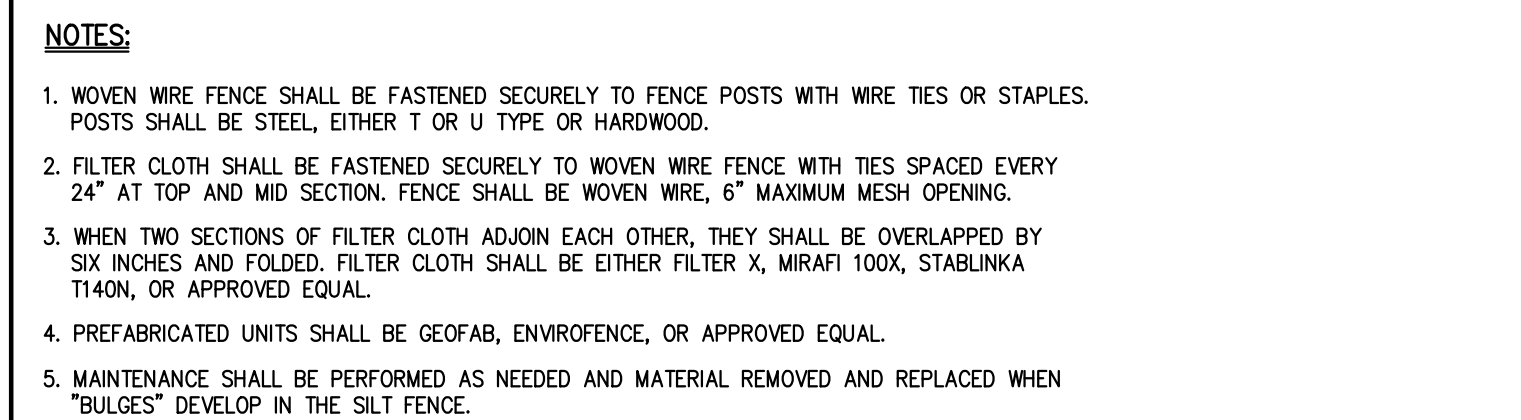
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Scale:	1" = 20'		
Date:	10/29/2019		
Project No:	18119		
18119-SITE	TRUCK-5	TRUCK.scr	
Drawing No:			
C-704			

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FIRE TRUCK TURNING PLAN (SCENARIO 3)	BEACON COMMONS 16 WEST MAIN STREET BEACON, NY 12508
---	---

APPLICANT/OWNER: FARRELL BUILDING COMPANY 2317 MONTAUK HIGHWAY BRIDGEHAMPTON, NY 11932	ARCHITECT: ARYEH SIEGEL ARCHITECT 84 WASON CIRCLE BEACON, NY 12508
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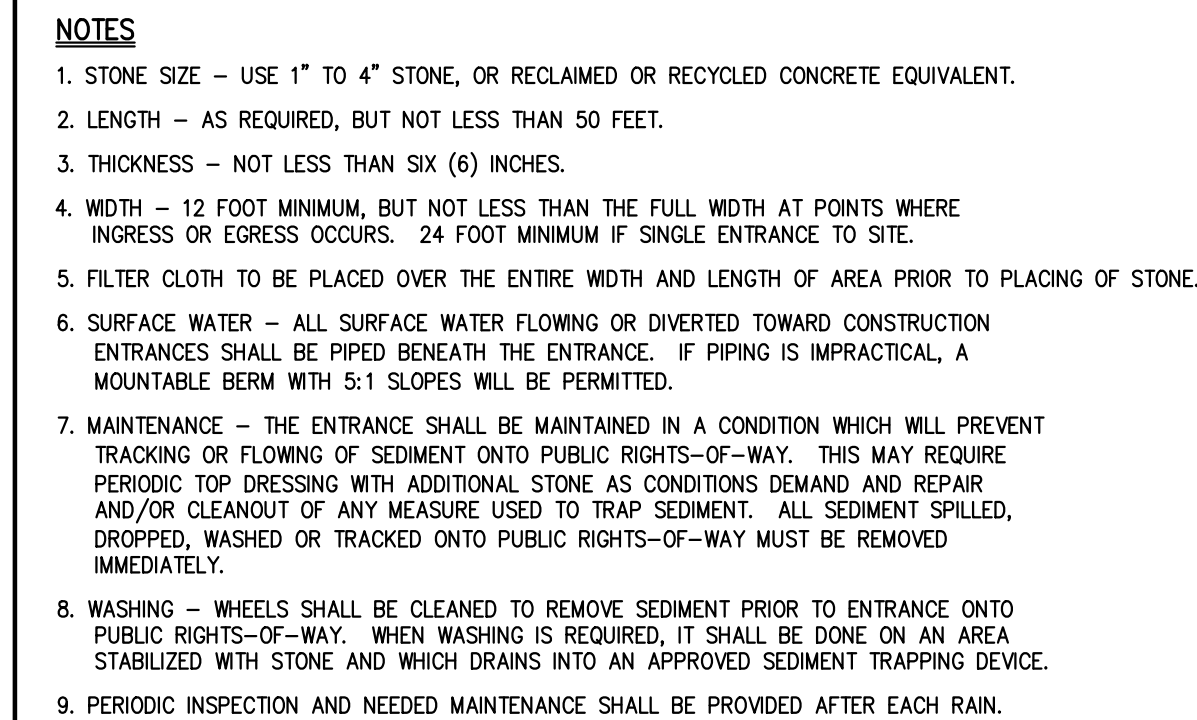
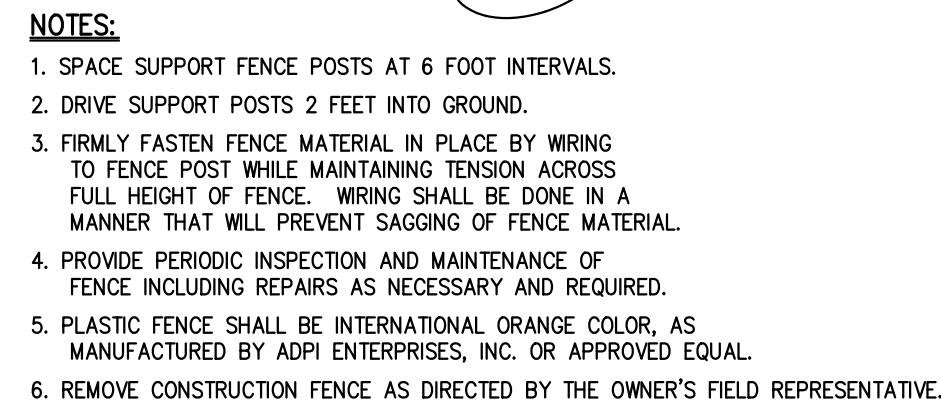
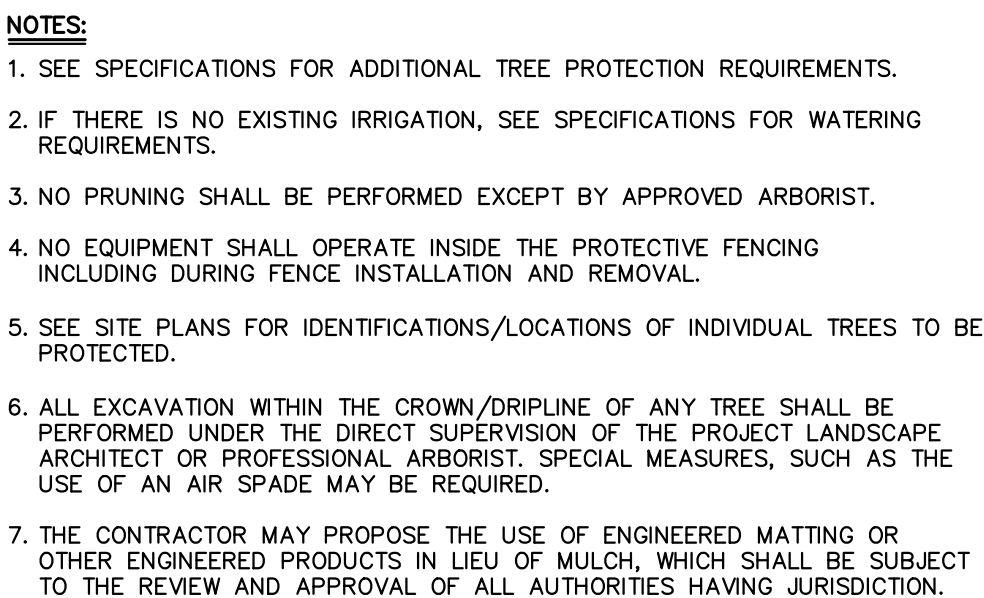
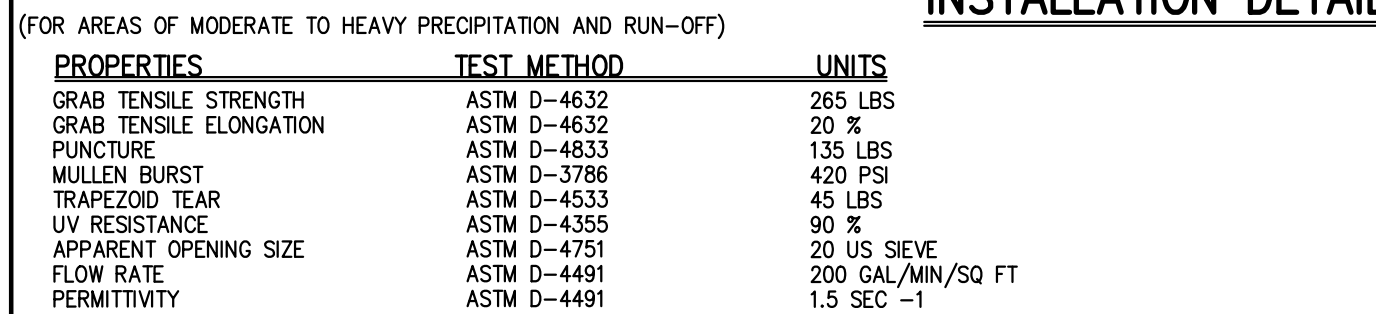


- NOTES:**
1. BALES SHALL BE EITHER STRAW OR HAY.
 2. BALES SHALL BE PLACED AT THE TOE OF SLOPE OR ON THE CONTOUR AND IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
 3. EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF 6 INCHES, AND PLACED SO THE BINDINGS ARE HORIZONTAL.
 4. BALES SHALL BE SECURELY ANCHORED IN PLACE BY EITHER TWO STAKES OR RE-BARS DRIVEN THROUGH THE BALE. THE FIRST STAKE IN EACH BALE SHALL BE DRIVEN TOWARD THE PREVIOUSLY LAID BALE AT AN ANGLE TO FORCE THE BALES TOGETHER. STAKES SHALL BE DRIVEN FLUSH WITH THE BALE.
 5. INSPECTION SHALL BE FREQUENT, AND REPAIR AND/OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED TO MAINTAIN EFFECTIVENESS OF INSTALLATION.
 6. BALES SHALL BE REMOVED WHEN DIRECTED BY THE OWNER'S FIELD REPRESENTATIVE.

1

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3



4

5

6

7

[illegible]

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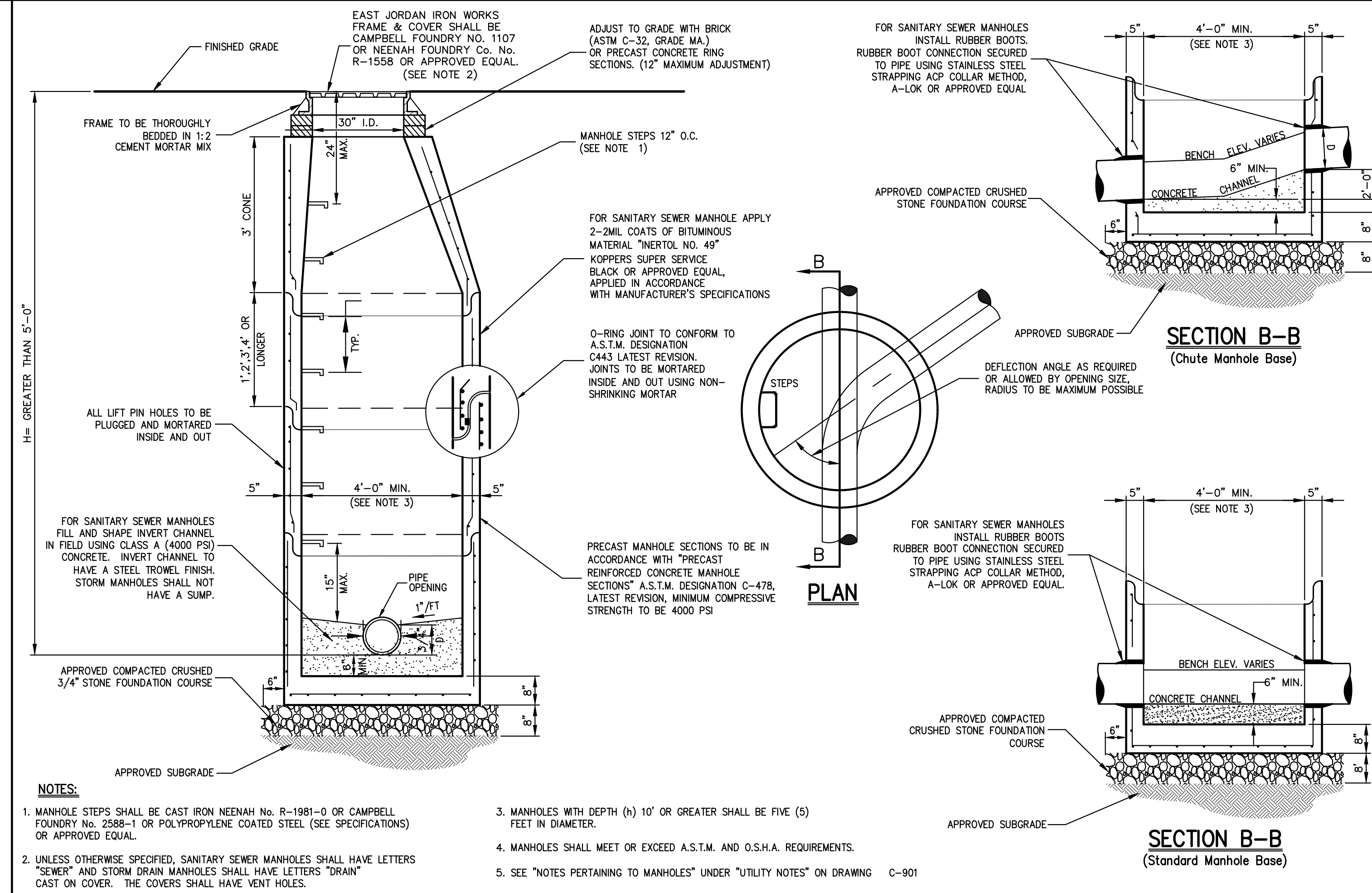
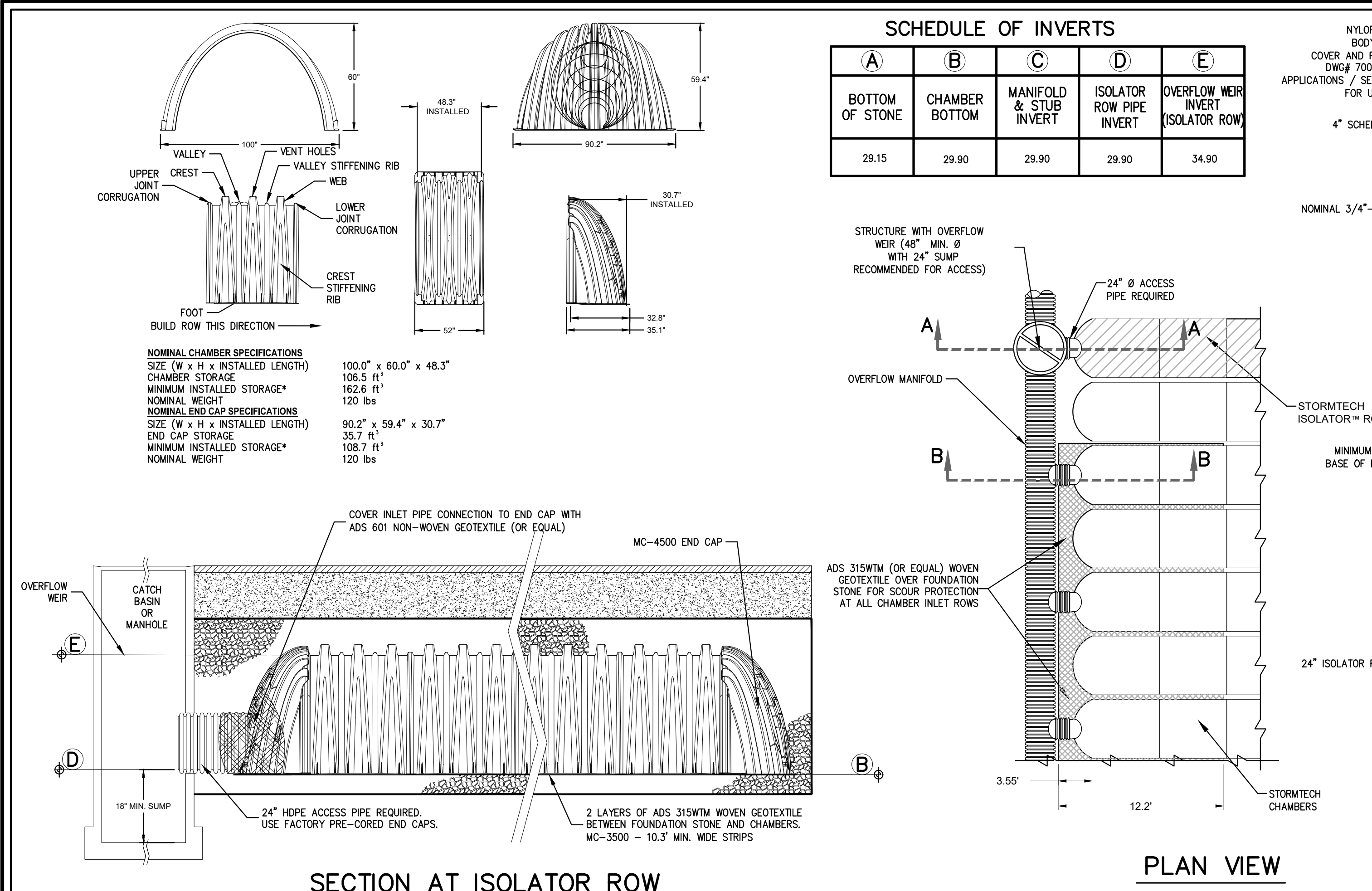
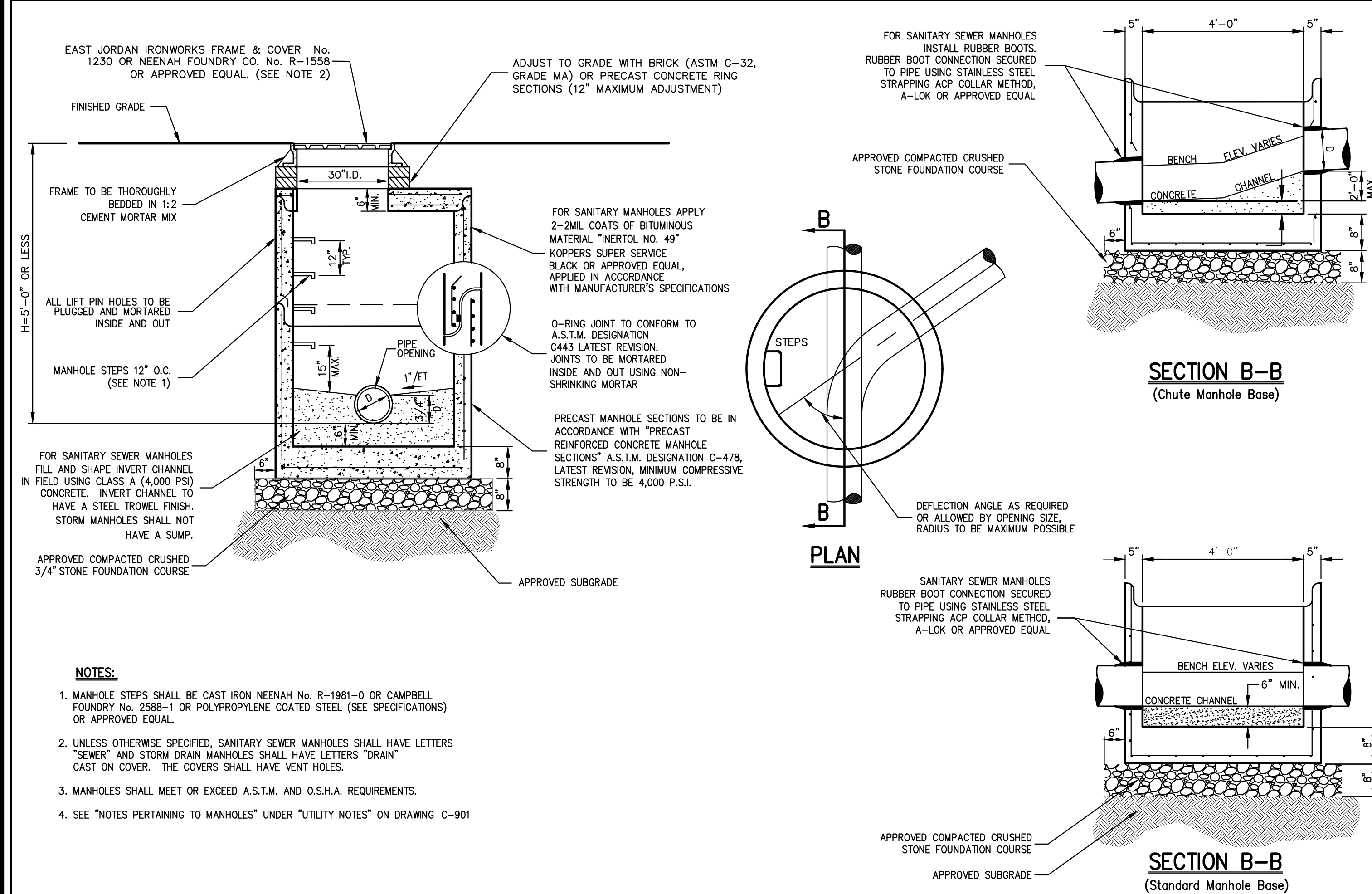
BEACON COMMONS
16 WEST MAIN STREET
BEACON, NY 12508

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Scale:	NOT TO SCALE		
Date:	10/29/2019		
Project No:	18119		
18119-DETAILS	C-900	-	
Drawing No:			

