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ENGINEERING AND SURVEYING, P.C.

John J. O'Rourke, P.E., Principal
David E. Higgins, P.E., Principal
John Queenan, P.E., Principal

Rodney C. Knowlton, L.S., Principal
Jerry A. Woods, L.S., Principal

John D. Russo, P.E., Principal
John Lane, P.E., L.S.
Arthur R. Tully, P.E.

September 4, 2019

Mr. John Gunn
Beacon Planning Board Chair
City of Beacon
1 Municipal Plaza
Beacon, NY 12508

RE: Beacon Views
City of Beacon
Special Use & Site Plan Application

Dear Mr. Gunn:

My office has received the following in regard to the Two Cross Street – Hudson Todd LLC project:

- Applications for site plan and subdivision approval.
- Cover letter from Cuddy and Feder dated August 27, 2019.
- Full Environmental Assessment Form, dated August 27, 2019.
- Preliminary Stormwater Pollution Prevention Plan (SWPPP), dated August 27, 2019 as prepared by INSITE Engineering.
- Plans titled "Beacon Views", dated August 27, 2019, and consisting of 11 sheets as prepared by INSITE Engineering.

As this is the initial submission, we are providing general comments at this time with more specific detailed comments to be provided at a later date. Based on our review of the above materials, we would like to offer the following comments:

General Comments:

1. In the Project Description as provided by the Project Attorney, the Background Section of that description describes various adjacent property owner's and uses. The names of those property owners should correspond with the property owners as shown on the Plan Set.
2. In that same area of the Project Description, it is stated that the project will allow for potential future pedestrian connections to adjacent properties, as well as potential pedestrian linkages to other locations in the City of Beacon. However, it is not clear on the Plan Set as to where these pedestrian access opportunities are to occur.

3. Access

- Access to the site is proposed thru the utilization of an existing "Access and Stormwater Management Easement" located on the Highland Meadows property. Based upon the copy of the "Access Easement and Maintenance Agreement" included as Exhibit "I" of the document submitted by Cuddy & Feder, the document only discusses access through the site. As the applicant is looking to construct and maintain stormwater facilities on the adjacent parcel, additional easements will need to be acquired from the adjacent parcel owner for these stormwater facilities.
- Access to the site is also proposed to be an extension of a drive from existing Hastings Drive on the Highland Meadows property. This extension itself will be approximately 1,100 feet long to serve the 42 proposed townhouses. It appears to our office that this is a significantly long dead end/cul-de-sac to serve these 42 proposed homes. Typically given the number of town houses to be constructed, a secondary means of full access would be provided. This arrangement should be reviewed by the City of Beacon Emergency Services personnel for the suitability of the drive in regards to length, width and type of pavement as well as the proposed cul-de-sac turnaround design, which in our opinion appears to be undersized. The cul-de-sac should be designed at a minimum to meet the requirements of Appendix "D" of the International Fire Code, as adopted by NYS in there 2017 Uniform Code Supplement.
- The application also proposes to provide an emergency access from the site between proposed buildings 22 and 23 to the cul-de-sac which is proposed to be constructed as part of the 25 Townsend Street Subdivision. However, at this time, Townsend Street, while approved, has not been filed with the County Clerk's office and it is not clear as to when this project may be constructed. Additionally, information should be provided in regards to the design of this emergency access, as well as any easements or rights-of-way which may be necessary for its construction, together with information provided as to who will be responsible for the maintenance of this emergency access.
- There currently is a significant amount of traffic utilizing Delavan Avenue. There have been discussions in the past over the need for a traffic light at the intersection of Delavan and New York State Route 52. The addition of these 42 proposed townhouses will only serve to increase the amount of traffic at this intersection. The applicant has provided a Traffic Study as part of this application and it is our understanding that the Planning Board will be retaining the services of a Traffic Consultant to review The Traffic Study which has been prepared by the applicant's consultant.

