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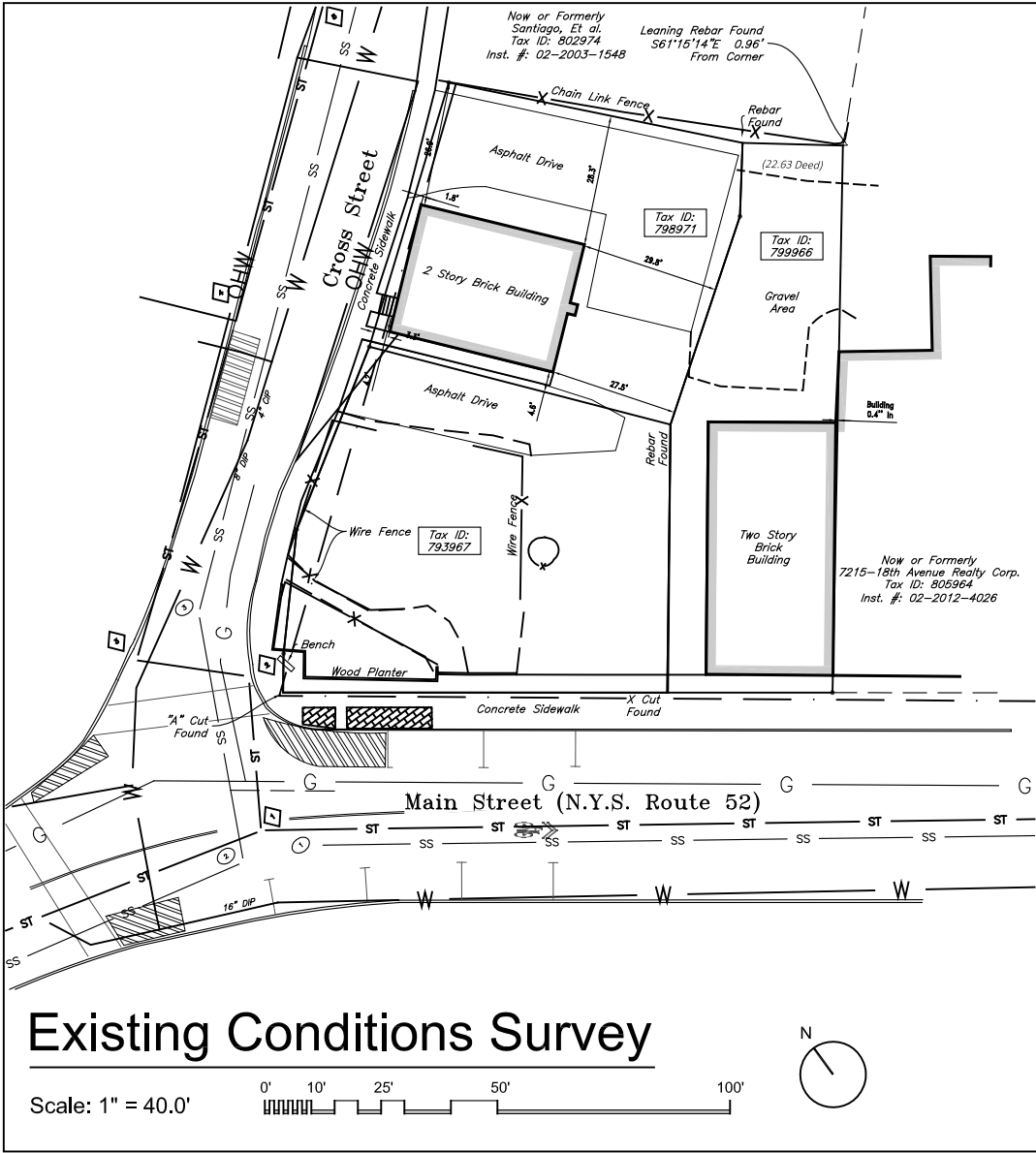
Location Map