C-900

NOT FOR CONSTRUCTION



Date

Revision

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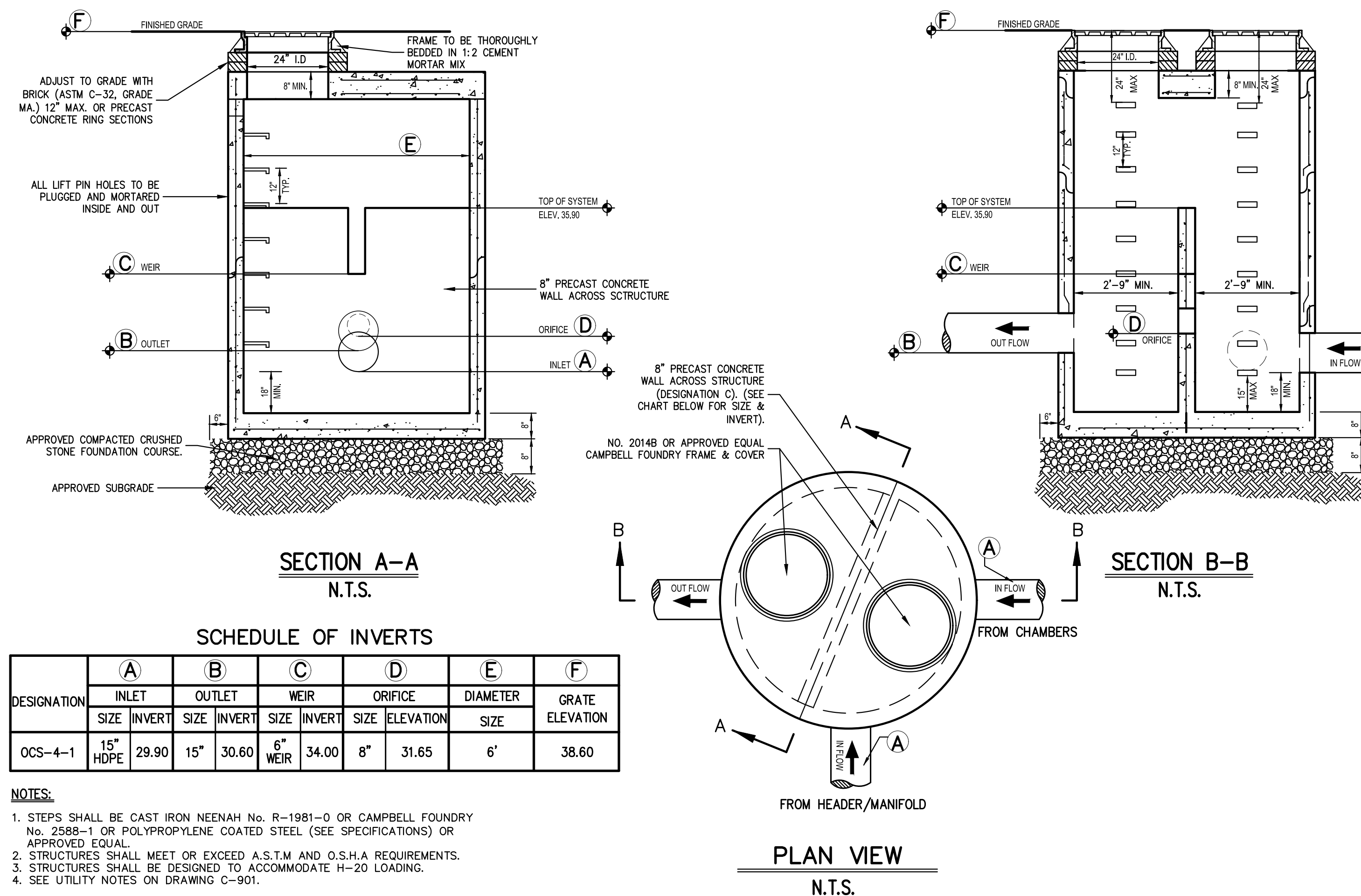
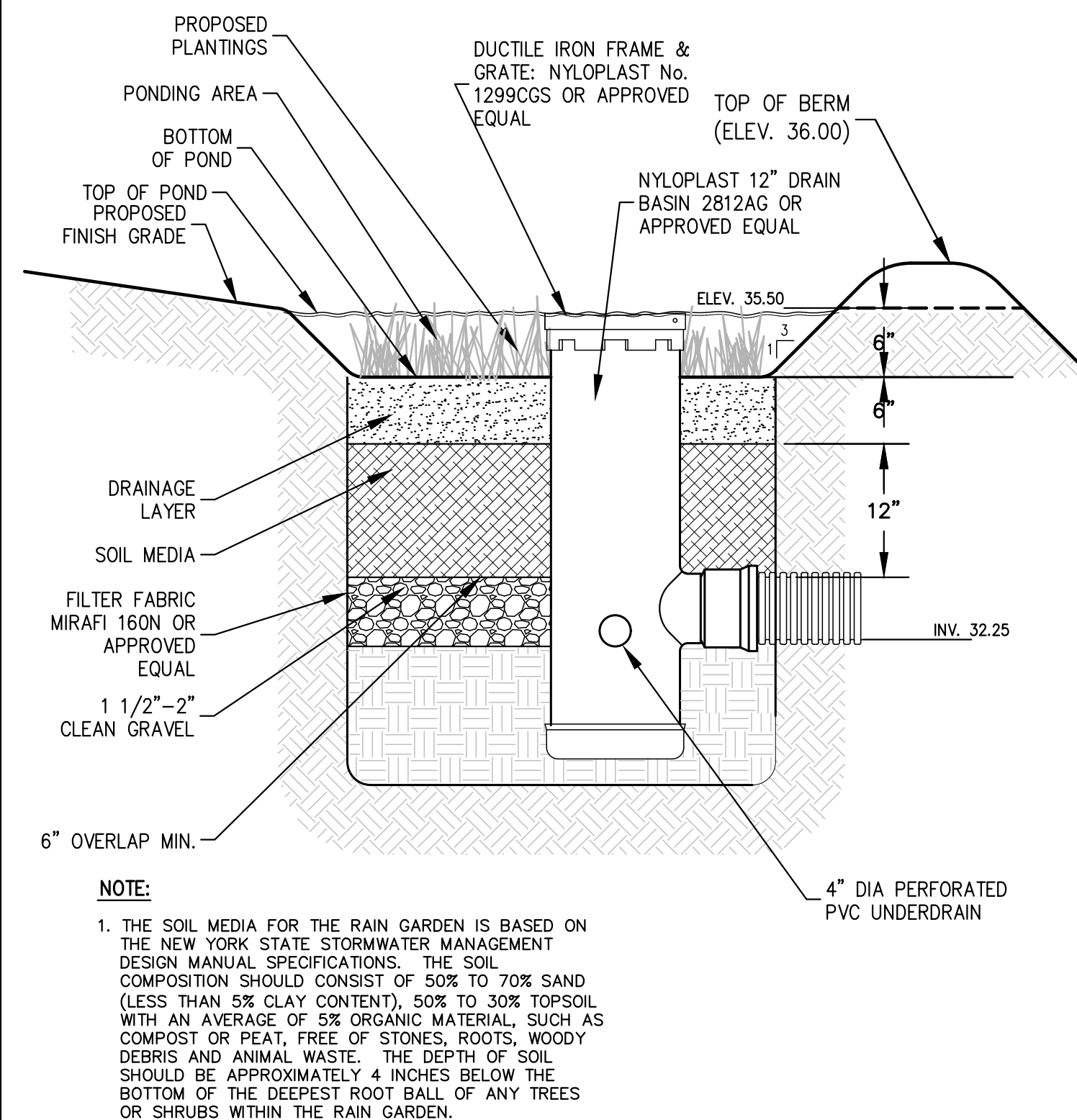
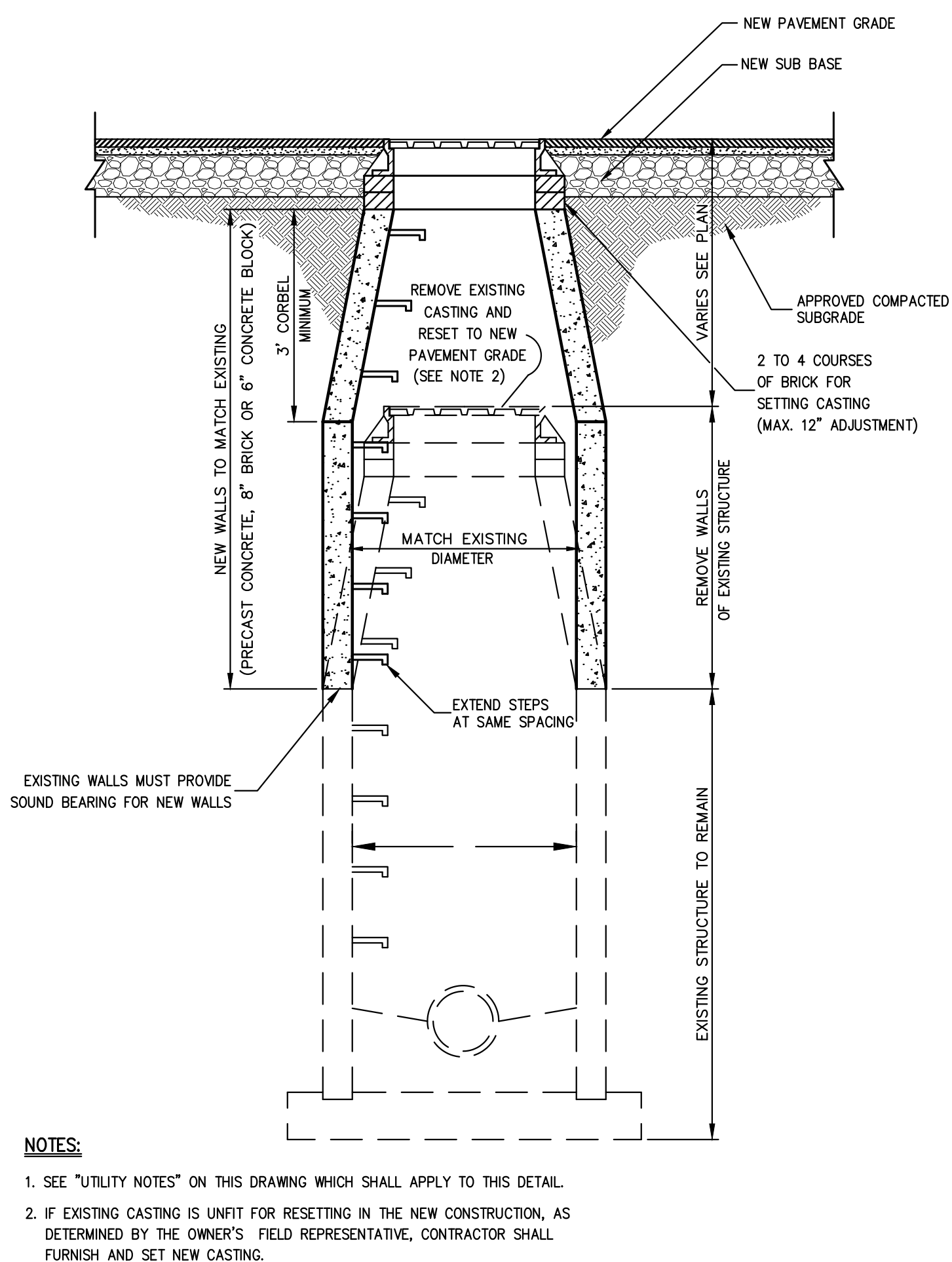
CONSTRUCTION DETAILS

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Drawn: **AH** Approved: **SS**
Scale: **NOT TO SCALE**
Date: **10/29/2019**
Project No: **18119**
1819-ITEMS C-902 -
Drawing No:

C-902




No.	Revision	Date

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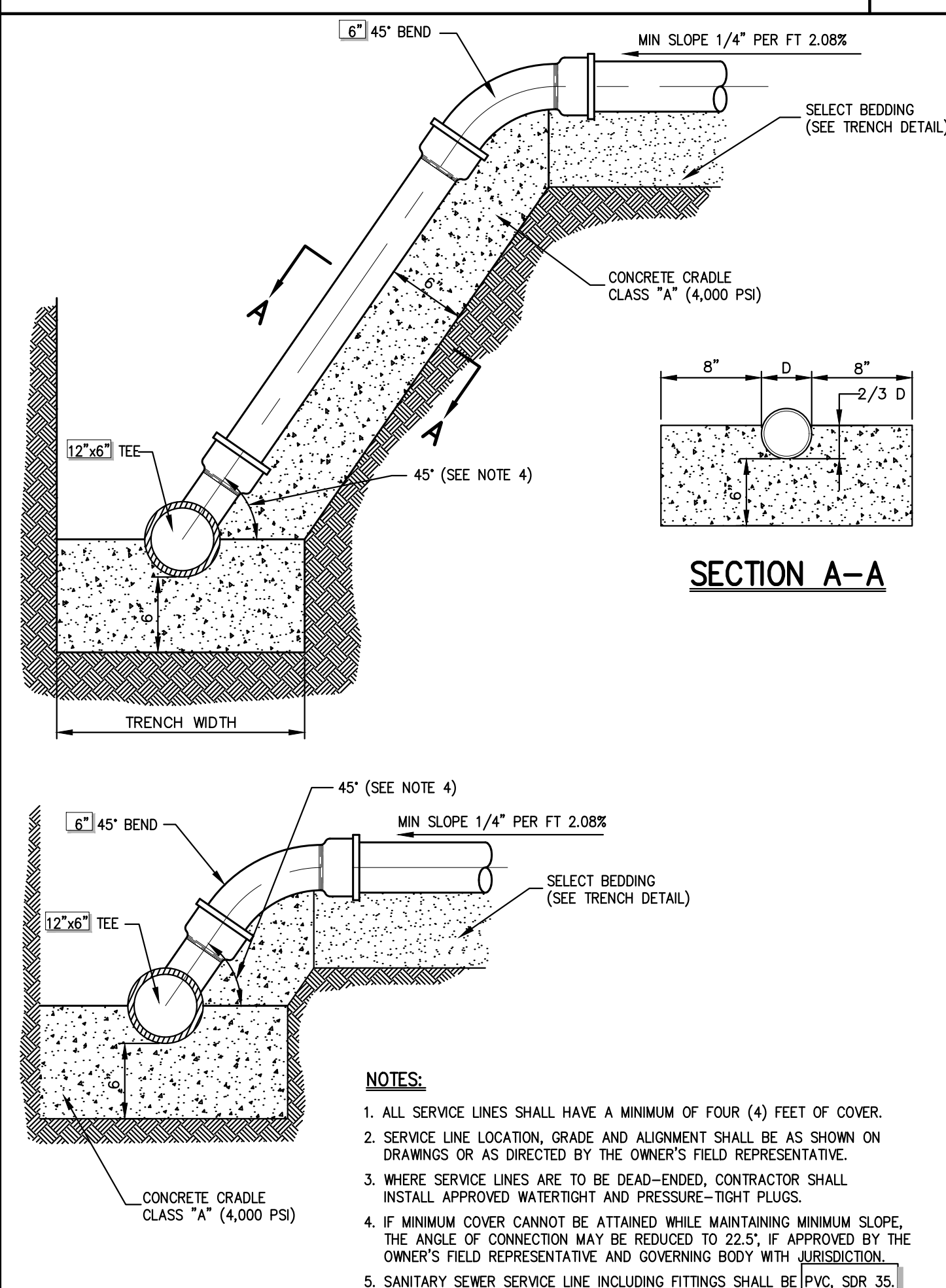
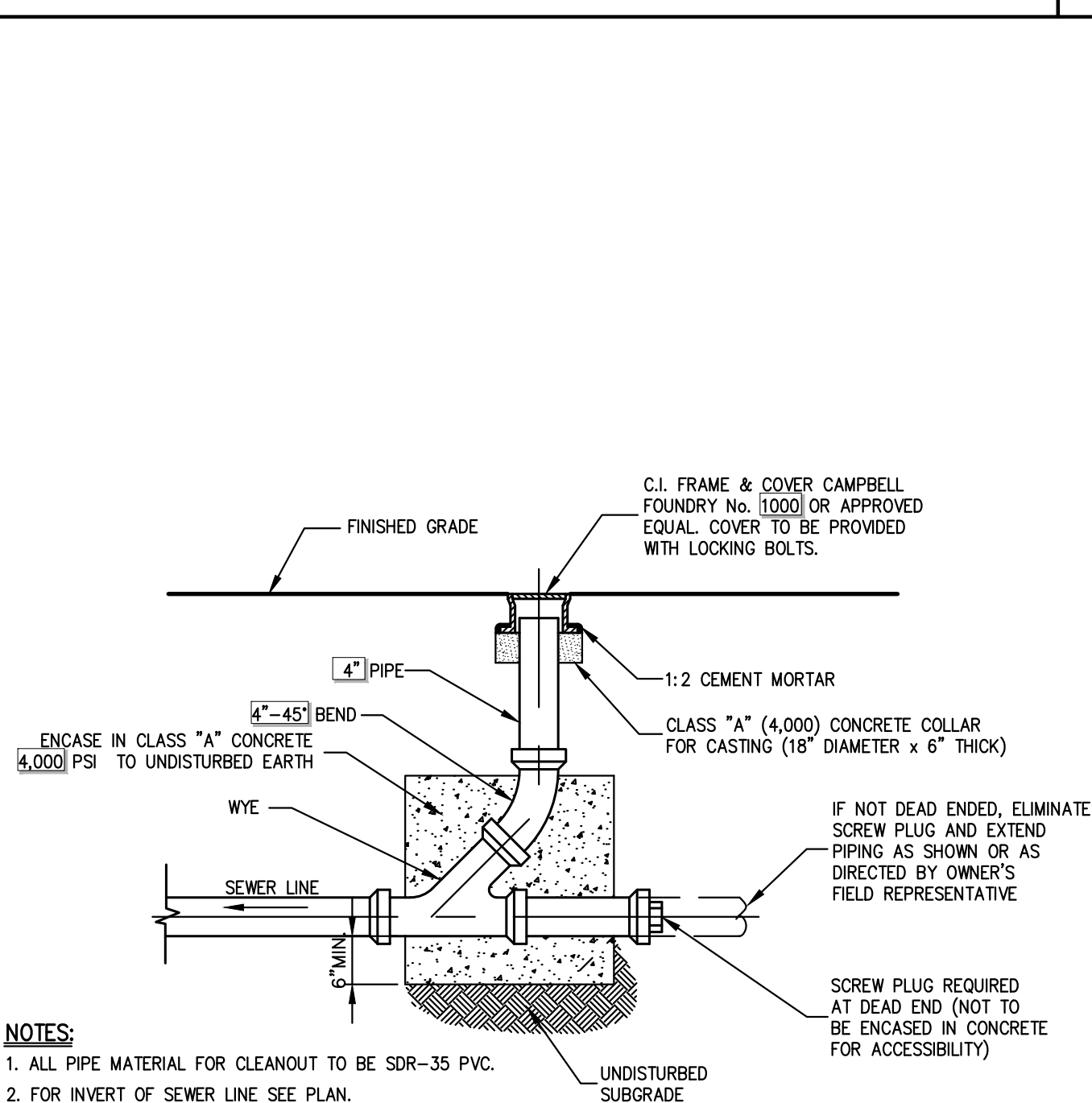
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Scale:	NOT TO SCALE		
Date:	10/29/2019		
Project No:	18119		
18119-DETAILS	C-903	-	
Drawing No:			

EXISTING MANHOLE
RECONSTRUCTED AND RAISED

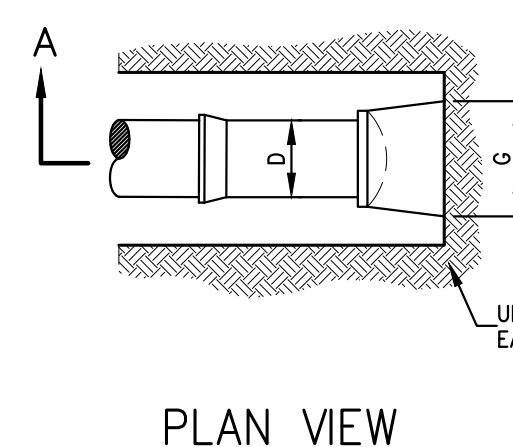
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RAIN GARDEN CROSS SECTION

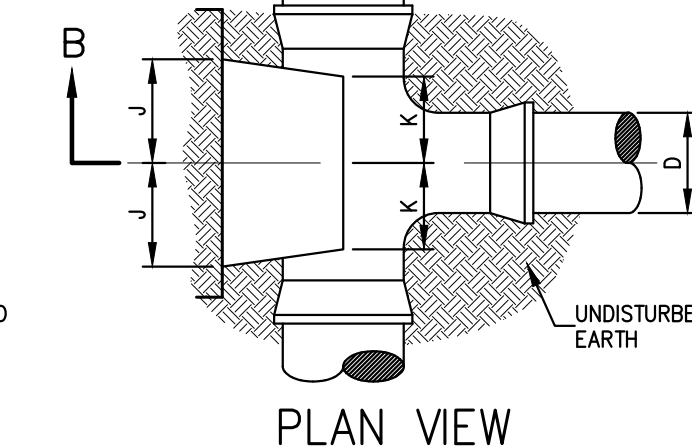
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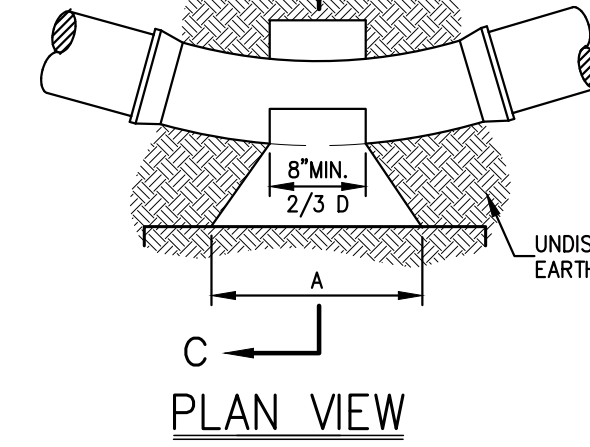
END CAP



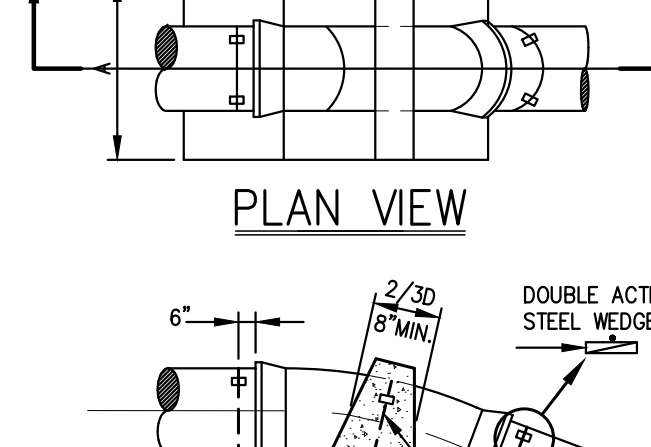
TEE



HORIZONTAL BEND



VERTICAL BEND



END CAP CHART

D	4"	6"	8"	10"	12"
E	6"	6"	8"	8"	10"
F	12"	12"	1'-4"	1'-8"	2'-0"
G	1'-5"	1'-5"	2'-0"	2'-5"	3'-0"

TEE CHART

D	4"	6"	8"	10"	12"
H	6"	7"	9"	10"	12"
L	8"	8"	10"	12"	1'-3"
J	7"	7"	9"	12"	1'-2"

HORIZONTAL BEND CHART

		DIAMETER (D)				
BEND (DEGREES)		4"	6"	8"	10"	12"
1/32 (14)	A	8"	8"	8"	10"	12"
	B	7"	7"	8"	9"	10"
	C	7"	7"	7"	8"	8"
1/16 (22)	A	9"	9"	12"	1'-6"	1'-9"
	B	7"	7"	8"	9"	10"
	C	8"	8"	8"	10"	11"
1/8 (45)	A	1'-3"	1'-3"	1'-8"	2'-1"	2'-6"
	B	7"	7"	8"	9"	11"
	C	8"	8"	9"	10"	11"
1/4 (90)	A	2'-0"	2'-0"	2'-6"	3'-0"	3'-6"
	B	7"	7"	9"	12"	1'-3"
	C	2'-0"	2'-0"	1'-9"	1'-8"	1'-7"