4. The project contains a significant amount (2.55 acres) of Freshwater Wetlands. However, it is not indicated as to whether or not these wetlands are regulated either by NYS Department of Environmental Conservation or the US Army Corps of Engineers. Since the project proposes a significant amount of construction within or adjacent to these wetlands, the applicant should contact these agencies to determine whether or not these are regulated wetlands and if so, whether the plans, as proposed, will require permitting and mitigation from either or both of these two agencies.

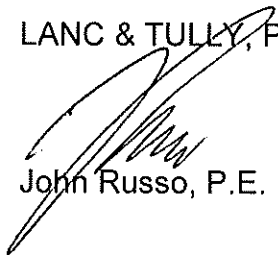
5. There is an existing 12" diameter City of Beacon watermain and 20' wide Utility Easement which crosses through the property along its northern and eastern edges. It appears from the applicant's grading and utilities plan that a significant amount of work will be done either within the City's easement or in close proximity to this watermain. The City requests that the area of the watermain easement be left undisturbed and that all proposed construction activities occur outside the limits of the easement. Additionally, this 12" watermain is a Transmission Main and as such it is preferable that no new watermain taps be made into it, which the applicant is proposing to do to serve this project. Therefore, the applicant should review with the City the suitability of this proposed 8" tap as well as investigate whether or not there are other locations for providing water service into this project. The applicant should also describe whether or not this proposed watermain is to be owned and maintained either by the applicant or by the City of Beacon.
6. The applicant is also proposing to collect sewage from these proposed homes and piping it to a proposed new pump-station which would then connect to an existing City manhole in Conklin Street via a proposed sanitary sewer forcemain. Again, the applicant does not state whether or not this collection system and pump station are to be owned and maintained by the project or if it is their intention to have the City consider owning and maintaining it. Generally, it is the City's preference to not have any new pump stations to own or maintain. The applicant is recommended to investigate the possibility of a gravity connection at a different location, if possible, that would eliminate the need for a sanitary sewer pump-station and forcemain. The applicant should also model the existing sanitary sewer system to ensure that it can handle the additional sewer flows proposed to be added to the system.
7. As the applicant is proposing to use infiltration practices as part of their stormwater management practices, soil testing in the location of these proposed infiltration practices will need to be conducted in accordance with NYSDEC requirements. The testing should be witnessed by the City Engineer's office when being performed. Based upon the location of the proposed stormwater practices adjacent to the wetlands, it is questionable as to whether infiltration practices will work.
8. The Existing Conditions plan should be updated to reflect the retaining wall located along easterly edge of the driveway located at the end of Conklin Street.
9. The Layout & Landscape Plan notes that the sidewalk is to be constructed out to Delevan Avenue. Offsite improvement plans should be prepared as part of the set to show all offsite improvements proposed.
10. The Emergency Access on the Layout & Landscape Plan is shown to run partially through Lot 22. This access, if to be constructed, should be shifted so that it runs through the common area and not on the individual lots. The access would also need to be constructed in accordance with Appendix "D" of the International Fire Code.
11. A subdivision plan should be prepared for the project showing all proposed parcels, easements, etc.
12. The Grading & Utility Plan should show the location of all water and sewer services to each of the proposed units, sizes of the services, rim and invert elevations for the sewer and storm drainage structures, pipe sizes for the sewer and storm drainage collection systems, and the size of the proposed water main.

13. Although the Preliminary Stormwater Pollution Prevention Plan discusses a phasing plan, we were unable to locate such a plan within the report or the plan set. A construction phasing plan should be prepared for the project and included in the plan set.
14. The Boundary and topographic surveys should be signed and sealed by a New York State Licensed Surveyor.

This completes our review at this time. Further comments may be forth coming based upon future submissions. A written response letter addressing each of the above comments should be provided with the next submission. If you have any questions, or require any additional information, please do not hesitate to contact our office.

Very truly,

LANC & TULLY, P.C.



John Russo, P.E.

cc: John Clarke, Planner
Jennifer Gray, Esq.
David Buckley, Building Inspector