Not to Scale



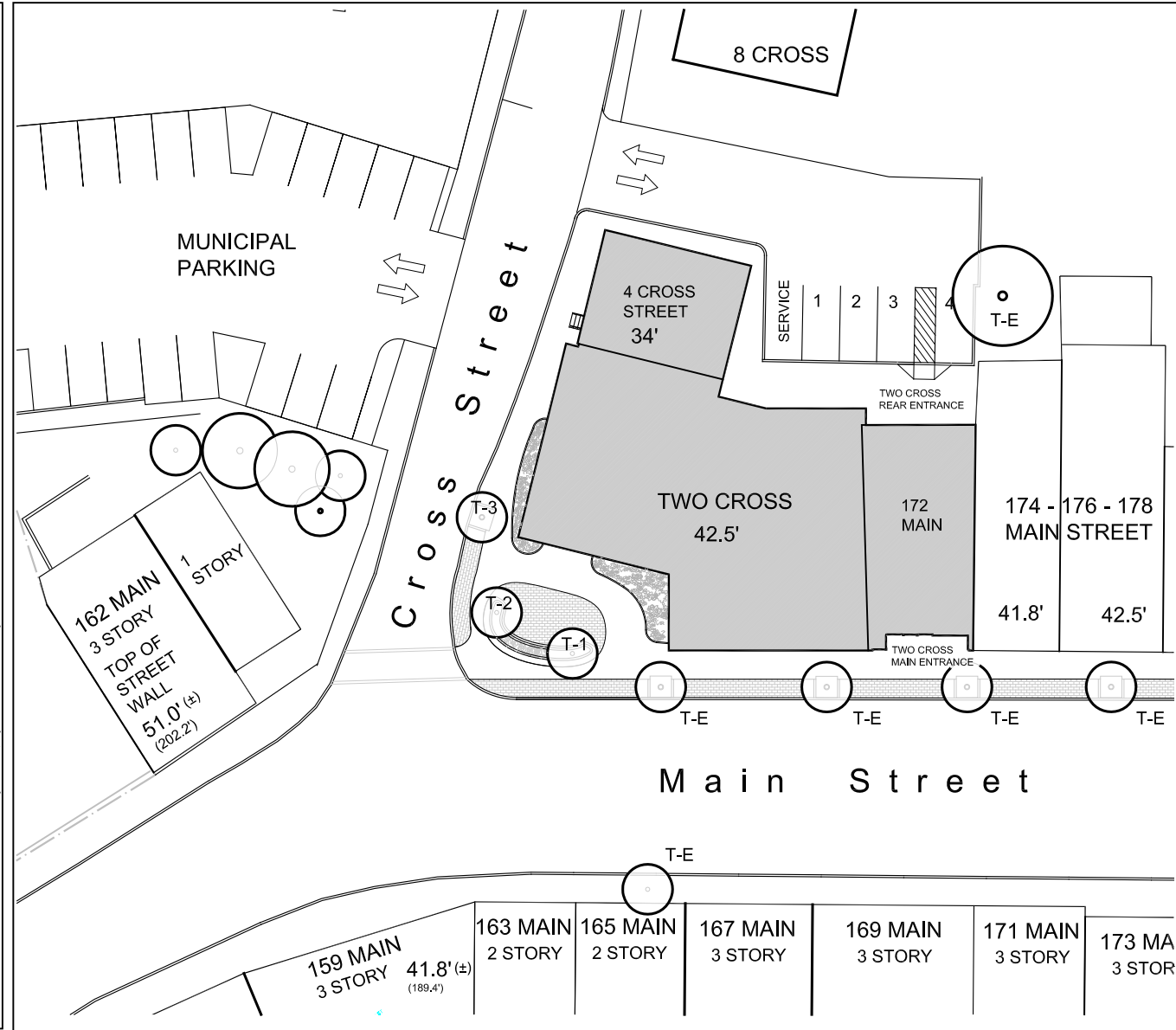
Owner	Design Team			
Hudson Todd, LLC 4 Cross Street Beacon, NY 12508	Architect of Record Joseph E. Torhan Architect 19 Wildwood Drive Poughkeepsie, NY 12603	Design Consultant Austin Harris Architect 27 Harvard Court White Plains, NY 10605	Civil Engineer Hudson Land Design Professional Engineering, P.C. 174 Main Street Beacon, NY 12503	Surveyor TEC Land Surveying, P.C. 15C Tioronda Avenue Beacon, NY 12503





## Exterior Lighting Schedule

Exterior Lighting Program under development, additional information and details to be provided in next submission.



## Plant Schedule

TE ..... Existing tree to remain.  
T1 ..... New tree, Native species TBD

Plant Program under development, additional information and details to be provided in next submission.