VERTICAL BEND CHART

		DIAMETER (D)					
		4"	6"	8"	10"	12"	16"
1/32 (14)	A	1'-6"	1'-6"	2'-0"	2'-6"	3'-0"	3'-6"
	B	1'-3"	1'-3"	1'-9"	1'-3"	2'-0"	2'-0"
	C	2'-0"	2'-0"	2'-6"	2'-9"	3'-0"	4'-0"
1/16 (22)	A	2'-0"	2'-0"	3'-4"	3'-8"	4'-0"	4'-4"
	B	1'-9"	1'-9"	2'-3"	2'-6"	2'-6"	2'-8"
	C	2'-6"	2'-6"	2'-8"	4'-0"	4'-0"	5'-6"
1/8 (45)	A	2'-6"	2'-6"	3'-0"	4'-0"	4'-0"	5'-2"
	B	2'-6"	2'-6"	2'-9"	3'-0"	3'-6"	4'-0"
	C	3'-0"	3'-0"	4'-0"	4'-6"	4'-9"	6'-8"

CLEANOUT W/O MANHOLE

22

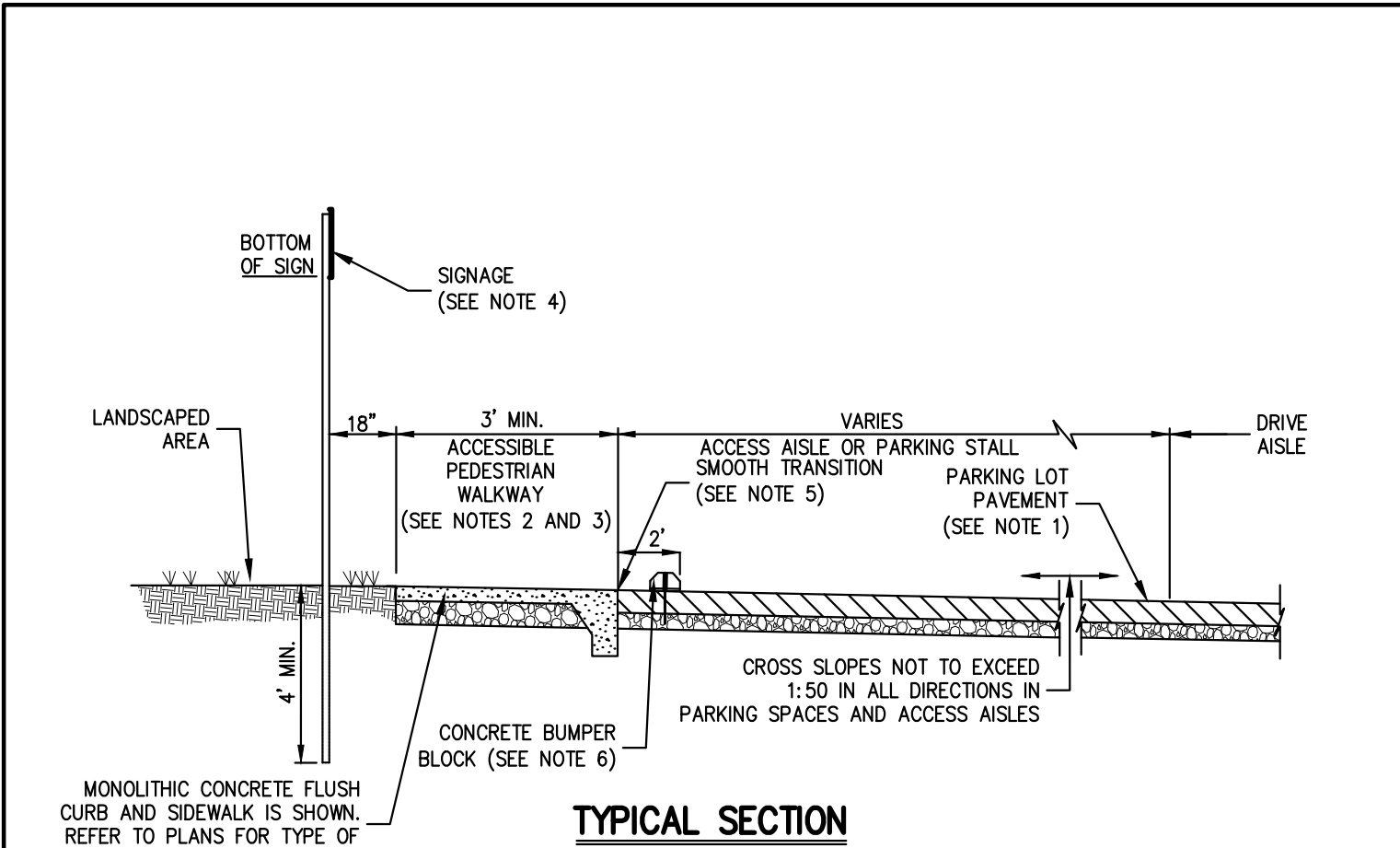
SANITARY SEWER SERVICE CONNECTION

23

ANCHOR AND THRUST BLOCKS

24

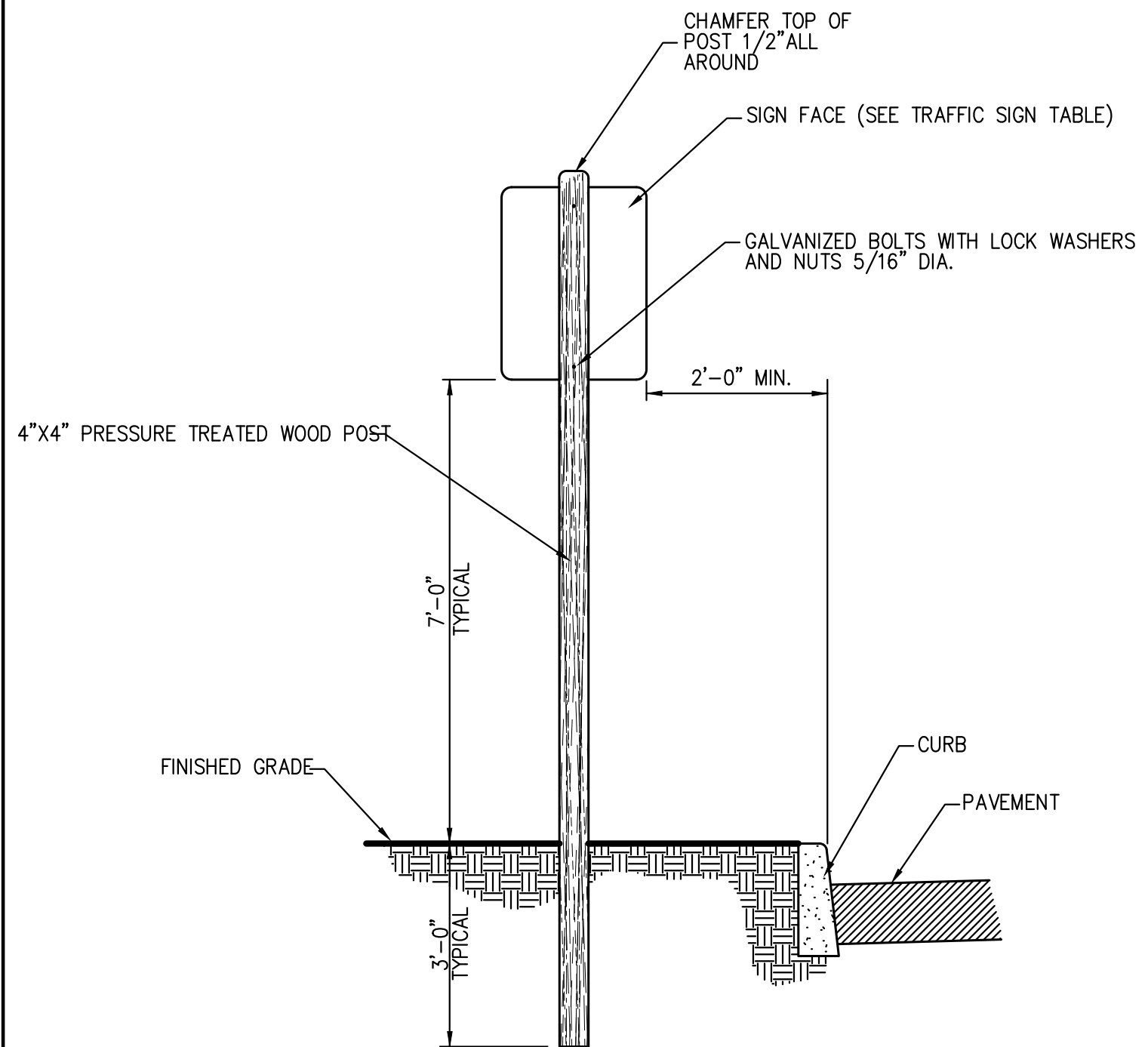
Drawing No:
C-90.3



- NOTES:**
1. THIS SHEET IS INTENDED TO DEPICT THE DIMENSIONAL REQUIREMENTS OF TYPICAL ACCESSIBLE PARKING SPACES, THE SIDEWALK, CURBING, AND PAVEMENT MATERIAL SHALL BE AS SPECIFIED ELSEWHERE IN THE CONTRACT DOCUMENTS.
 2. LOCATION - PARKING SPACES FOR USE BY PERSONS WITH DISABILITIES SHALL BE IN THE SPACES CLOSEST TO THE NEAREST ACCESSIBLE BUILDING OR FACILITY ENTRANCE ON AN ACCESSIBLE ROUTE.
 3. SURFACE SLOPES - SLOPES AT ACCESSIBLE PARKING SPACES, ACCESS AISLES, AND ADJOINING WALKWAYS SHALL NOT EXCEED 1:50 IN ANY DIRECTION.
 4. SIGNAGE - EACH ACCESSIBLE PARKING SPACE SHALL BE MARKED BY PERMANENTLY INSTALLED ABOVE GROUND SIGNS WHICH DISPLAY THE INTERNATIONAL SYMBOL OF ACCESS. EACH ACCESS AISLE SHALL BE MARKED BY PERMANENTLY INSTALLED ABOVE GROUND SIGNS INDICATING THAT PARKING IS NOT PERMITTED IN THE AISLE. SIGNS SHALL NOT BLOCK THE ACCESSIBLE CLEAR WIDTH OF ADJACENT WALKWAYS, SIGNS LOCATED WHERE THEY MAY BE HIT BY VEHICLES BEING PARKED SHALL BE INSTALLED AS SHOWN IN THE PROTECTION POST BASE DETAIL. THE BOTTOMS OF THE SIGNS LOCATED ON POST INSTALLED IN PAVED AREAS SHALL BE AT LEAST 7" ABOVE THE WALKWAY SURFACE. THE BOTTOMS OF SIGNS LOCATED IN UNPAVED AREAS SHALL BE 7" ABOVE THE ADJACENT PAVEMENT SURFACE.
 5. A SMOOTH, FLUSH TRANSITION MUST BE PROVIDED BETWEEN ALL PEDESTRIAN WALKWAYS AND THE ACCESSIBLE PARKING SPACES AND AISLES.
 6. VEHICLE SIDE FACE OF CONCRETE BUMPER BLOCKS SHALL BE SET 2' BACK FROM EDGE OF PARKING STALL. CONCRETE BLOCKS SHALL NOT BE INSTALLED WITHIN ACCESS AISLES.

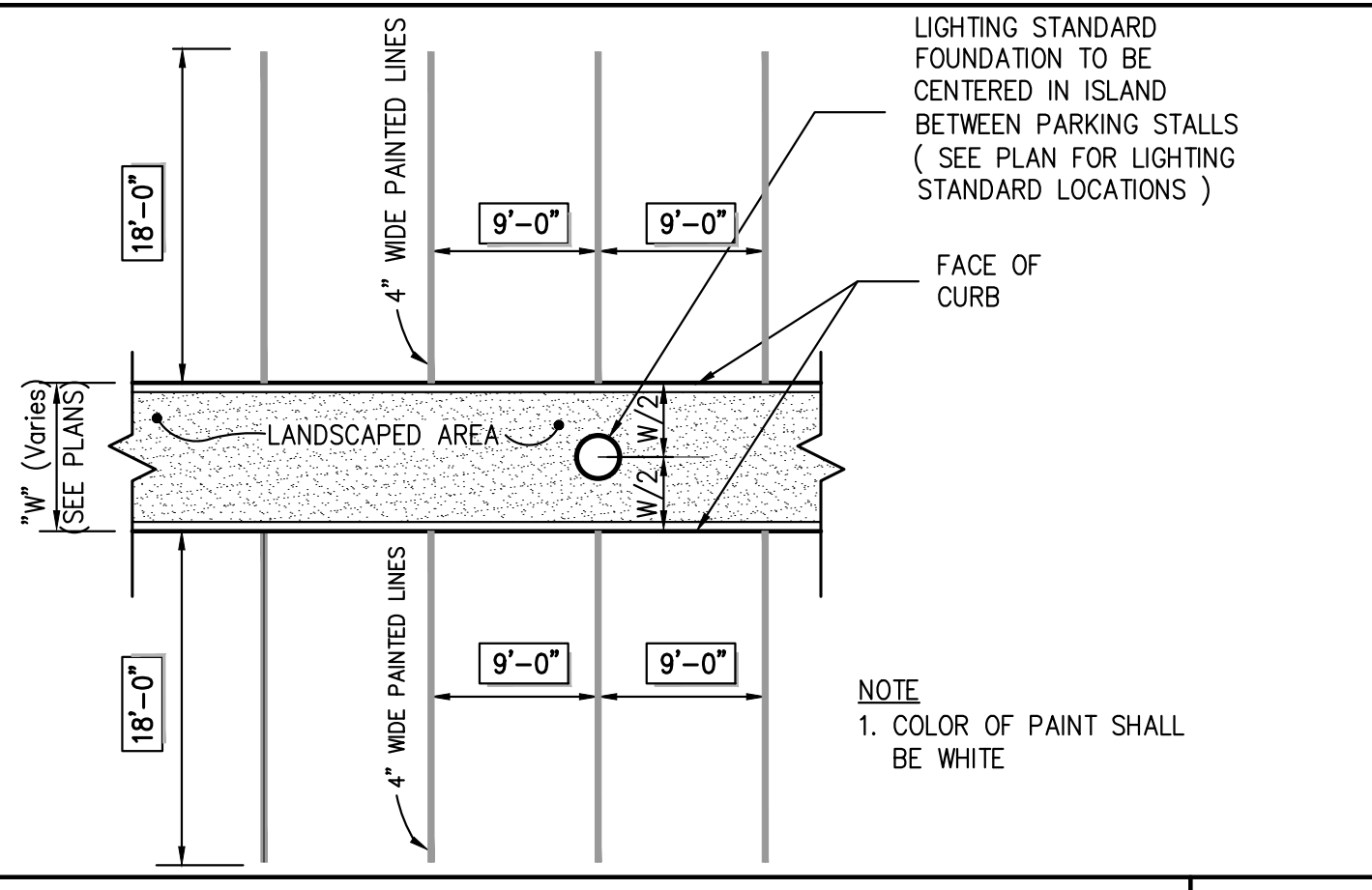
TYPICAL ACCESSIBLE PARKING STALL AND AISLE (TYPE B)

35



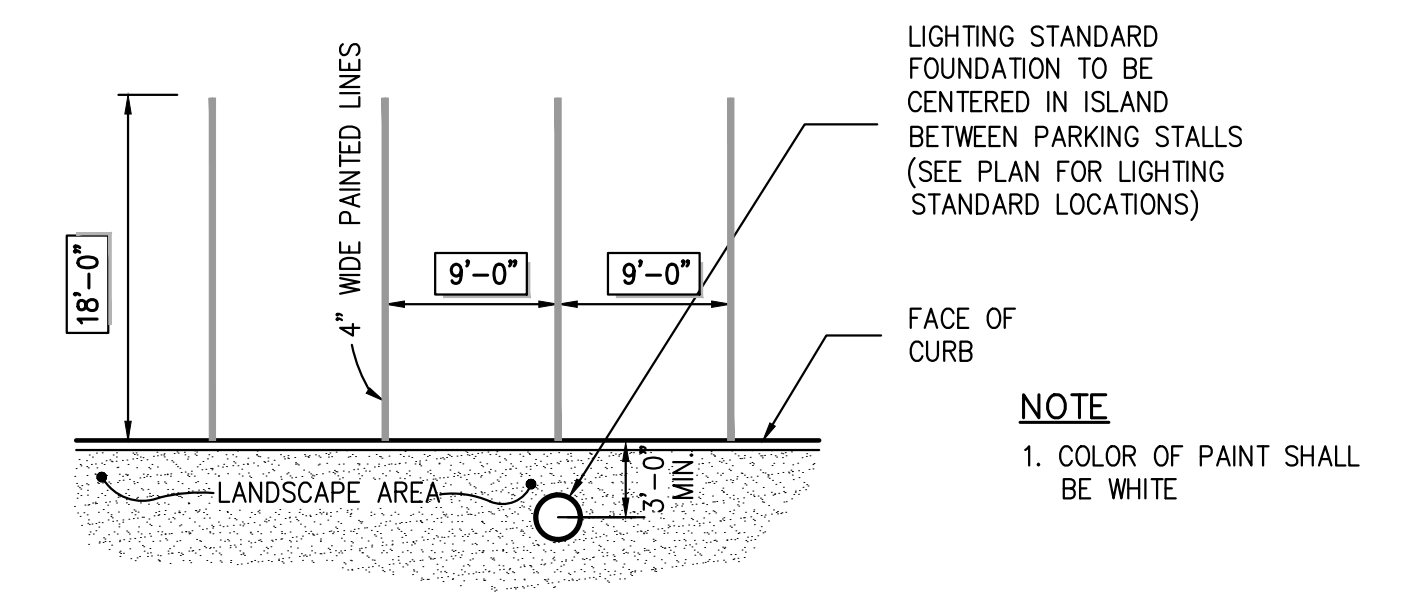
TRAFFIC SIGN POST (WOOD)

40



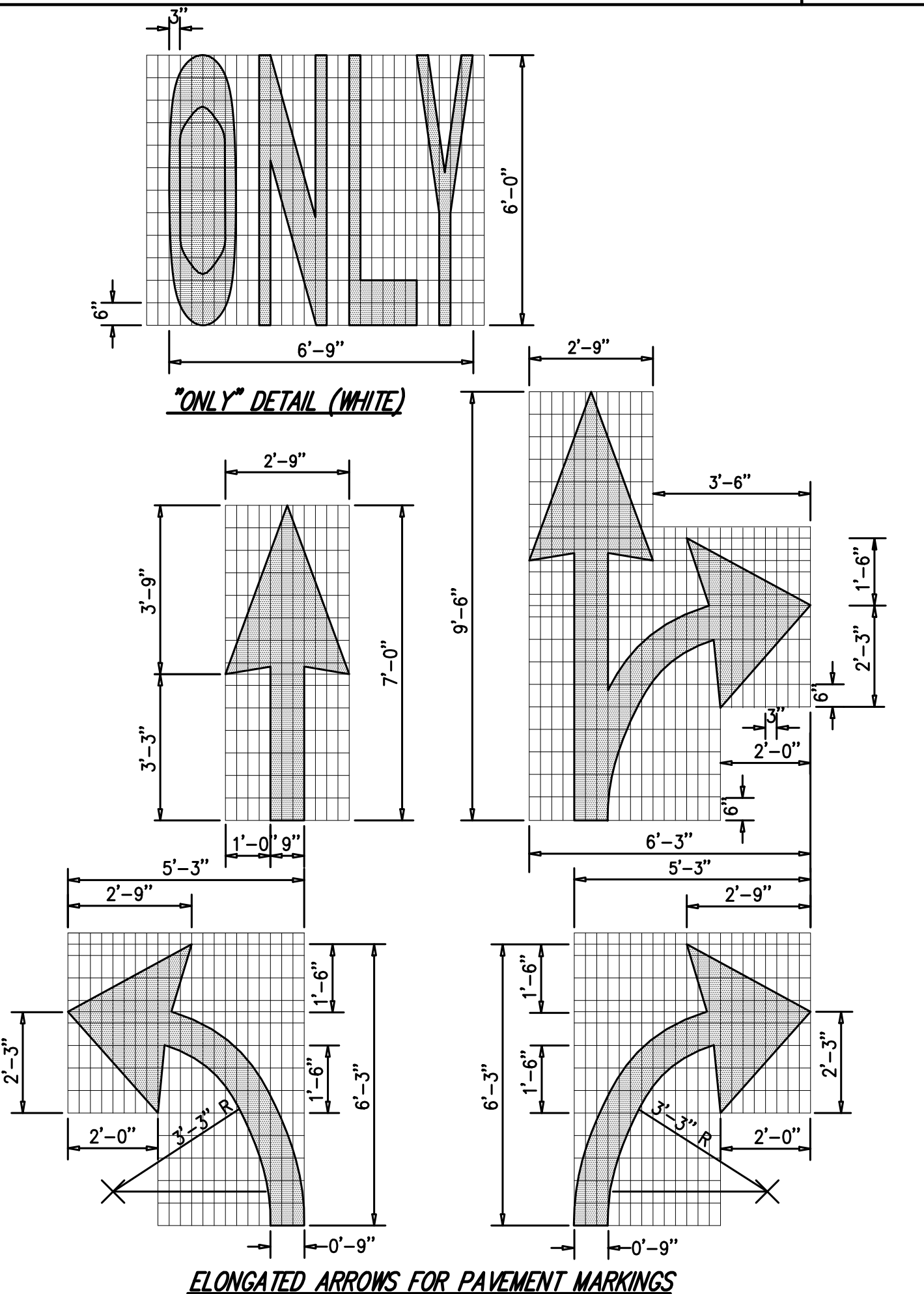
90° PARKING (SINGLE STRIPING - CURBED ISLAND)

36



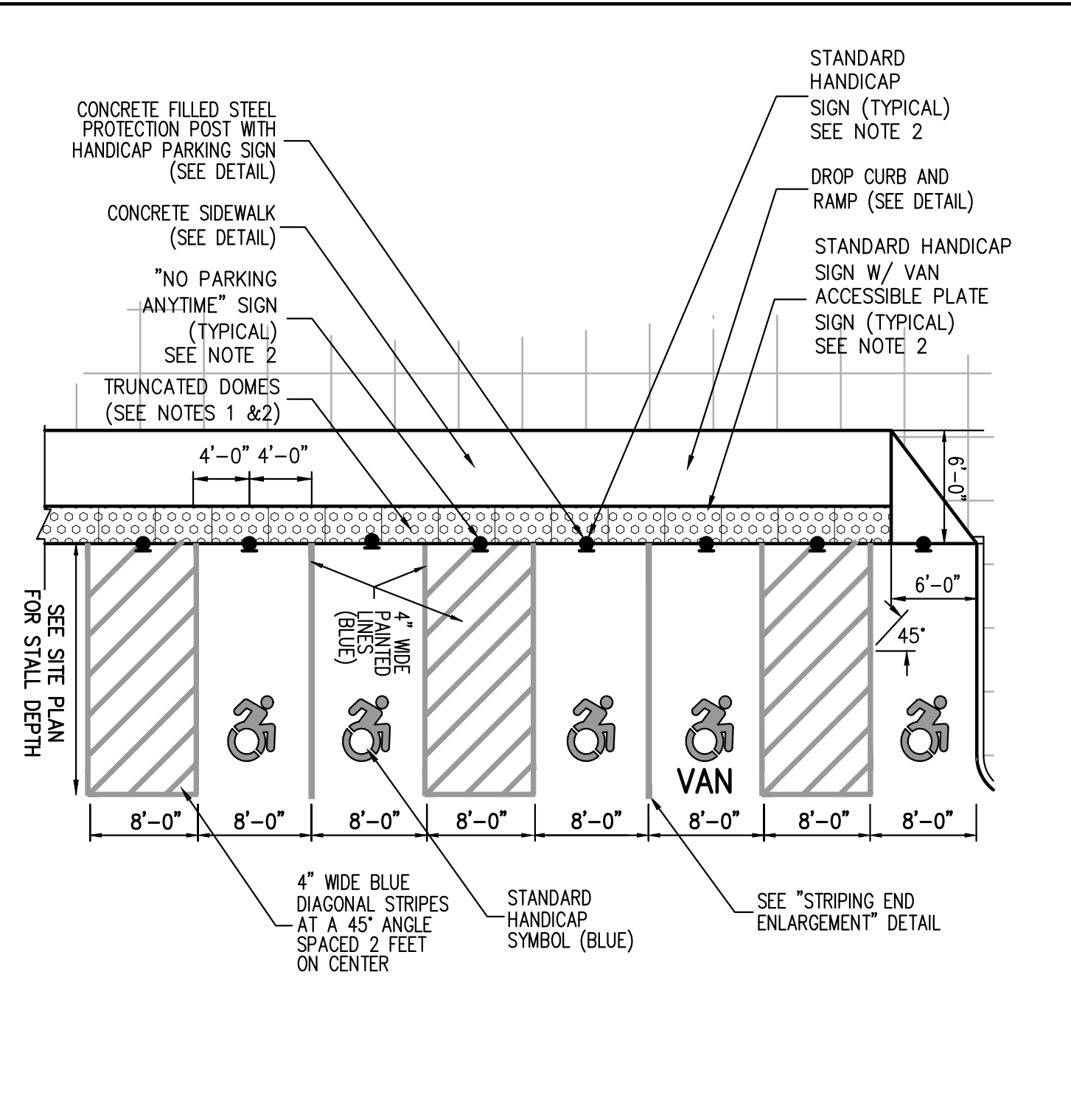
90° PARKING (SINGLE STRIPING - CURBED PERIMETER)

37



PAVEMENT TEXT & ARROWS (ON-SITE)

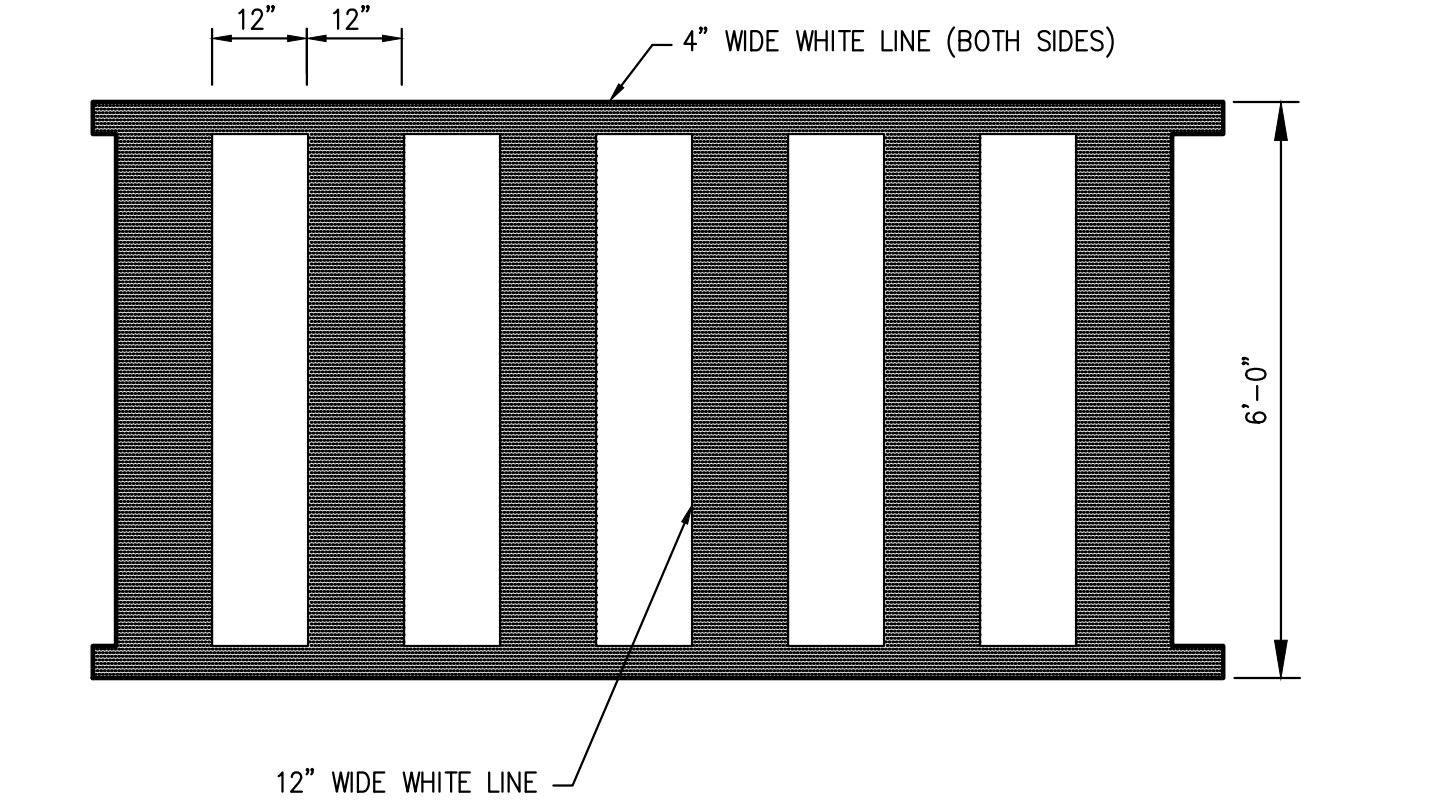
41



HANDICAP PARKING (SINGLE STRIPING - CURBLELINE ALIGNMENT - W/SIDEWALK (NEW YORK))

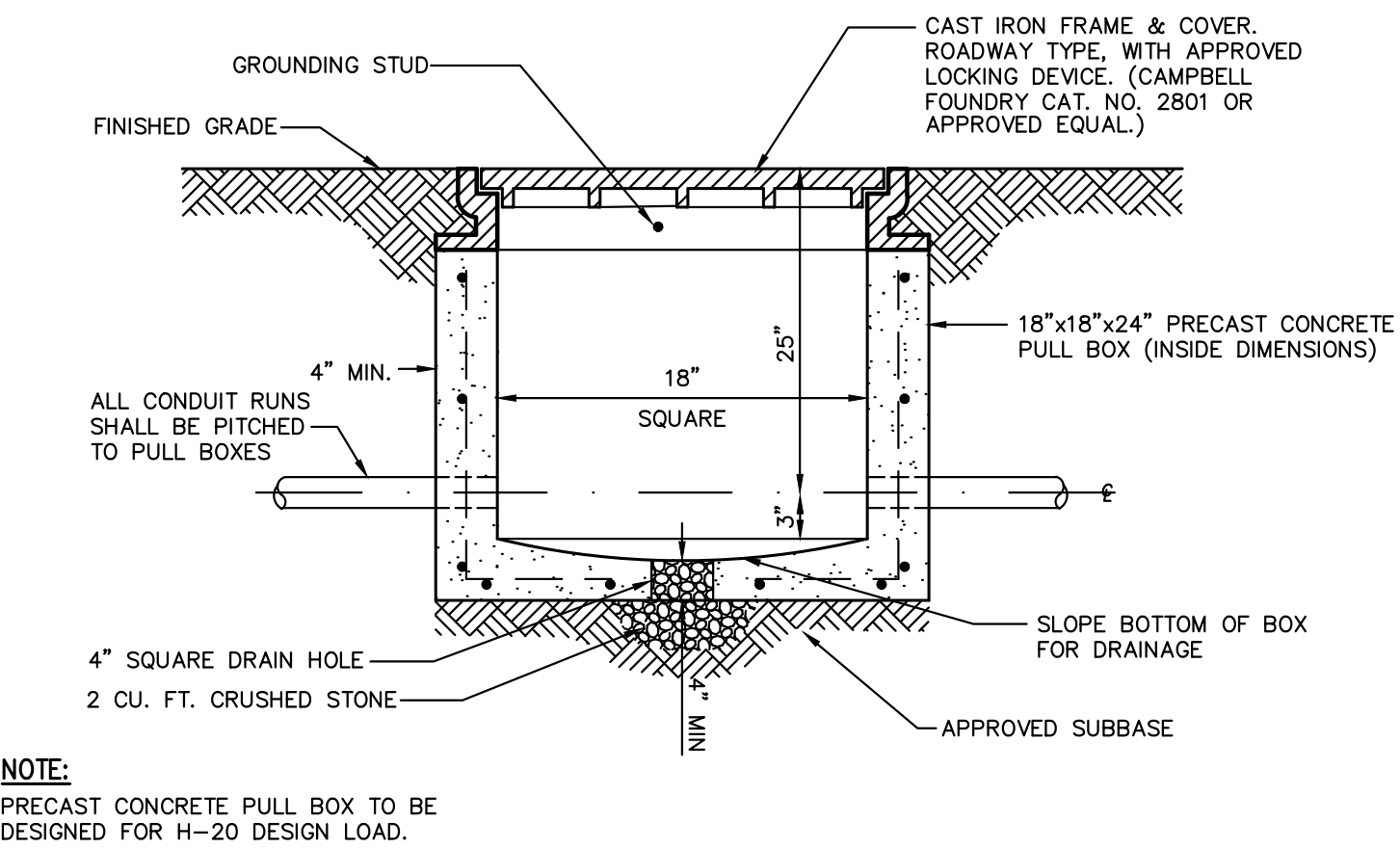
38

- NOTES:**
1. RAMPS AND SIDE RAMPS SHALL HAVE DETECTABLE WARNINGS CONSISTING OF RAISED TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.9 INCHES, A HEIGHT OF NOMINAL 0.2 INCHES AND A CENTER TO CENTER SPACING OF NOMINAL 2.35 INCHES.
 2. THEY SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT IN ACCORDANCE WITH SECTION 4.29.2, FEDERAL REGISTER, VOLUME 56, NO. 144, RULES AND REGULATIONS, APPENDIX A TO PART 36 - STANDARDS FOR ACCESSIBLE DESIGN (AMERICANS WITH DISABILITIES ACT), DATED JULY 26, 1991 AND SUBSEQUENT REVISIONS.
 3. SLOPES IN HANDICAP PARKING AREAS SHALL NOT EXCEED 1.5%.
 4. SEE SITE PLANS/SIGN TABLE FOR SIGN DESIGNATIONS, LOCATIONS AND SPECIFICATIONS.



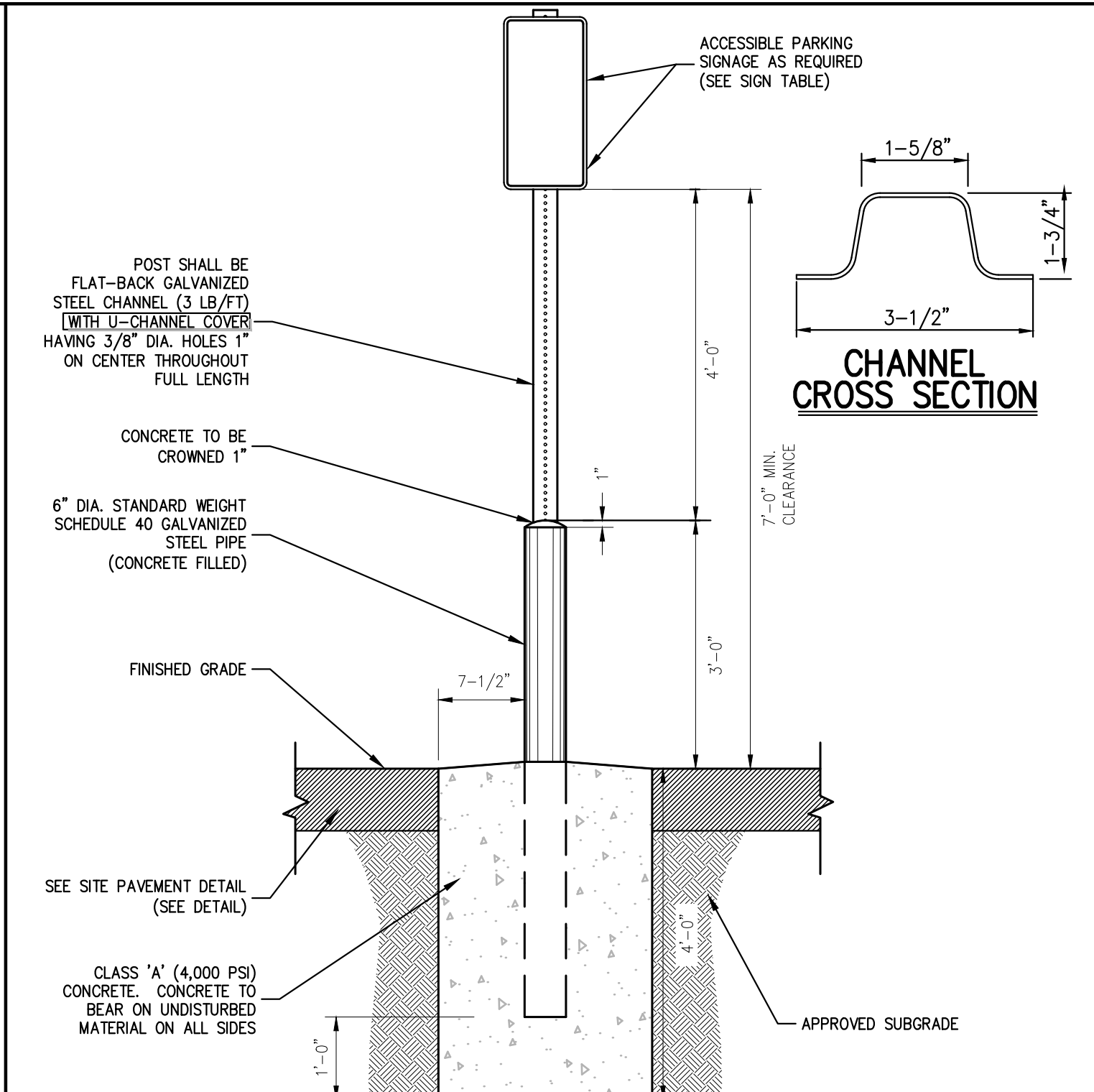
PEDESTRIAN CROSSING

42



ELECTRICAL PULL BOX

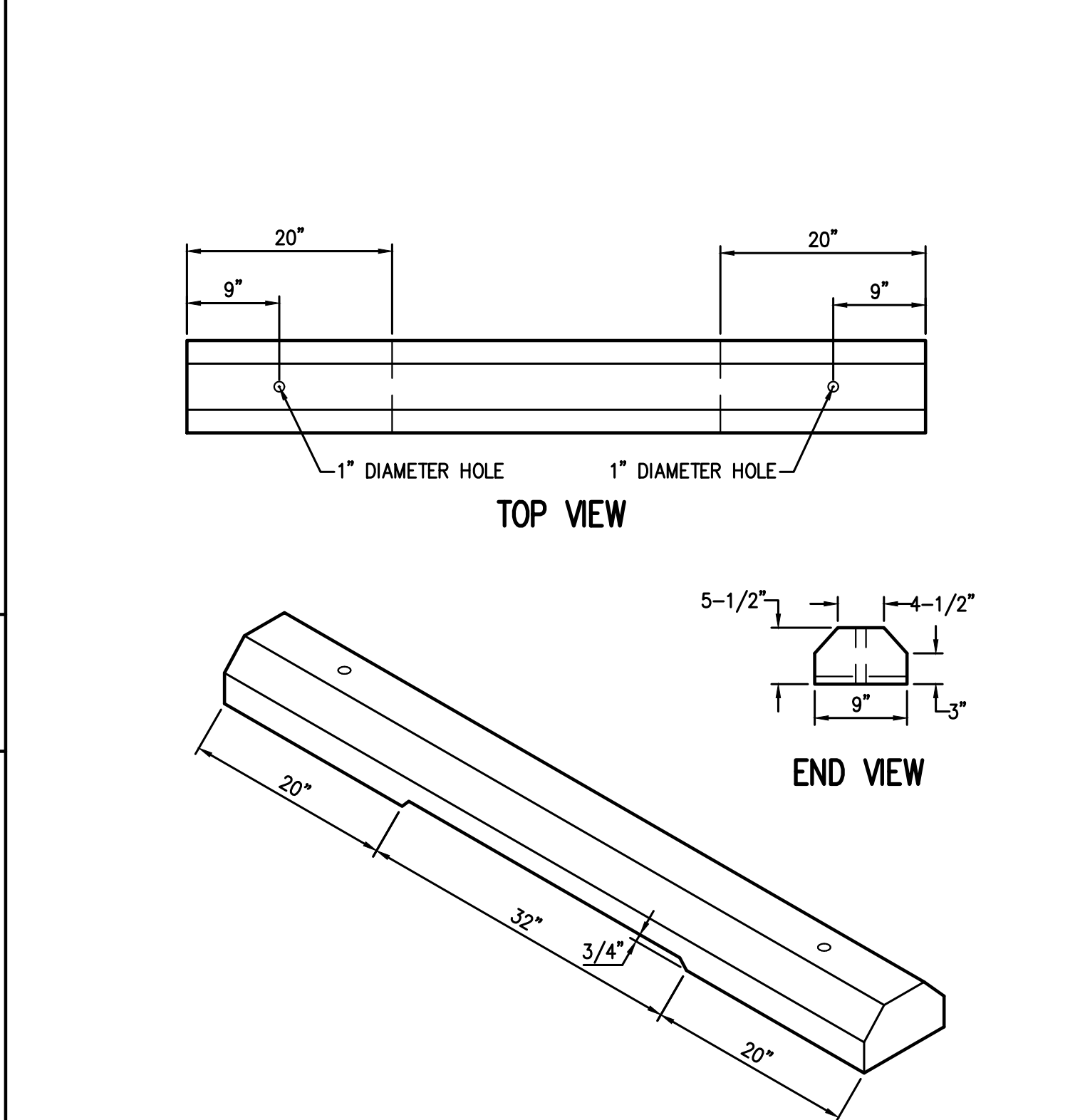
43



- NOTES:**
1. GALVANIZED STEEL CHANNEL SHALL BE EMBEDDED A MIN. OF 3 FT. INTO THE CONCRETE.
 2. POSTS FOR HANDICAP PARKING STALLS AND ACCESS AISLES SHALL BE PAINTED BLUE AS FOLLOWS:
 - A. SOLVENT CLEAN TO REMOVE OIL, GREASE AND OTHER CONTAMINANTS.
 - B. APPLY METAL PRIMER FOR GALVANIZED SURFACES.
 - C. APPLY TWO (2) FINISH COATS OF APPROVED EXTERIOR PAINT FOR METAL SURFACES.
 3. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE INSTALLATION OF THE PARKING SIGNS, BOLLARDS AND FOUNDATIONS WITH THE DESIGN AND INSTALLATION OF THE SITE SIDEWALKS, CURBING, PAVEMENT AND ANY OTHER SITE FEATURES SHOWN ON THE PLANS.
 4. FASTEN SIGN TO POSTS WITH GALVANIZED STEEL BOLTS, LOCK WASHERS, AND NUTS (5/16" DIA.)
 5. U-CHANNEL COVERS FOR POSTS SHALL BE BLUE WITH WHITE STRIPE FOR HANDICAP PARKING STALLS AND HANDICAP ACCESS AISLES.

ACCESSIBLE PARKING SIGN DETAIL

39



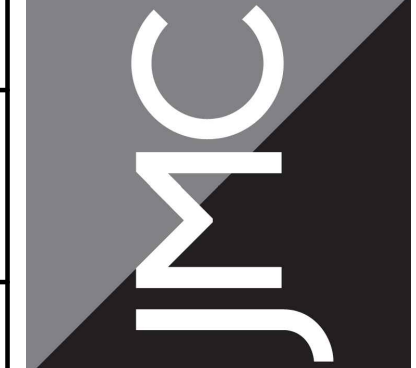
- NOTES:**
1. CONCRETE MINIMUM STRENGTH-4,000 PSI AT 28 DAYS
 2. REINFORCEMENT-#4 REBAR

CONCRETE BUMPER BLOCK

44

Date	
Revision	
No.	

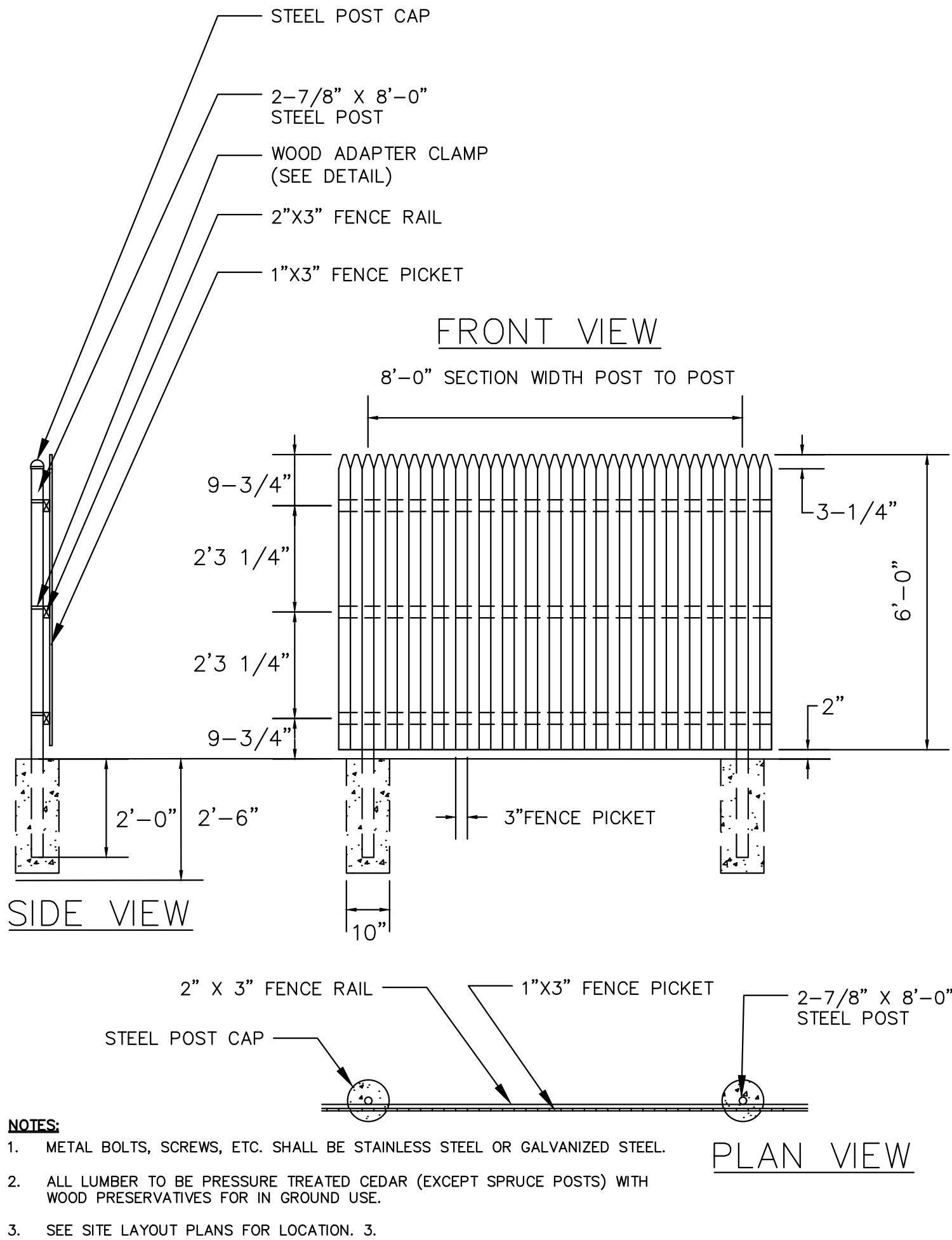
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CONSTRUCTION DETAILS
BEACON COMMONS
16 WEST MAIN STREET
BEACON, NY 12508