## Zoning Summary

Primary Zoning District (Form Based District)

**CMS - Central Main Street**  
Parcel 793967 - Cross Street corner  
Parcel 798971 - Existing 4 Cross Street  
Parcel 799966 - 172 Main Street

Overlay Districts

**Historic District and Landmark**  
Parcel 793967 - Cross Street corner  
Parcel 799966 - 172 Main Street  
NOTE: Parcel 798971 - Existing 4 Cross Street is SCHEDULED TO BE DESIGNATED

**Parking Overlay**  
Parcel 793967 - Cross Street corner  
Parcel 798971 - existing 4 Cross Street  
Parcel 799966 - 172 Main Street

**PB-Business Off-Street Parking**  
Parcel 798971 - existing 4 Cross Street

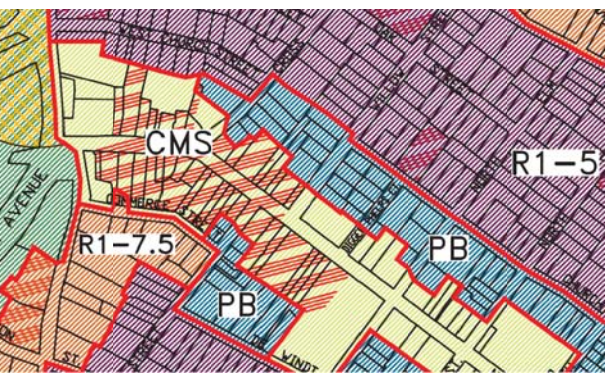
Maximum Building Height = 38 feet, as determined from the average street front level  
Per Article IVD (CMS) § 223-41, E, (6)

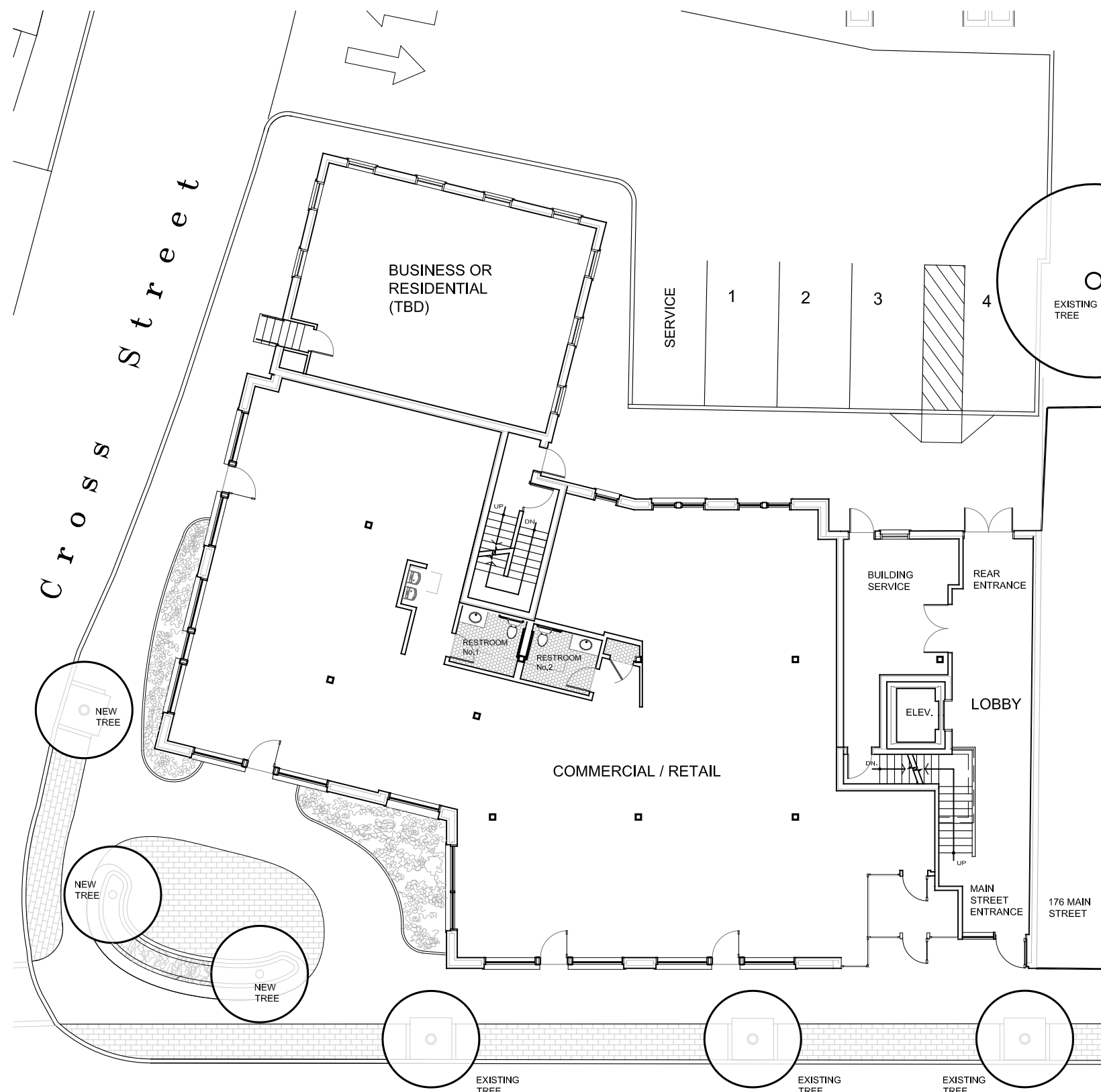
Parapet walls. The provisions of this chapter shall not apply to prevent the erection, above the building height limit, of a parapet wall extending above such height limit less than five feet.  
Per Article III General Regulations § 223-13 F