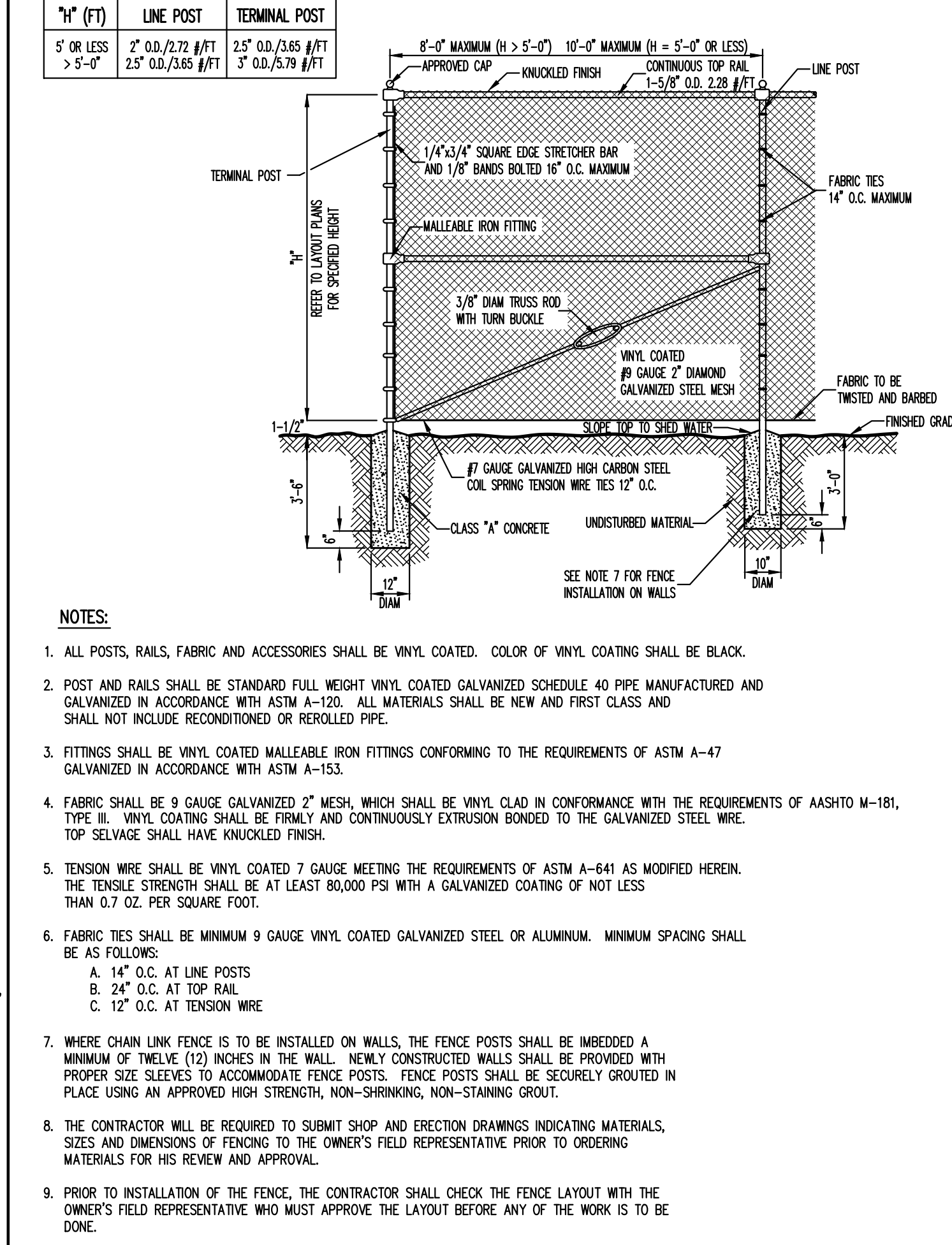
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Project No:	18119		
18119-ITEMS	C-905		
Drawing No:	C-905		



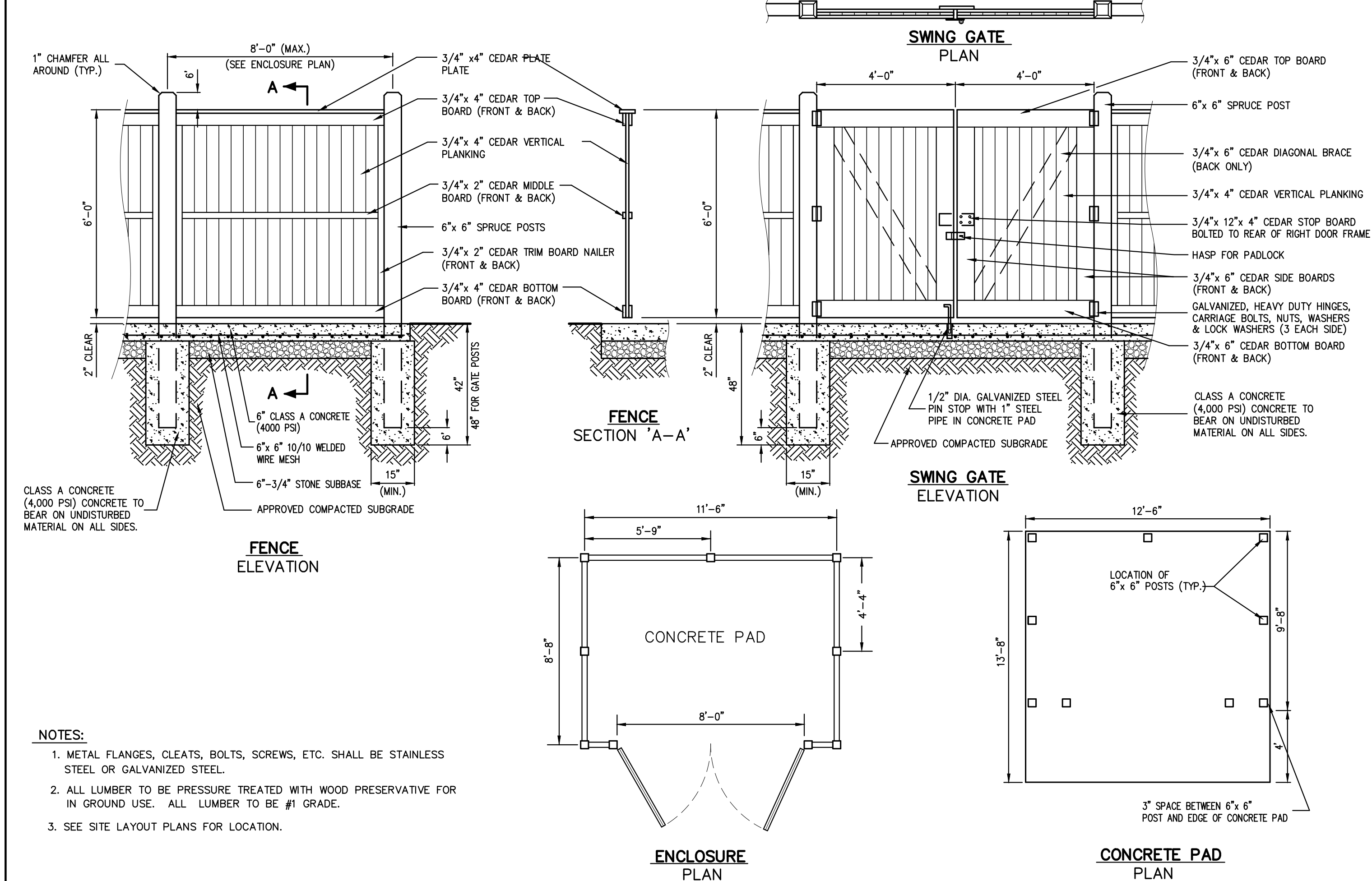
STOCKADE FENCE

45



CHAIN LINK SAFETY FENCE ON TOP OF RETAINING WALL

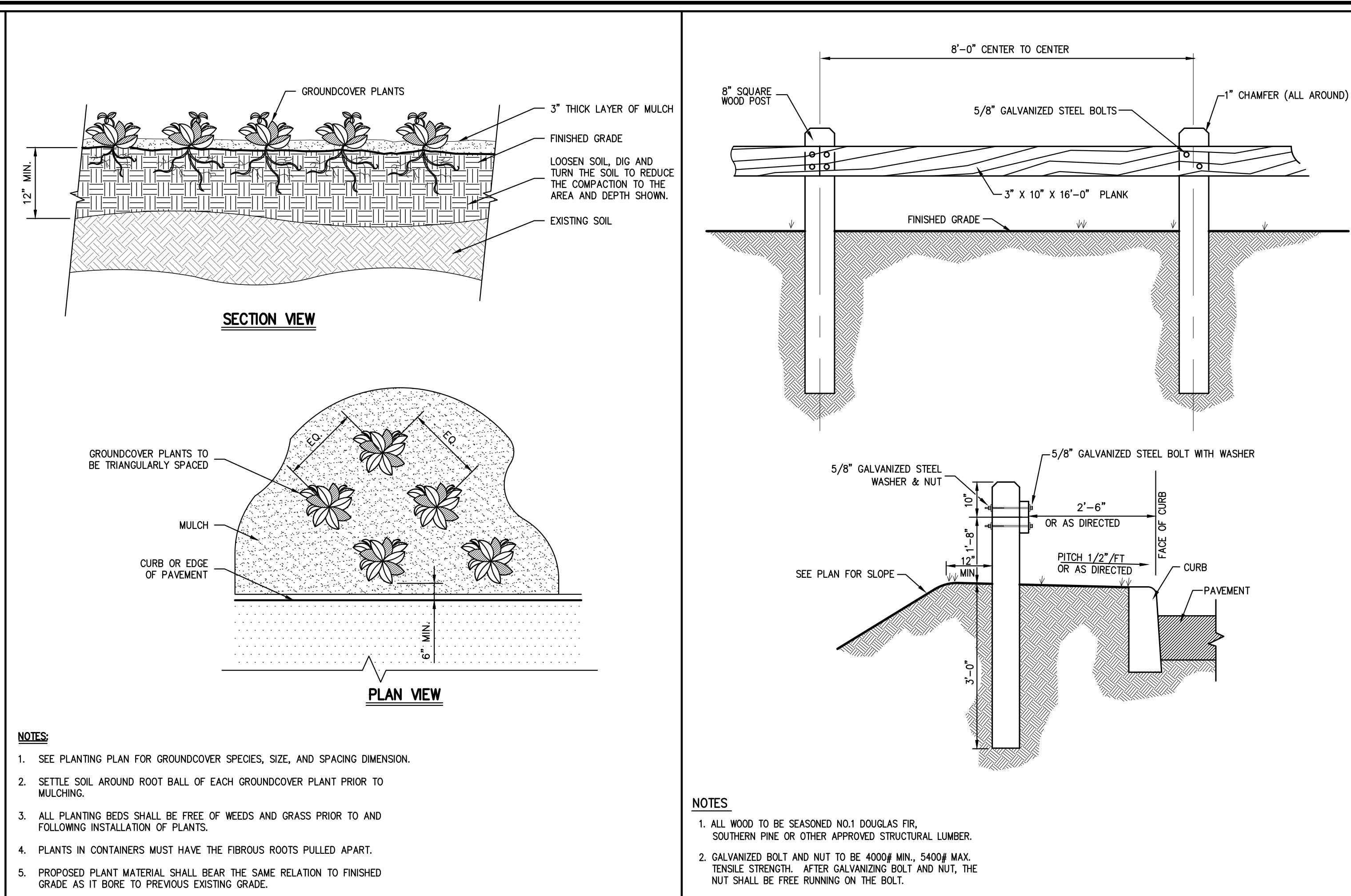
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TRASH ENCLOSURE WITH CONCRETE PAD

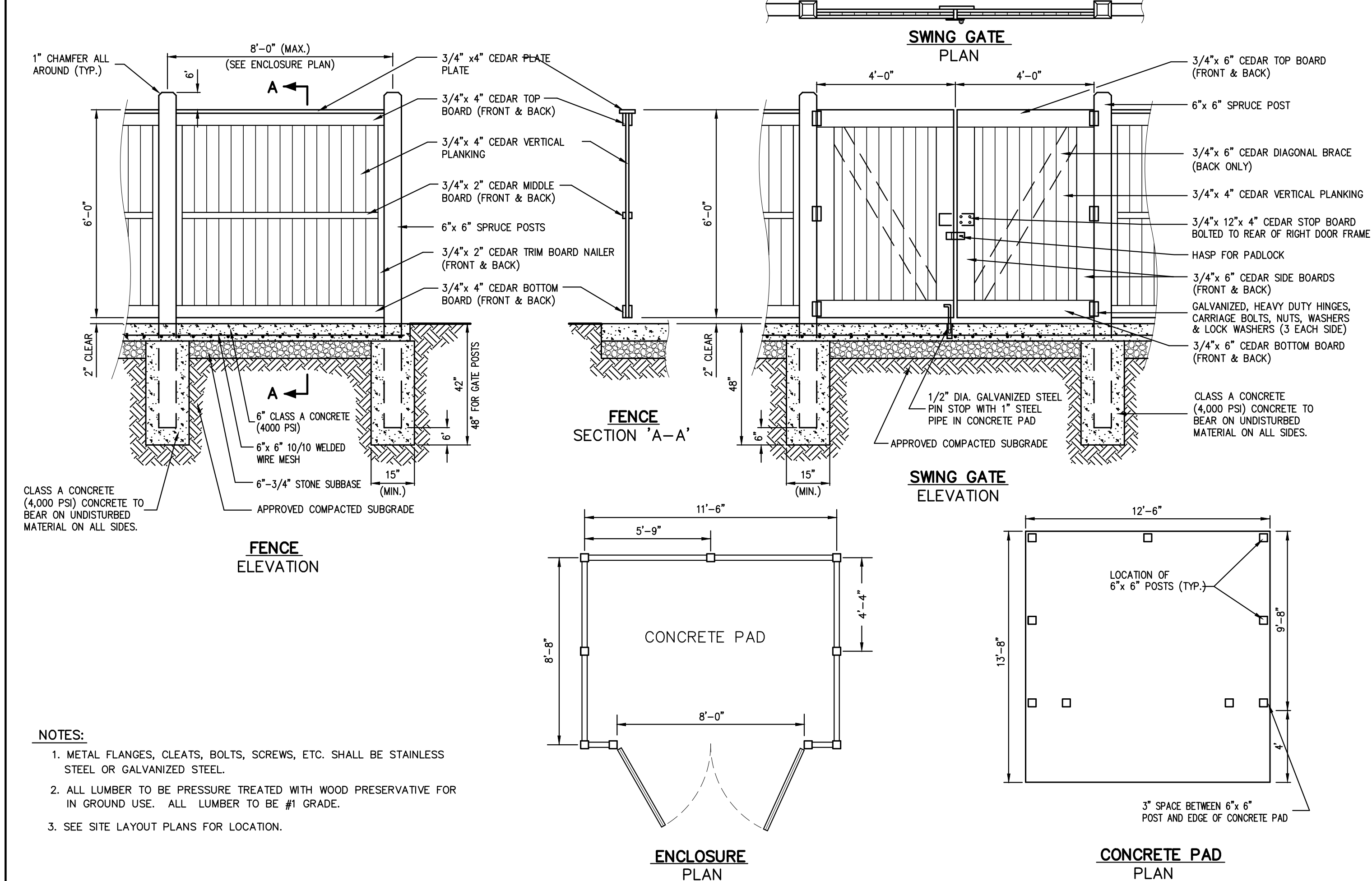
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47



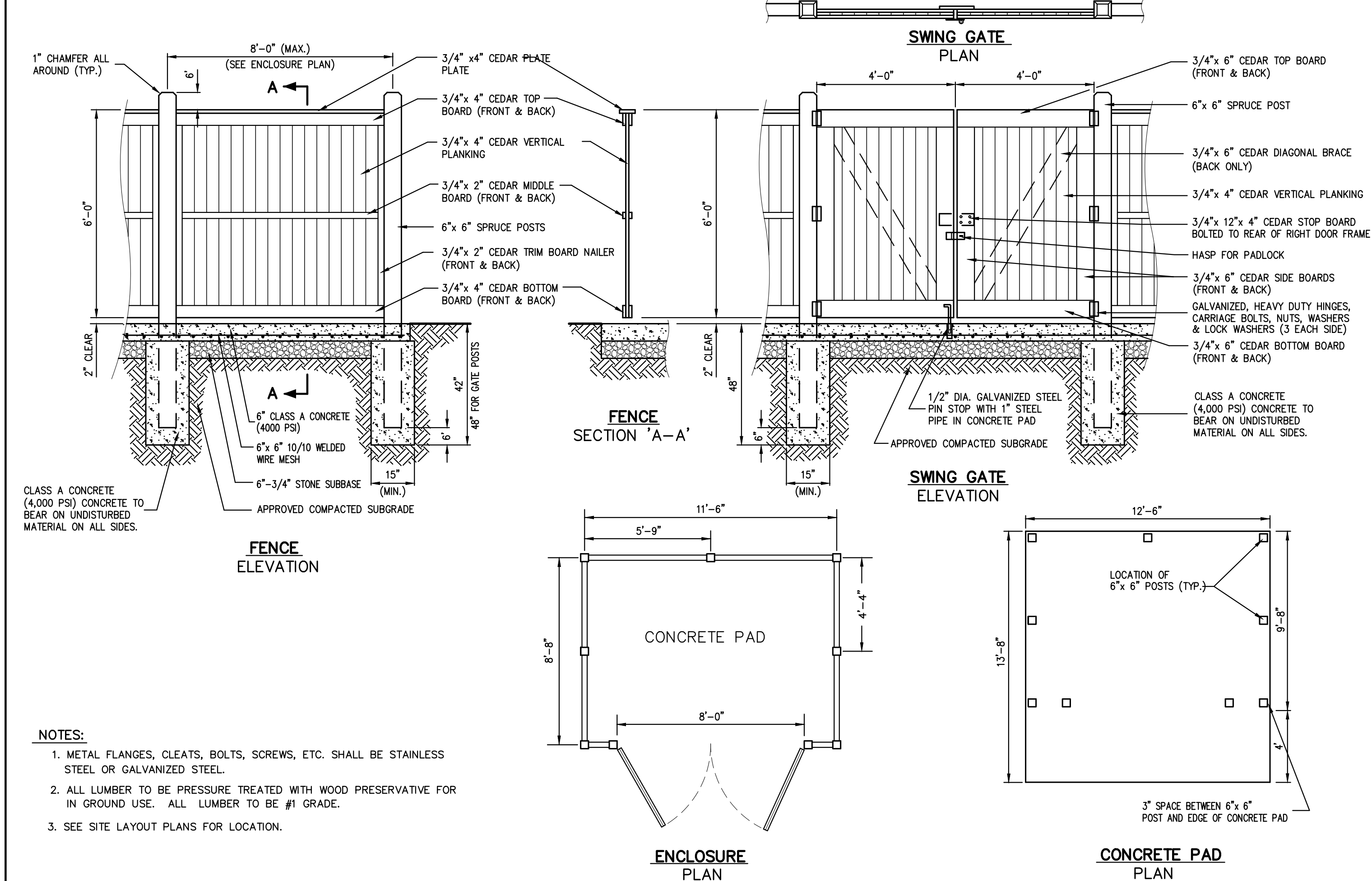
GROUNDCOVER

48



WOOD GUIDE RAIL

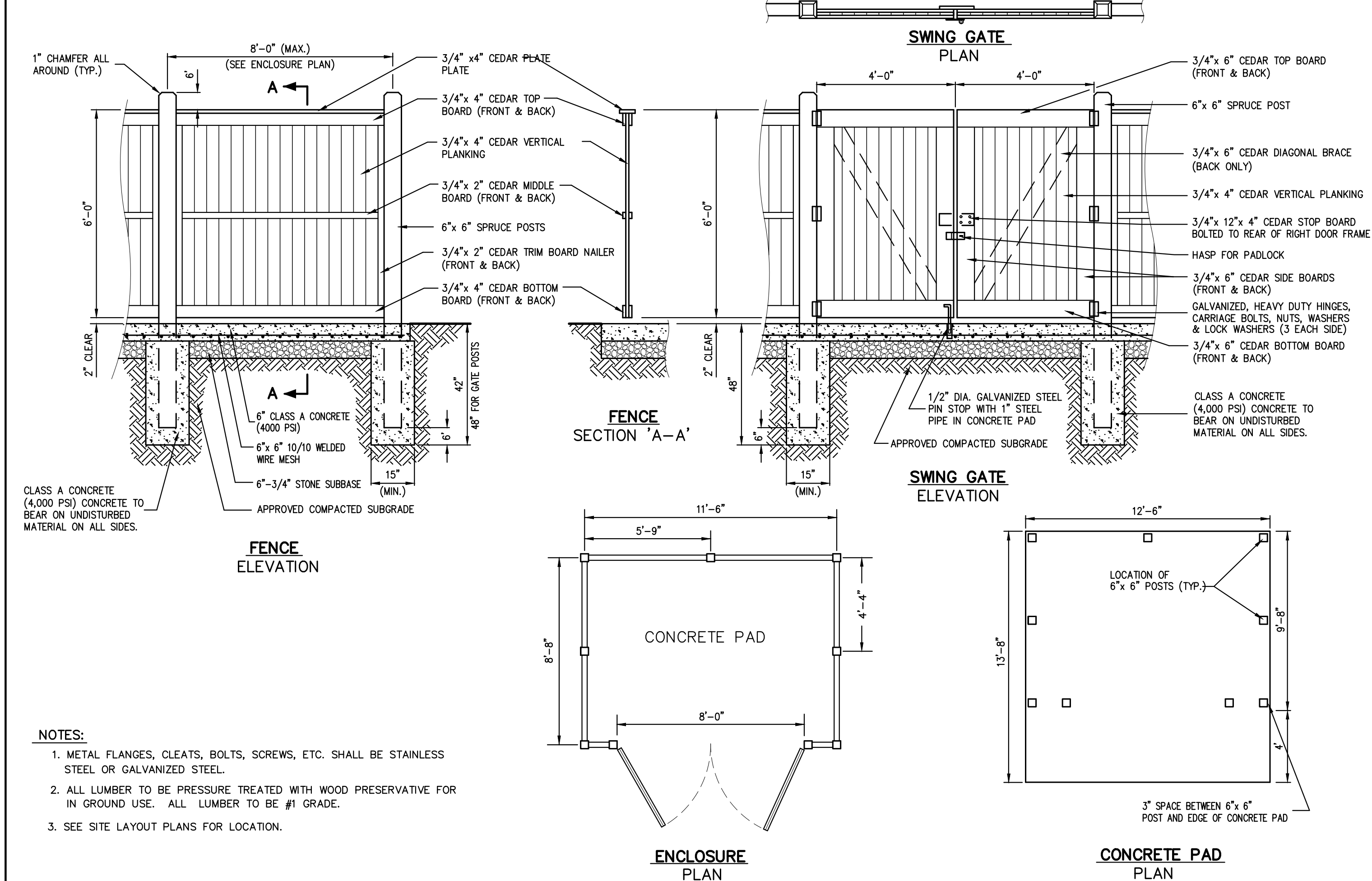
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TRASH ENCLOSURE WITH CONCRETE PAD

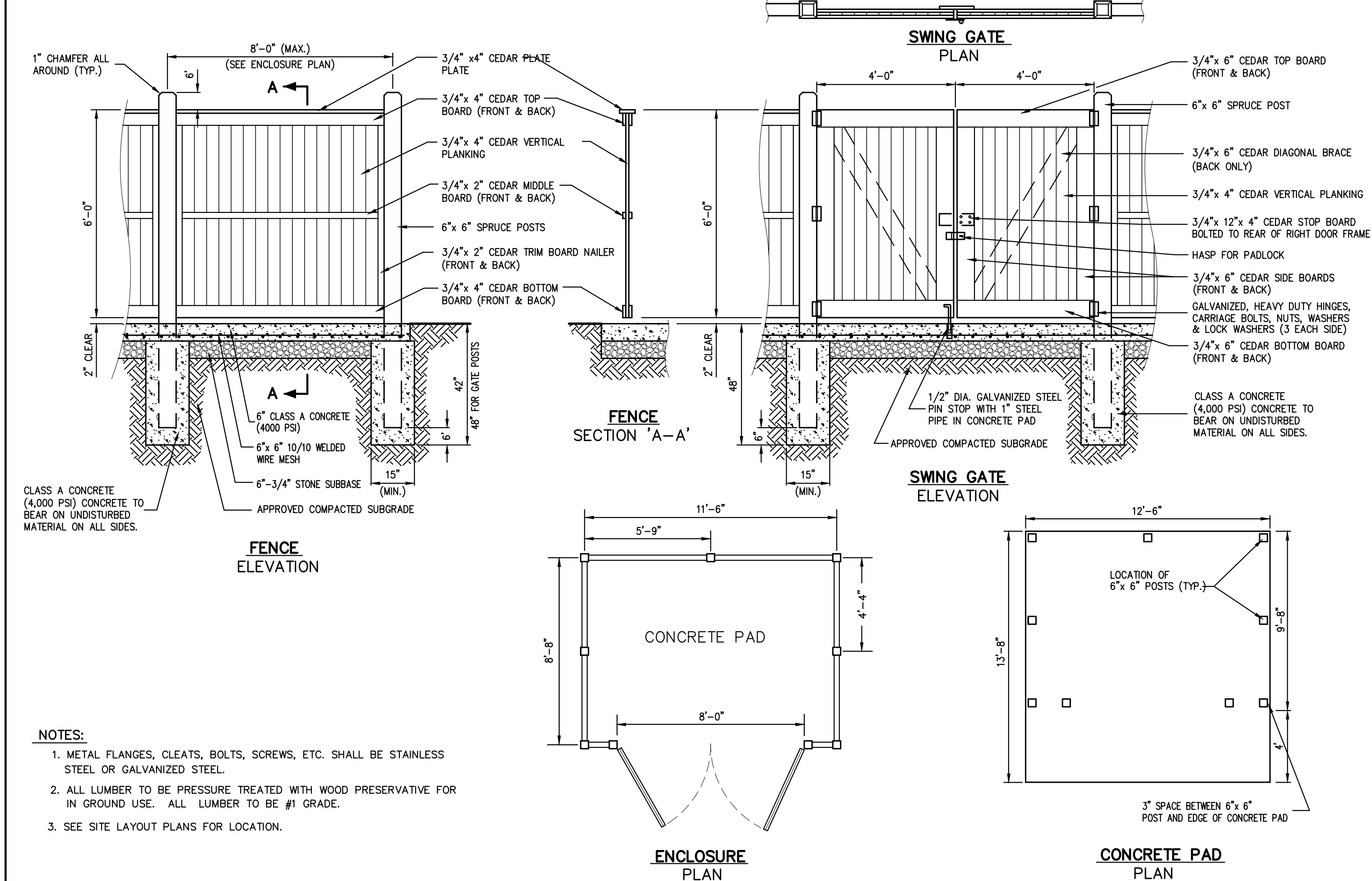
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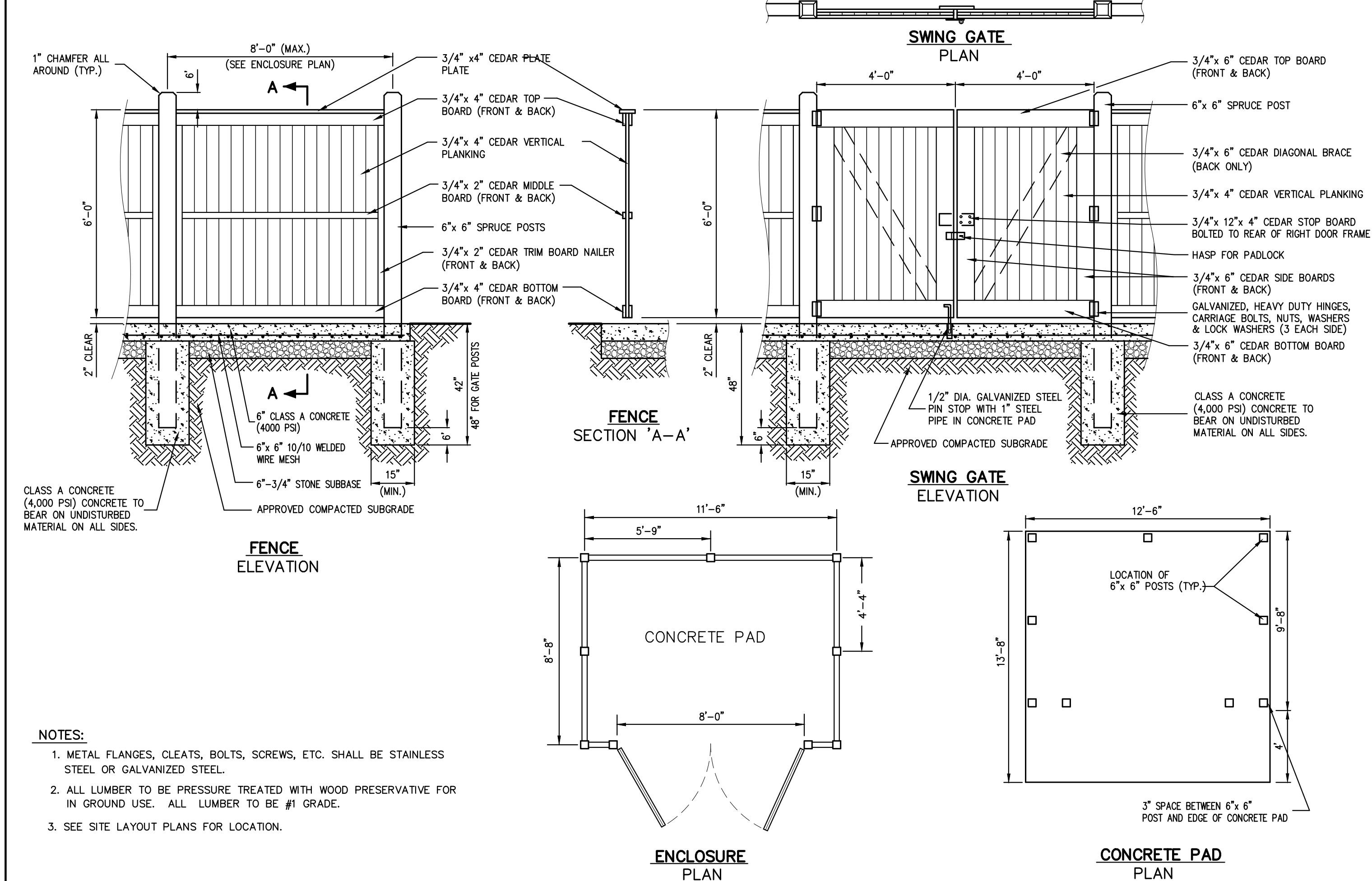
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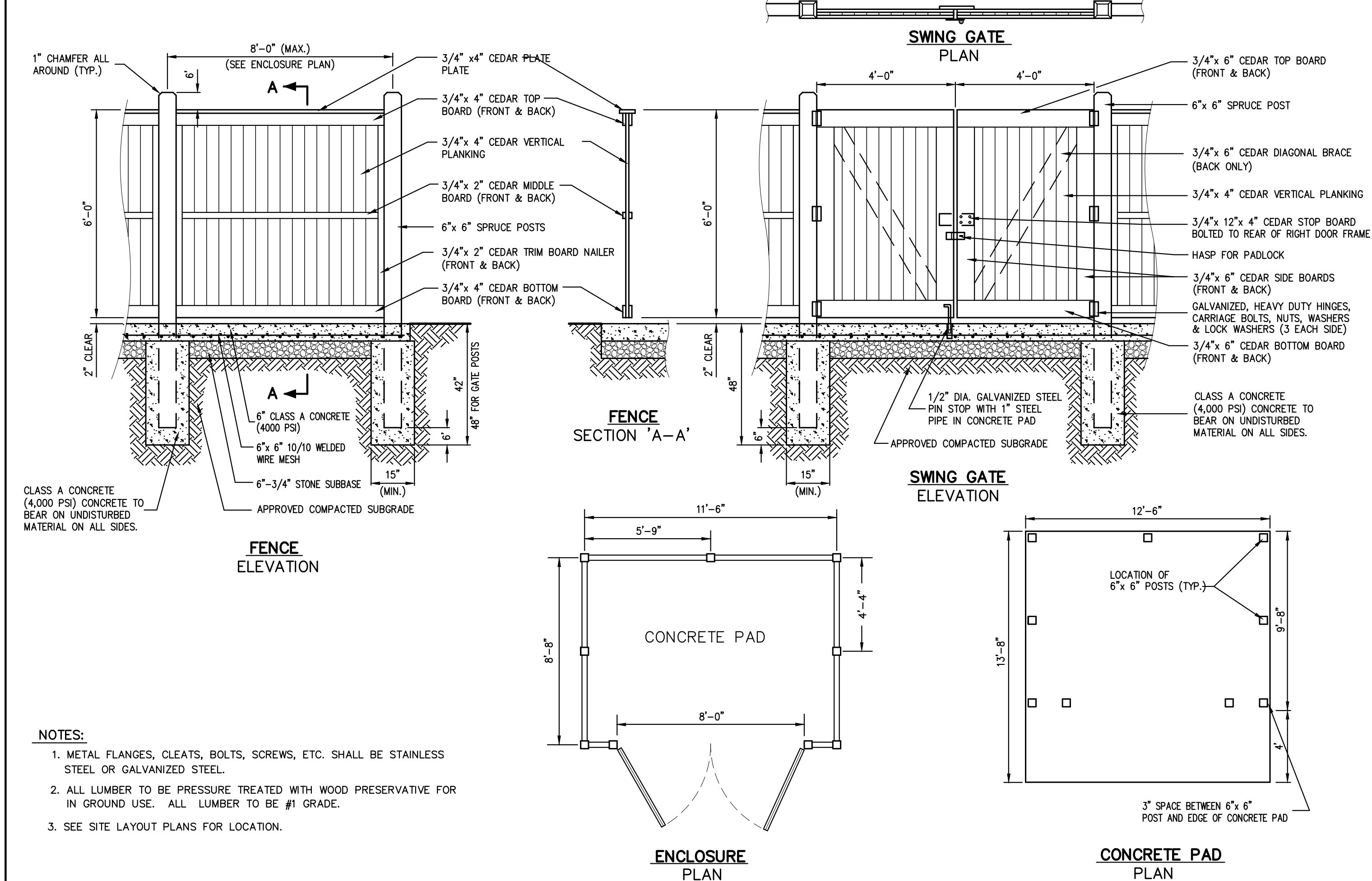
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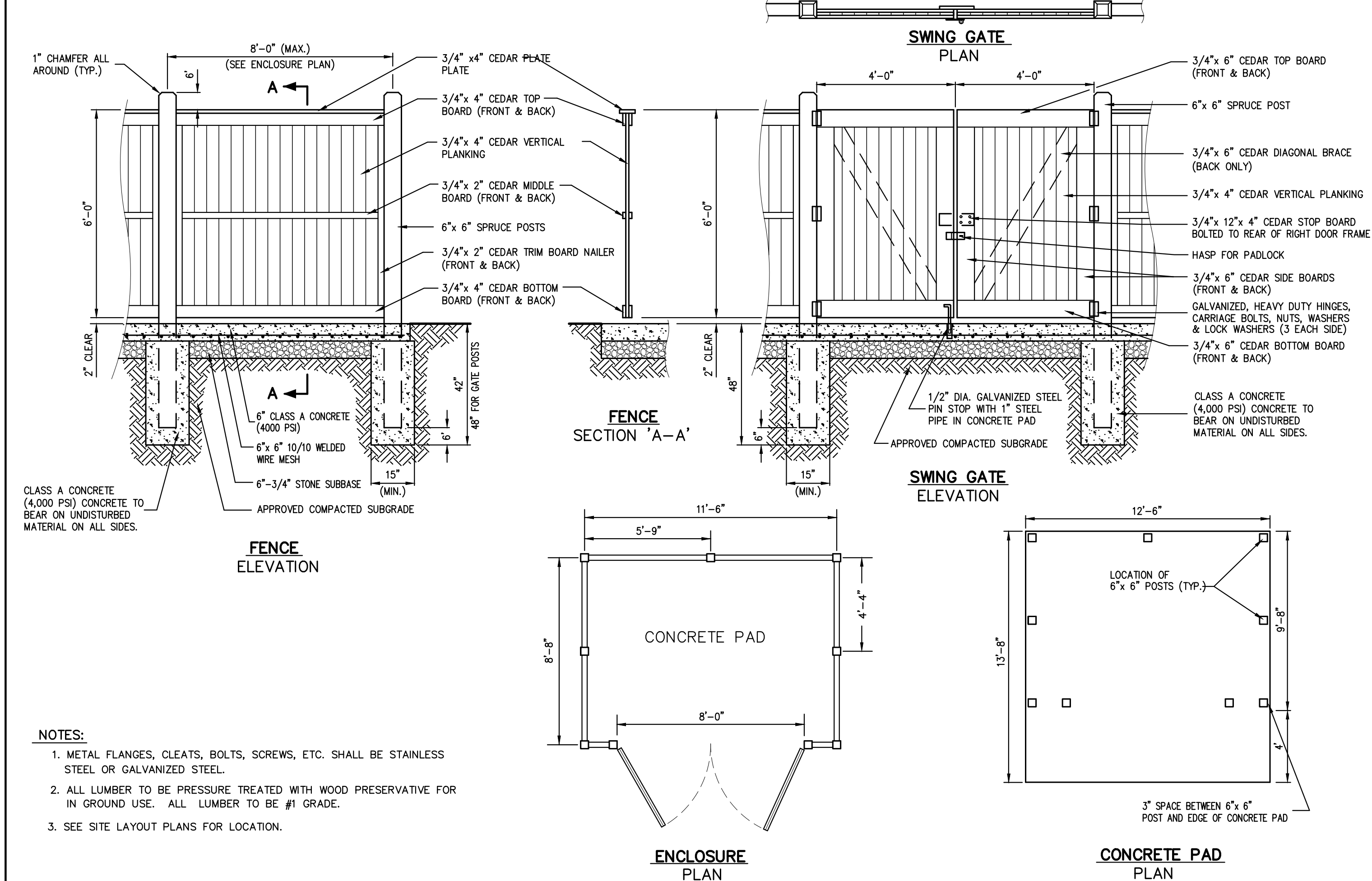
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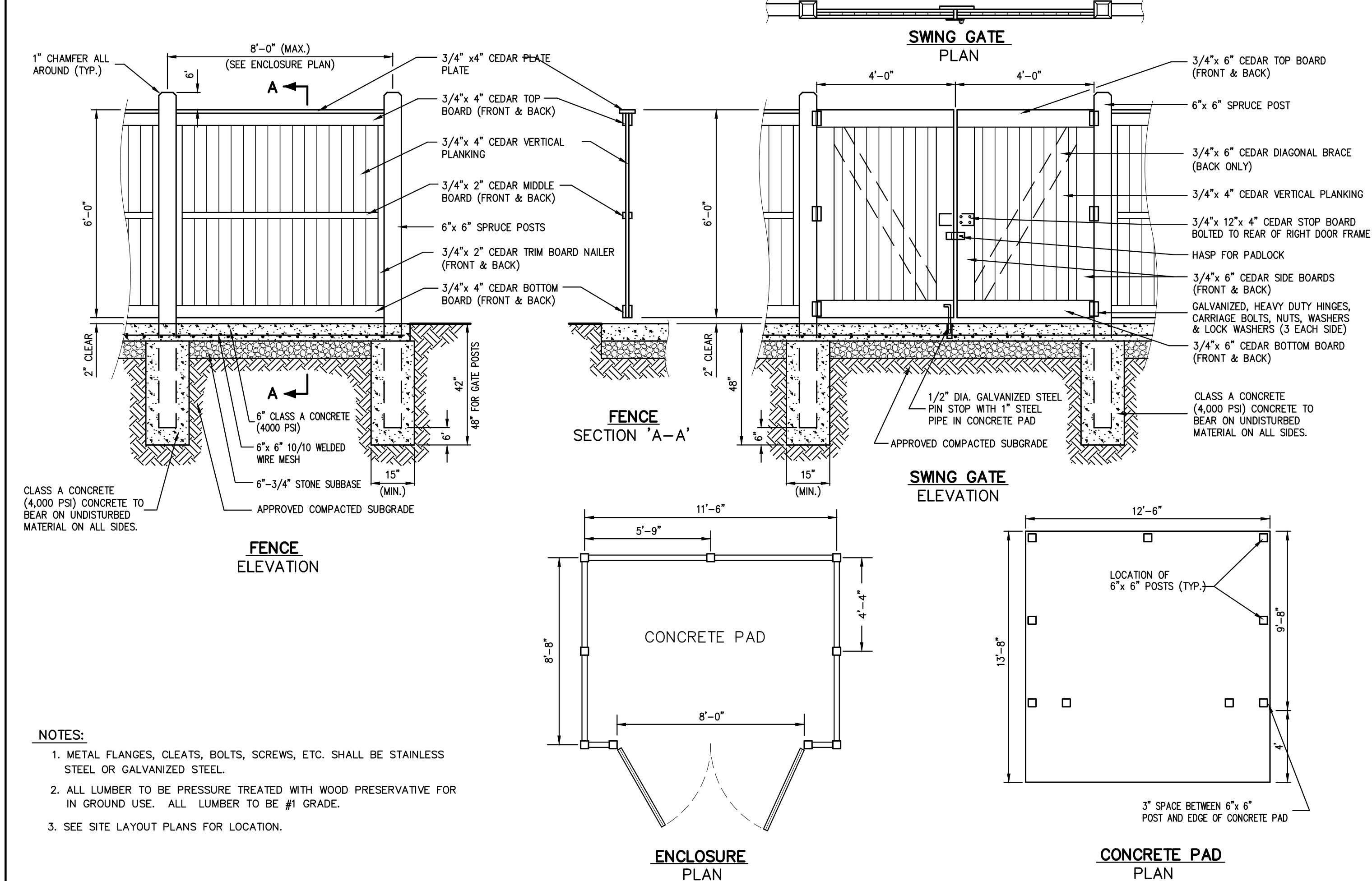
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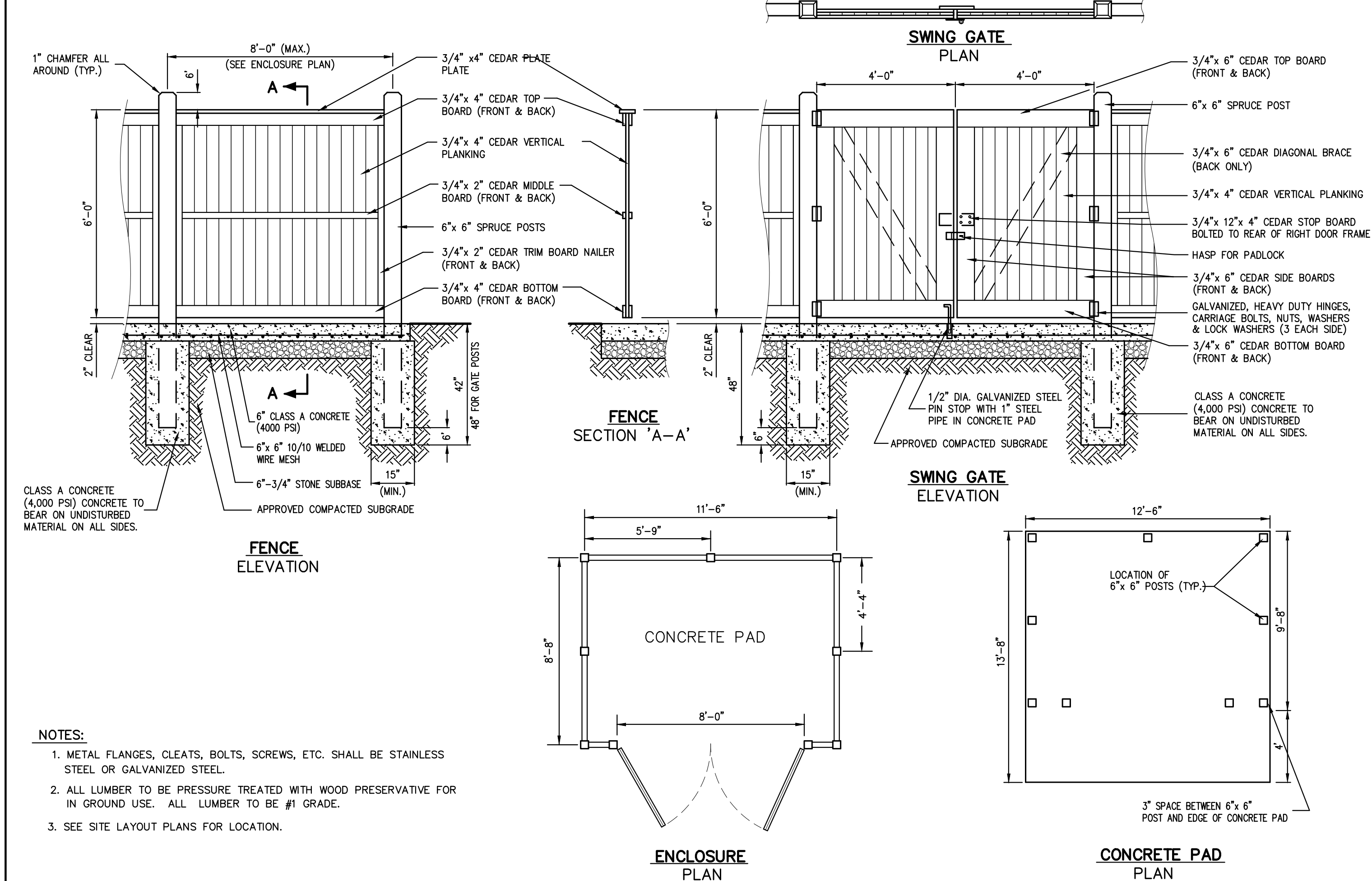
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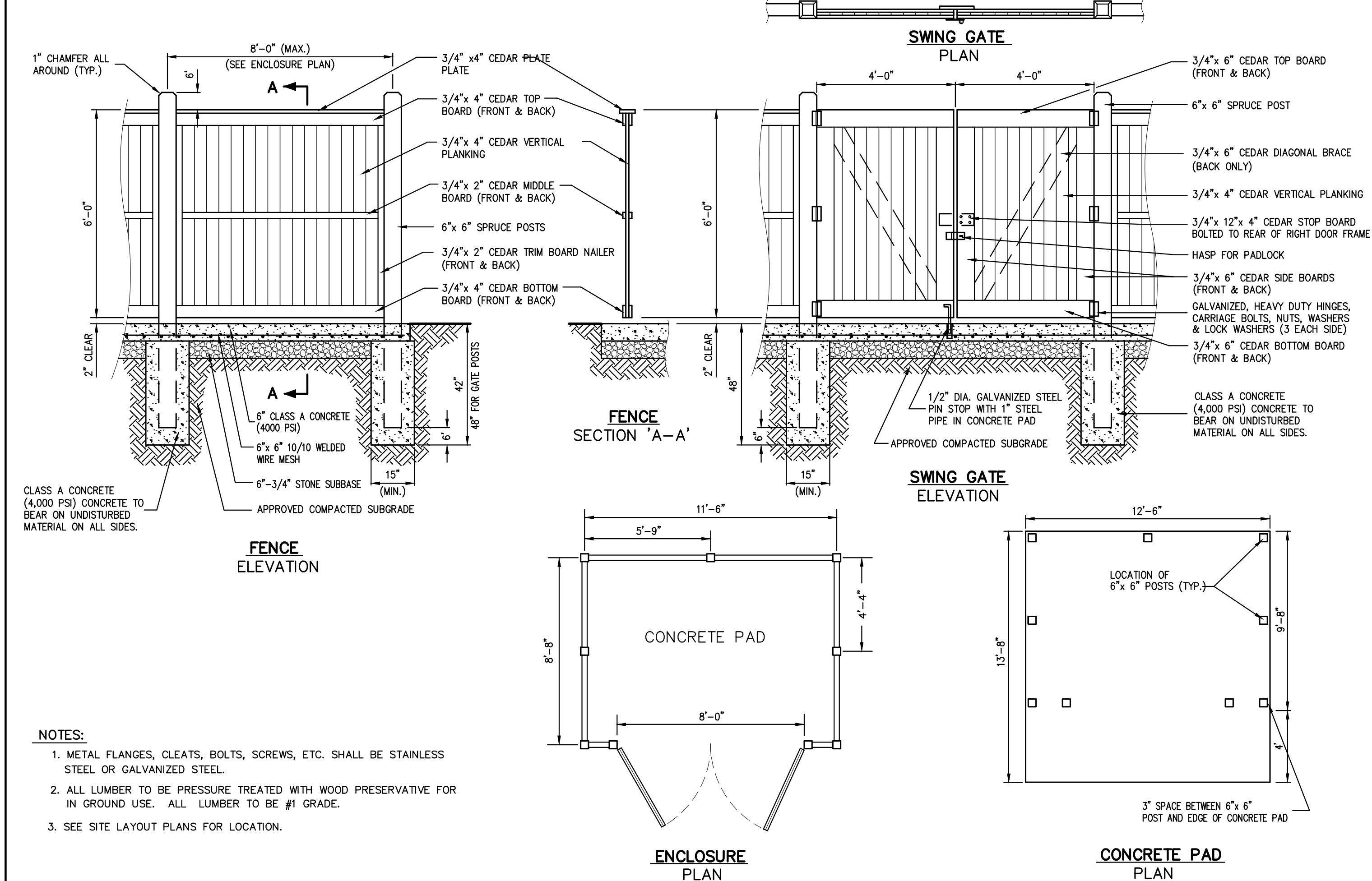
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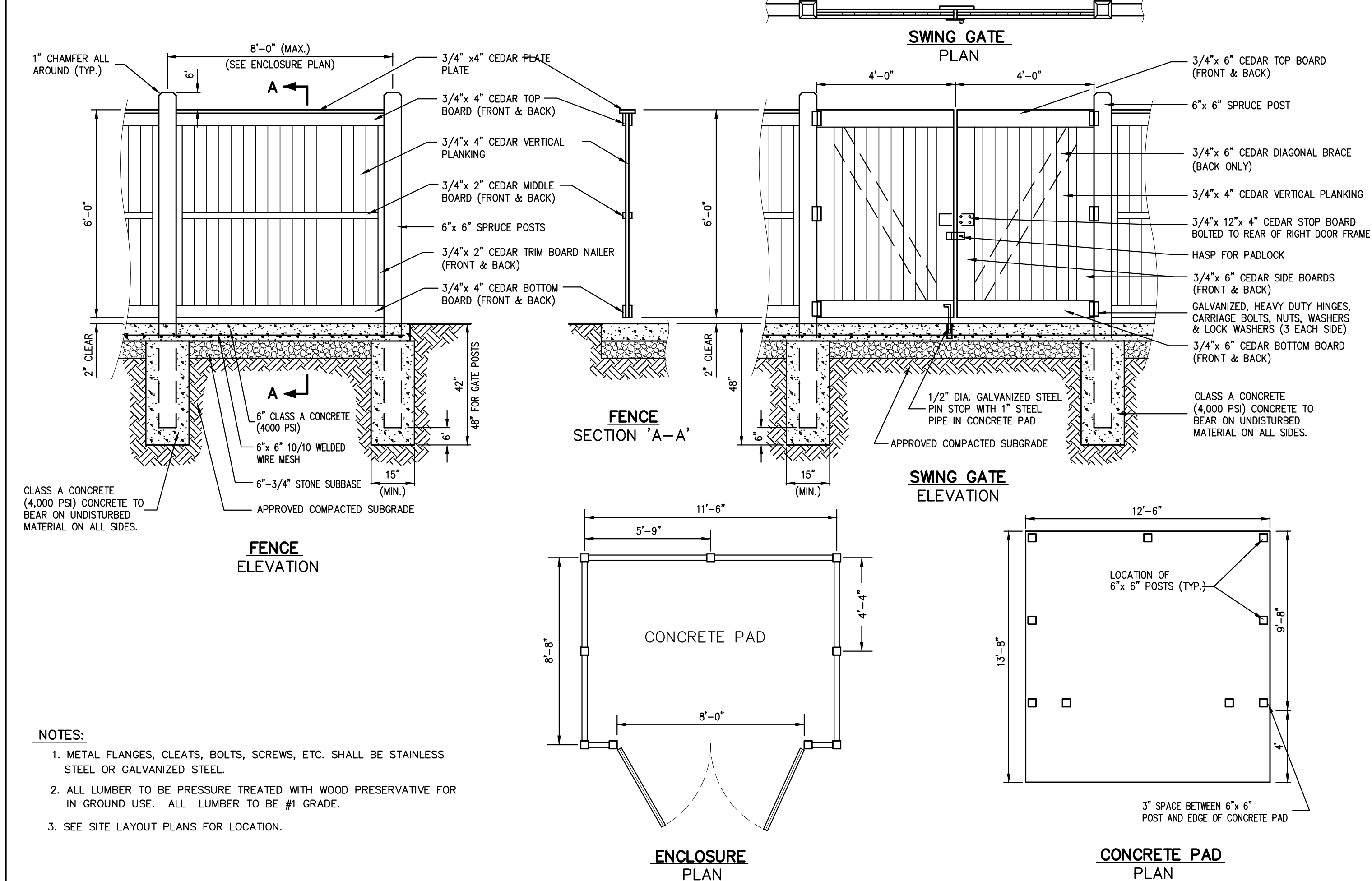
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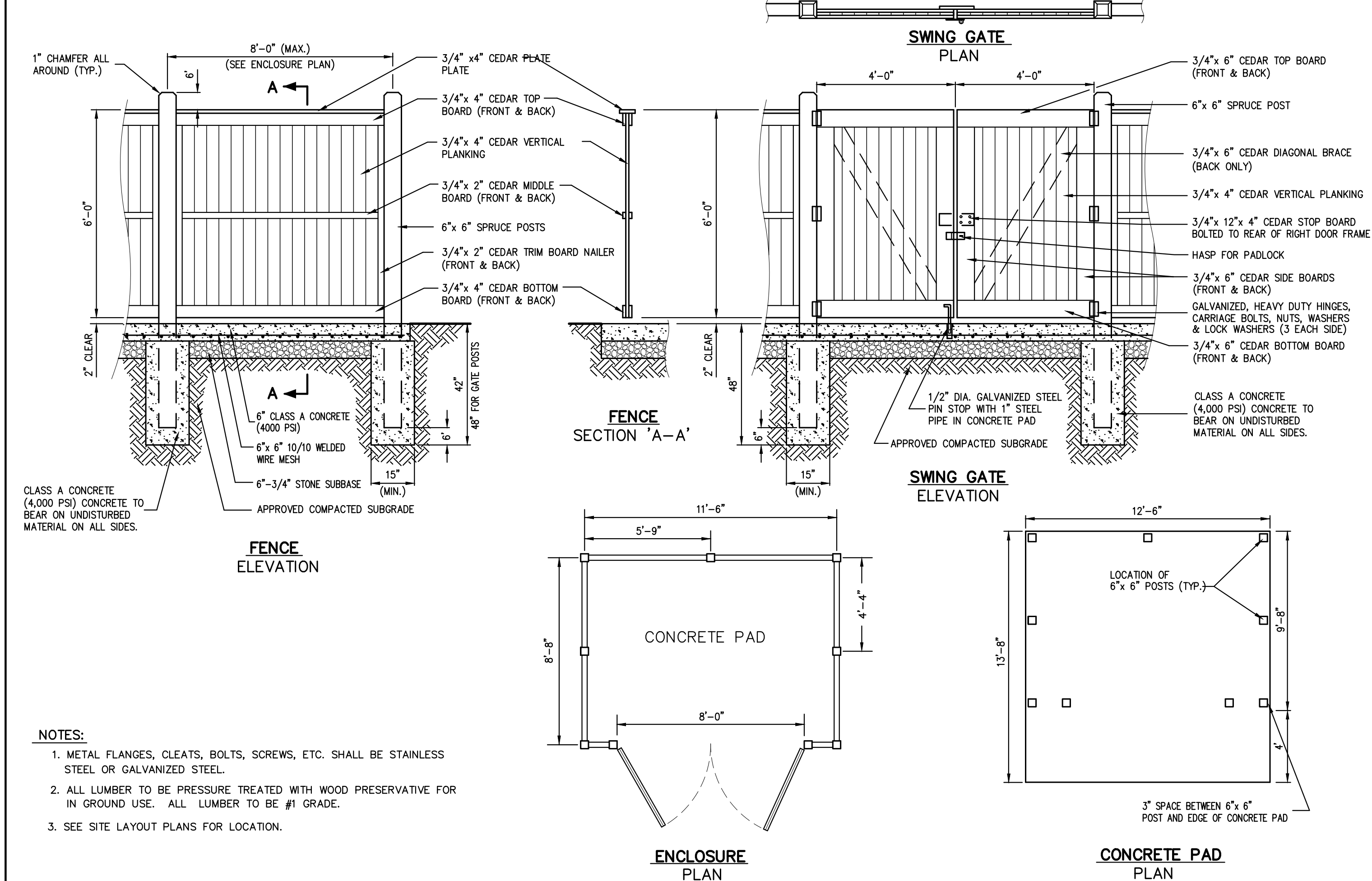
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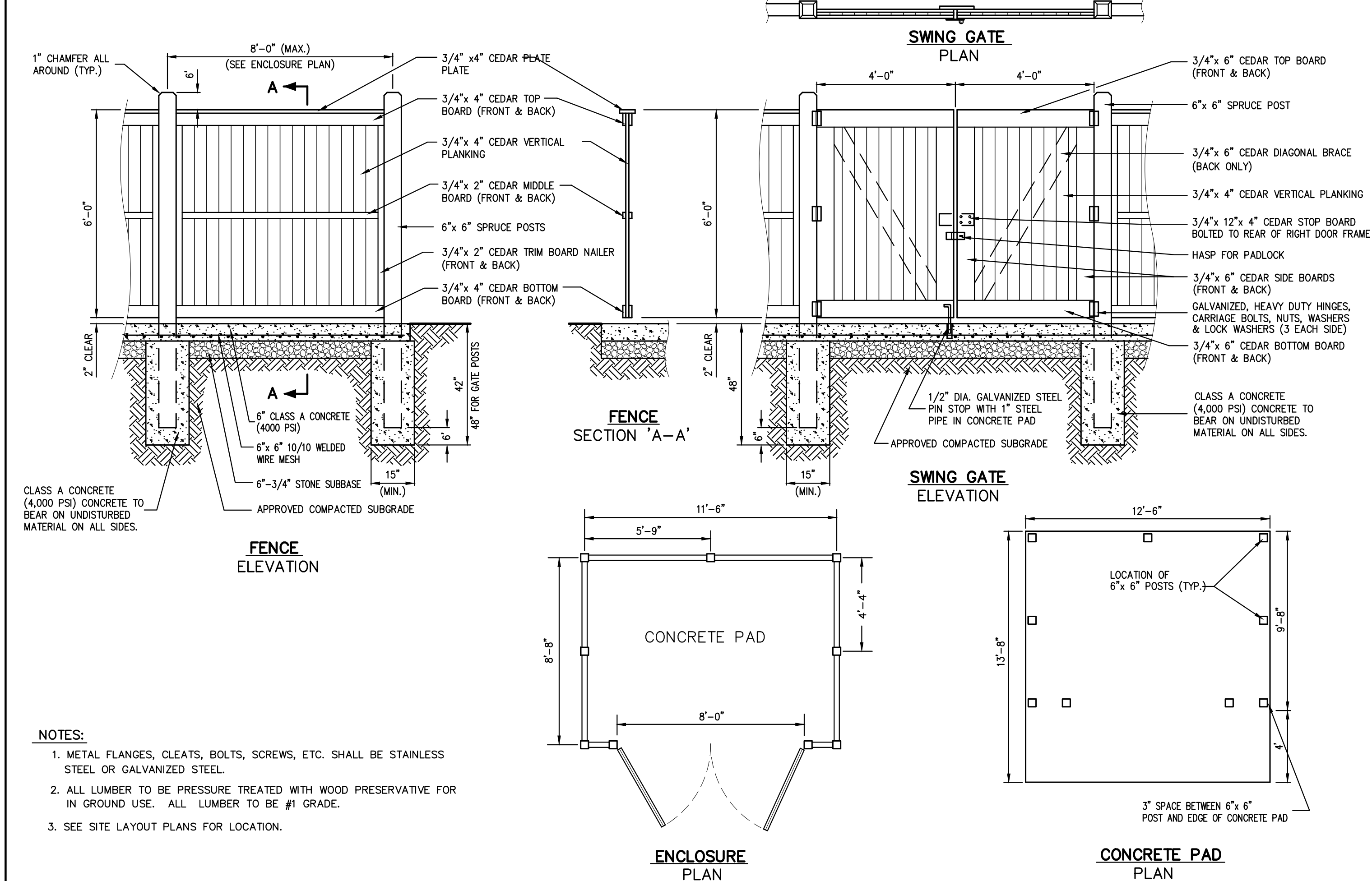
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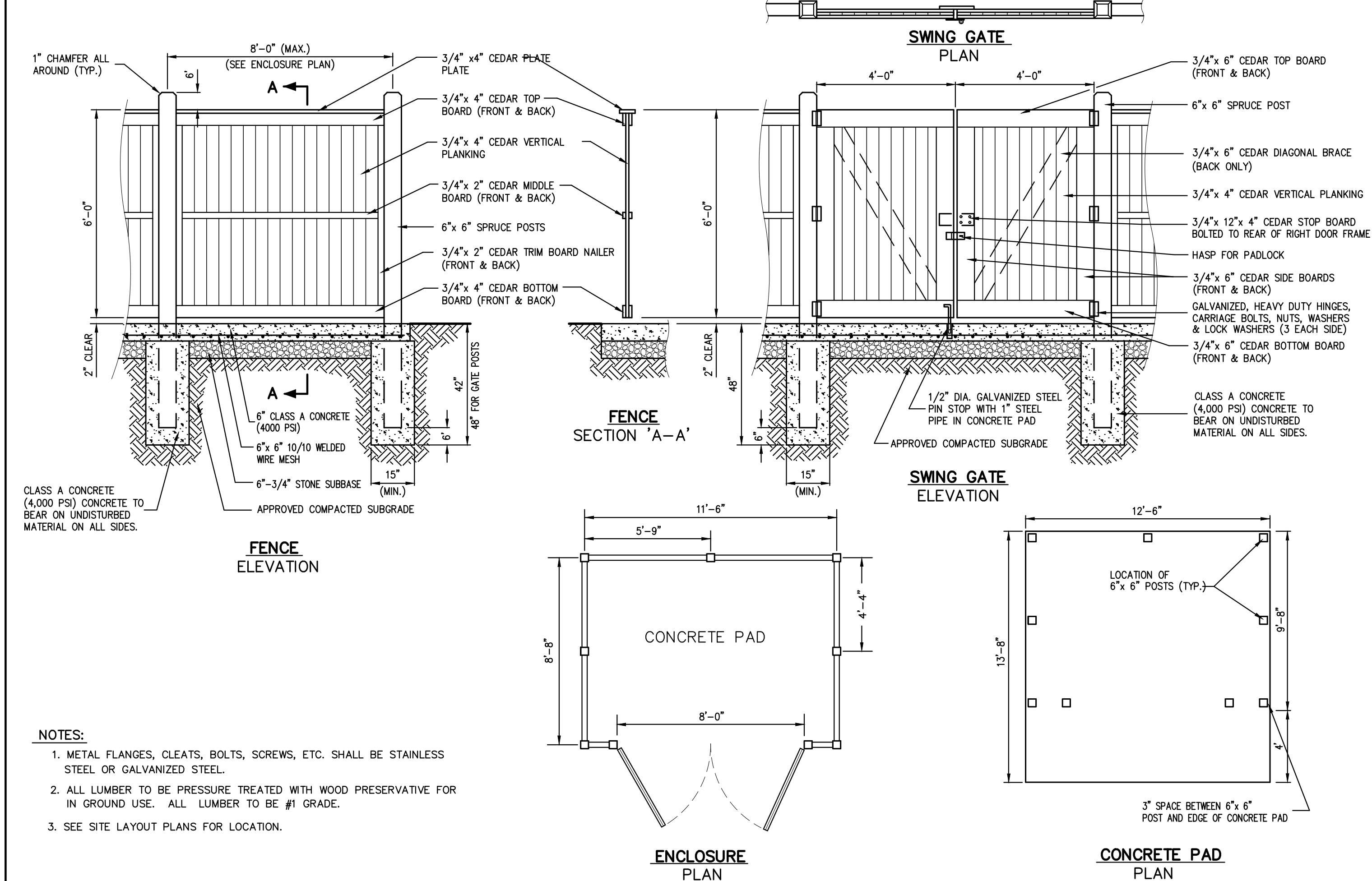
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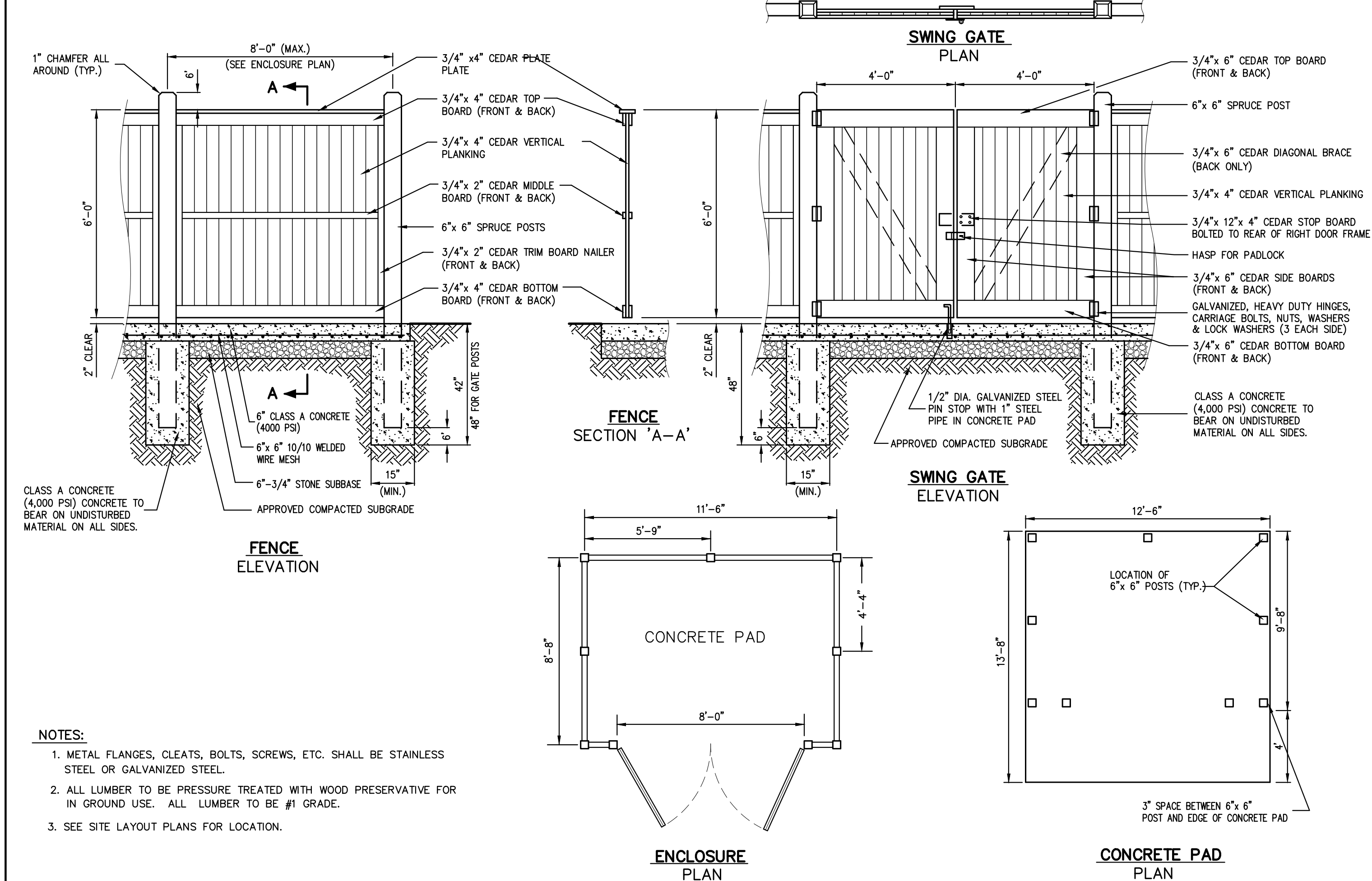
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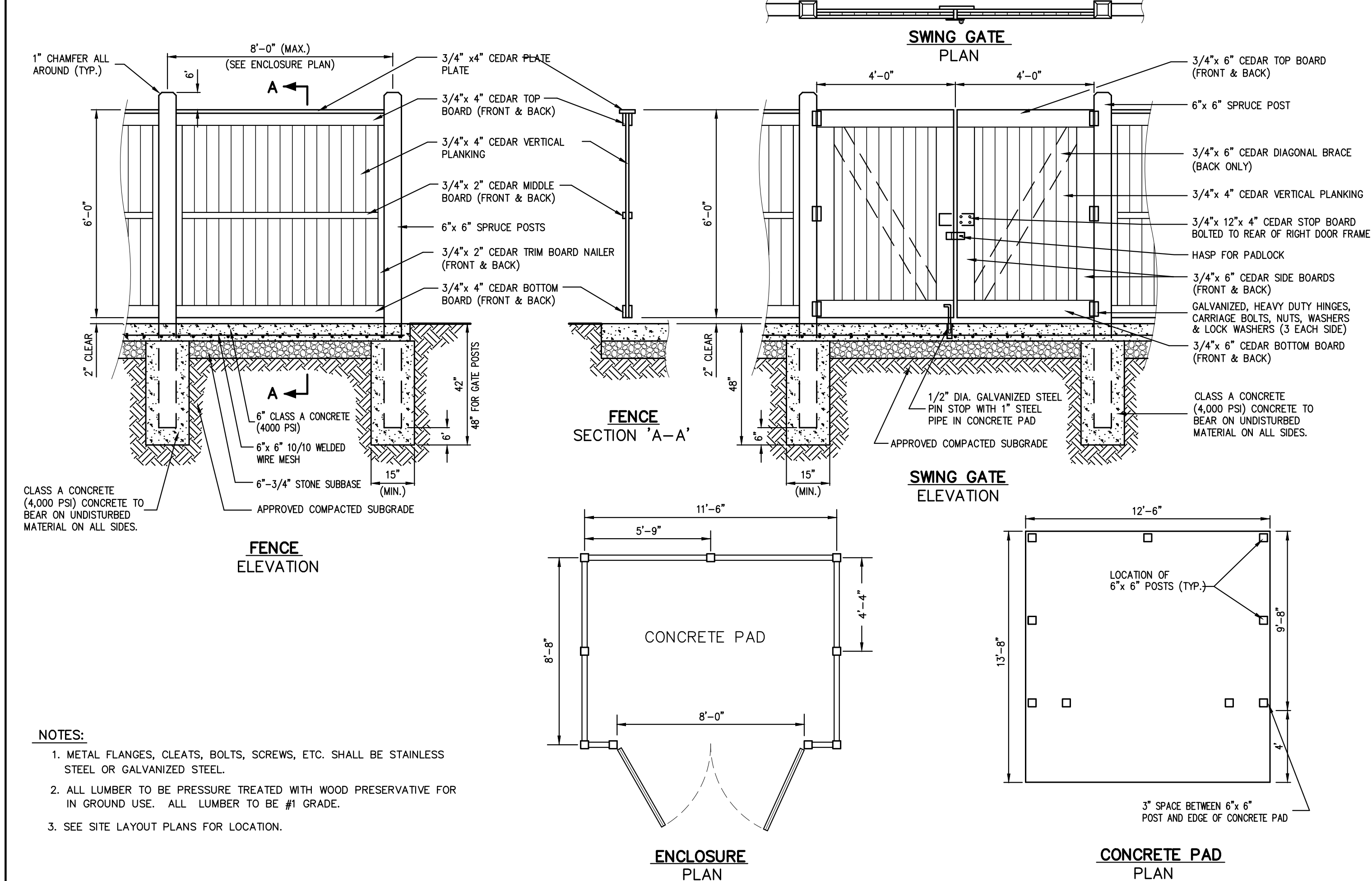
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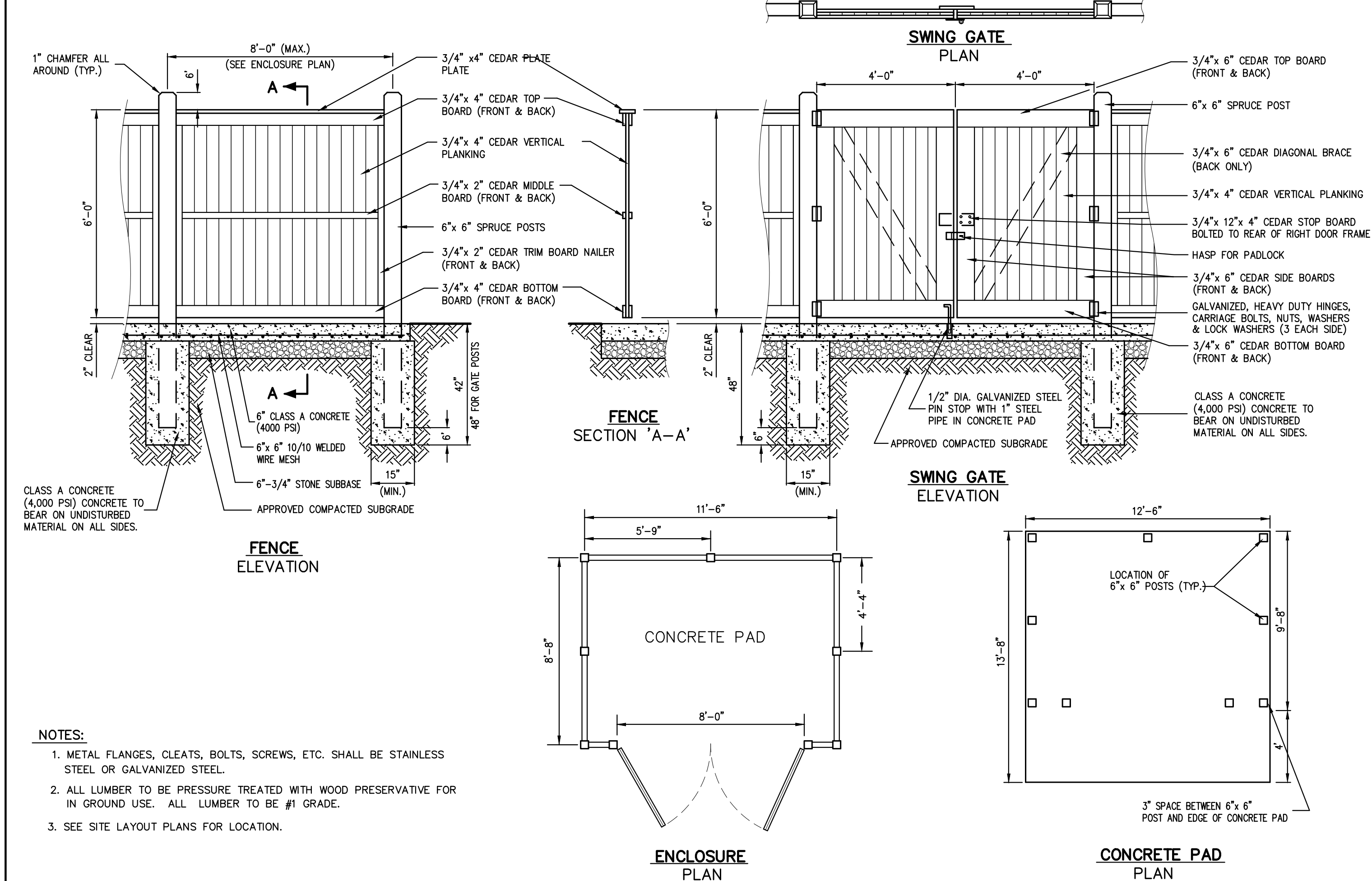
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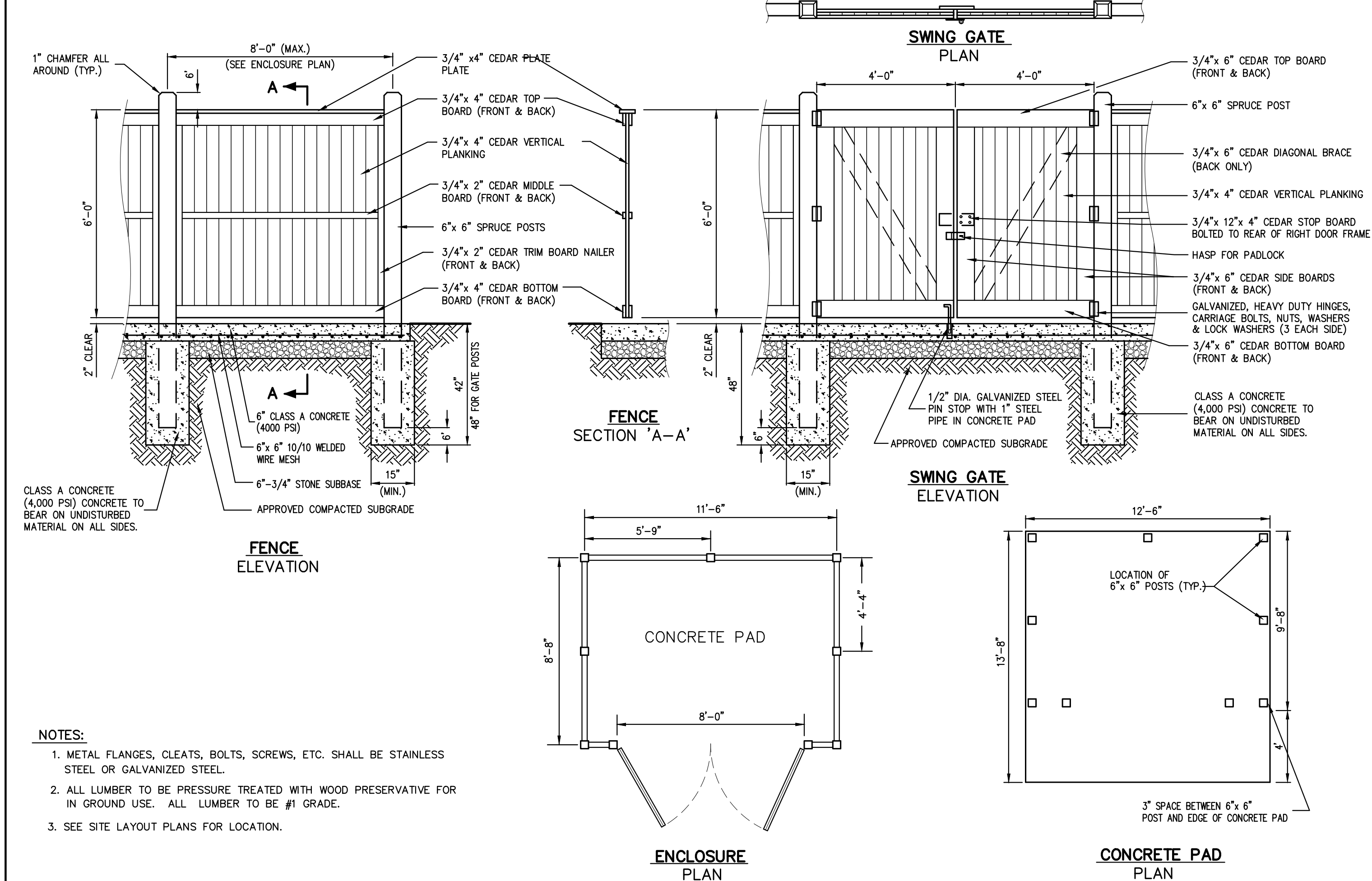
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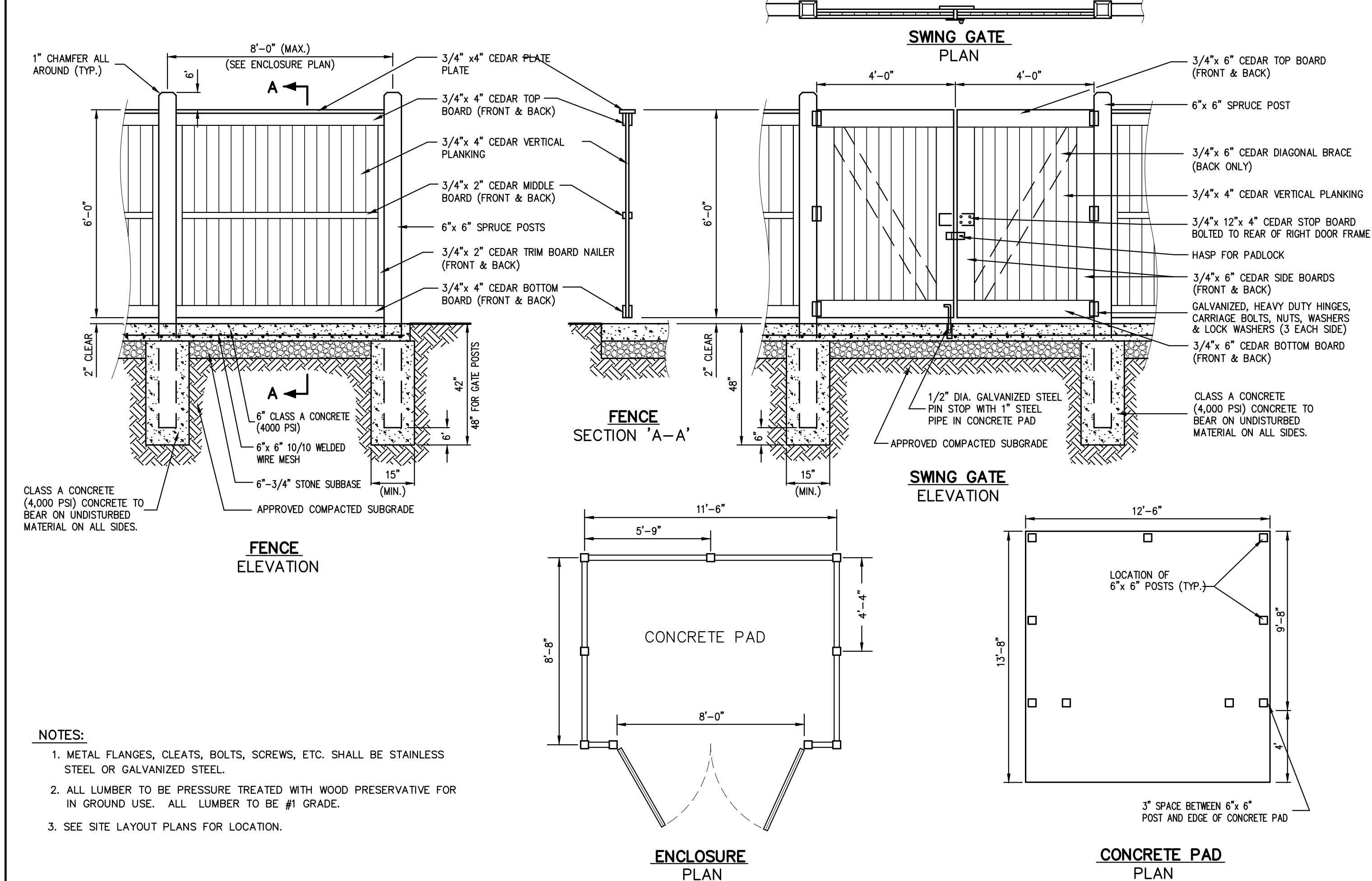
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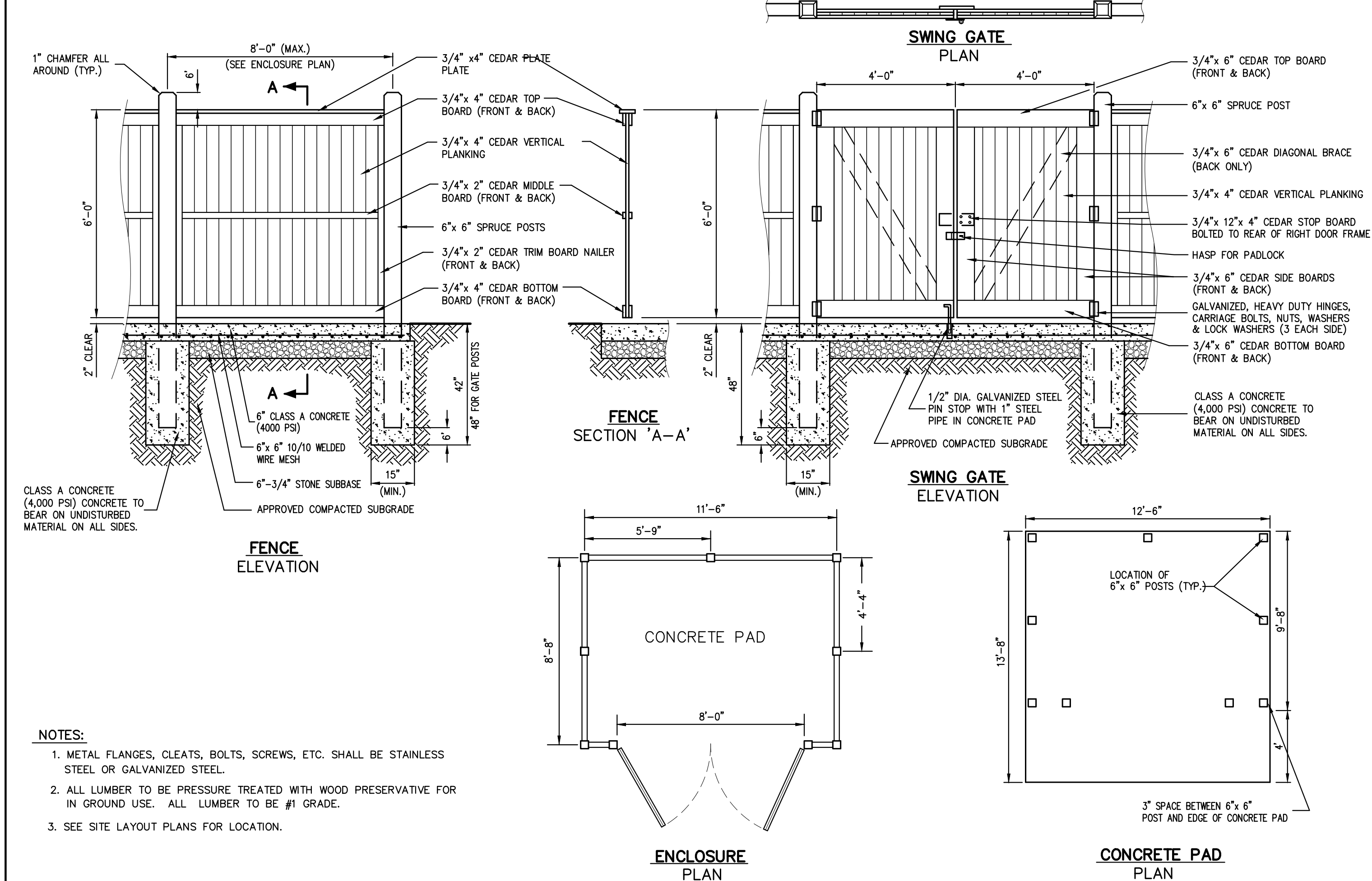
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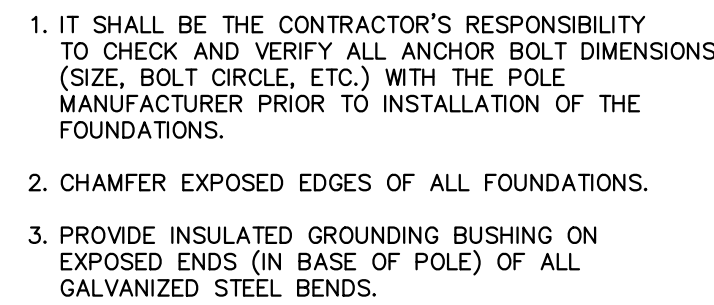
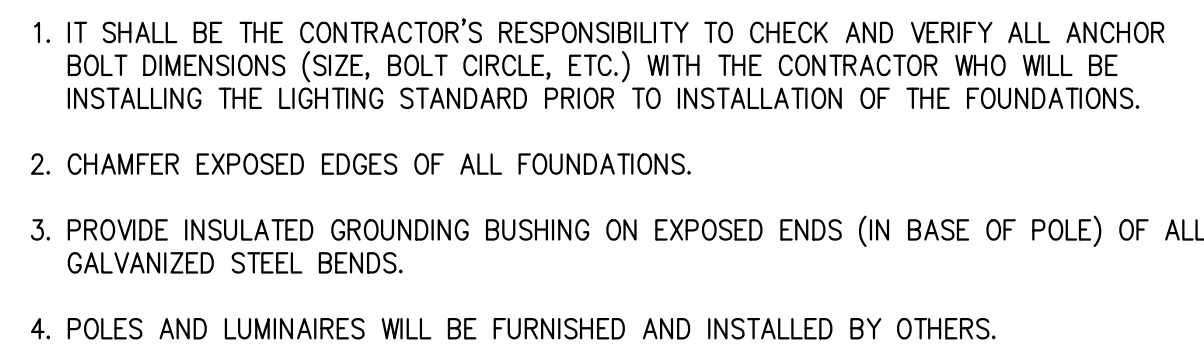
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<p>JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC</p> <p>JMC Site Development Consultants, LLC</p> <p style="text-align: center;">John Mayer Consulting, Inc.</p> <p>120 BEDFORD ROAD • ARMONK, NY 10504 voice 914.273.5225 • fax 914.273.2102</p> <p style="text-align: right;">www.jmcplic.com</p>	<p>No. _____</p> <p>Revision _____</p> <p>Date _____</p>
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<h2 style="margin: 0;">CONSTRUCTION DETAILS</h2>	<h2 style="margin: 0;">BEACON COMMONS</h2> <p style="margin: 0;">16 WEST MAIN STREET BEACON, NY 12508</p>
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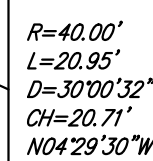
ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

Drawn: AH	Approved: SS	
Scale: NOT TO SCALE		
Date: 10/29/2019		
Project No: 18119		
18119-DETAILS	C-907	-

Drawing No:

C-907

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NOTES:

1. ALL PLANT MATERIAL SHALL BE FIRST QUALITY STOCK, PLANTED MATERIAL, AND METHODS OF INSTALLATION SHALL CONFORM TO THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION, AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION.
2. ALL AREAS OF THE SITE NOT OCCUPIED BY BUILDINGS OR PAVEMENT AND NOT SPECIFIED AS BEING PLANTED WITH TREES, SHRUBS OR GROUND COVER SHALL BE LAWN.
3. ALL PLANTING BEDS SHALL BE MULCHED WITH 3" OF BROWN WOODCHIP MULCH. SHALL BE CLEAN, NON-DYE, TOXIC FREE, SHREDED HARDWOOD.
4. PLANT MATERIALS AS SPECIFIED ON THE DRAWINGS AND DELIVERED TO THE SITE SHALL BE NURSERY GROWN AND CERTIFIED TRUE TO THEIR GENUS, VARIETIES AND VARIETY. PLANTS ARE NOT PERMITTED WITHOUT THE PROJECT LANDSCAPE ARCHITECTS WRITTEN APPROVAL.
5. ALL LANDSCAPING SHALL CONTINUE TO BE MAINTAINED IN A HEALTHY GROWING CONDITION THROUGHOUT THE DURATION OF THE PROJECT, ANY PLANTING NOT SO MAINTAINED SHALL BE REPLACED WITH NEW PLANTS AT THE BEGINNING OF THE NEXT, IMMEDIATELY FOLLOWING, GROWING SEASON.
6. ALL TREES AND SHRUBS SHALL BE PRUNED AND SHAPED AND BE SUBJECT TO THE APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT AND GOVERNMENTAL AUTHORITIES HAVING JURISDICTION.
7. PLANTING STOCK SHALL BE WELL-BRANCHED AND WELL-FORMED, SOUND, VIGOROUS, HEALTHY, FREE FROM DISEASE, SUN-SCALE, WINDBURN, ABRASION, AND HARMFUL INSECTS AND DISEASES, AND SHALL HAVE HEALTHY, NORMAL UNBROKEN ROOT SYSTEMS; DECIDUOUS TREES AND SHRUBS SHALL BE SYMMETRICALLY DEVELOPED, OF UNIFORM HABIT OF GROWTH, WITH STRAIGHT TRUNKS OR STEMS, AND FREE FROM OBJECTIONABLE DISFIGUREMENTS. EVERGREEN TREES AND SHRUBS SHALL HAVE WELL-DEVELOPED SYMMETRICAL TOPS WITH TYPICAL SPREAD OF BRANCHES FOR EACH PARTICULAR SPECIES OR VARIETY; ONLY WENS AND GROUND COVER PLANTS WELL ESTABLISHED IN REMOVAL CONTAINERS, INTEGRAL CONTAINERS, FROWN HOMOSEOUS SOIL SECTIONS SHALL BE USED. PLANTS SHALL BE GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT.
8. ALL STOCK SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN STOCK, UNLESS OTHERWISE SPECIFIED. BAREROOT STOCK OF ANY KIND IS UNACCEPTABLE UNLESS SPECIFIED.
9. ALL PLANTING BEDS, LAWNS AND LANDSCAPED AREAS SHALL RECEIVE A MINIMUM 4" THICK LAYER OF TOPSOIL, UNLESS OTHERWISE SPECIFIED.
10. RAIN GARDEN PLANTINGS:
 - 30 - 41 GALLON PERENNIALS TO BE SELECTED BY PROJECT LANDSCAPE ARCHITECT.

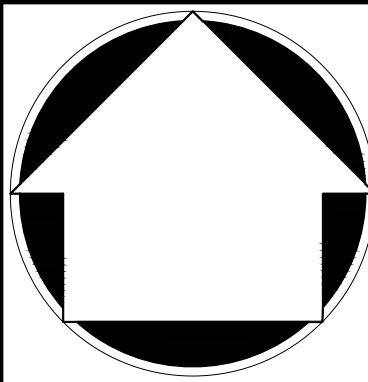
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No.	Revision	Date	By
	<i>Previous Editions Obsolete</i>		

Drawn:	AH		Approved:	SS	
Scale:	1" = 20'				
Date:	10/29/2019				
Project No:	18119				
18119-LAND	LAND		LAY.scr		
Drawing No:					
L-100					

LANDSCAPING PLAN

BEACON COMMONS
16 WEST MAIN STREET
BEACON, NY 12508



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