**2 CROSS STREET MATRIX:**

Square Footage	
Street Level .....	6,912 sf
Second Floor .....	6,912 sf
Third Floor .....	6,912 sf
Fourth Floor .....	5,893 sf
Total Square Footage	26,629 sf

SEE SHEET 10 FOR PARKING INFORMATION

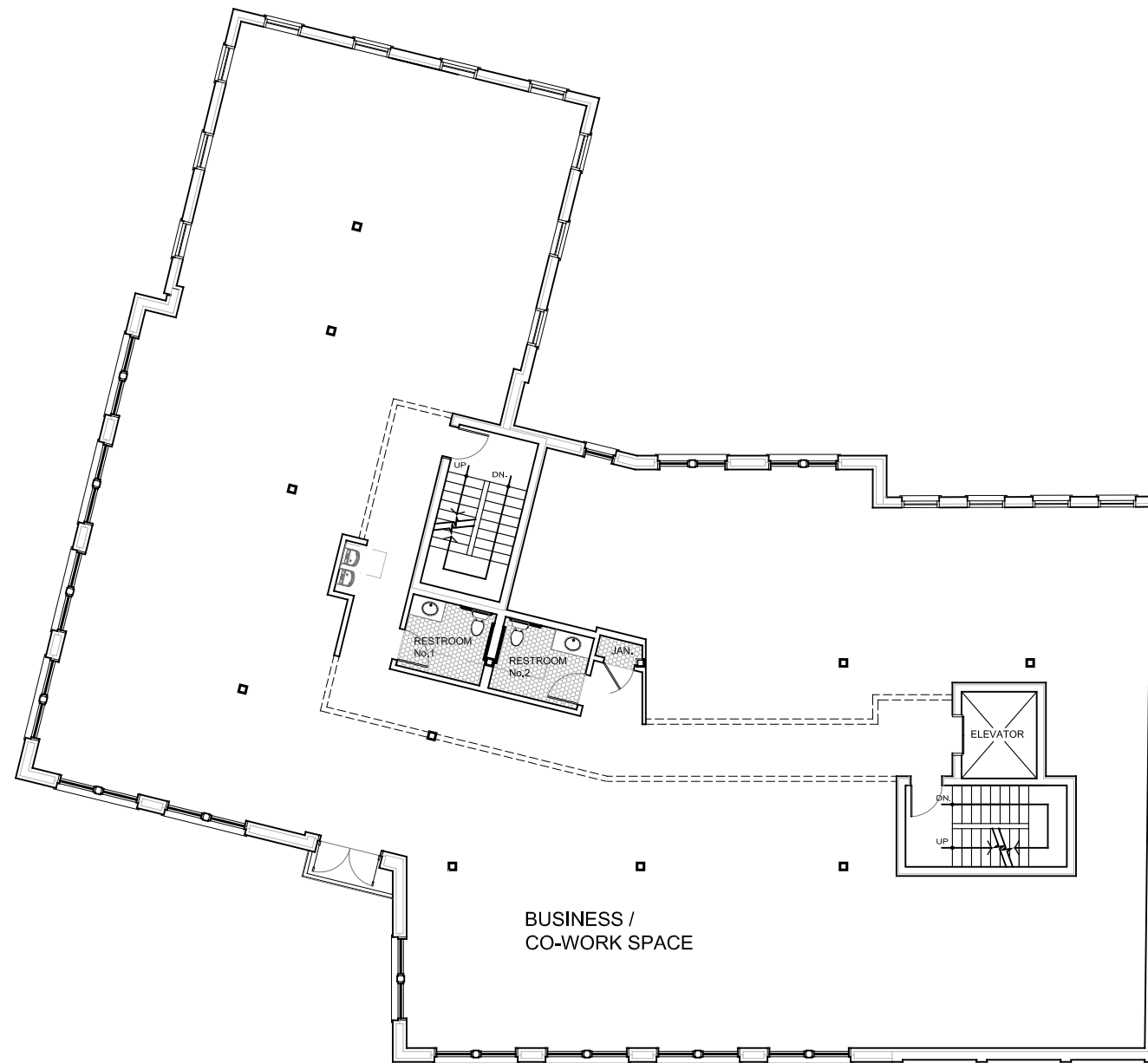




Ground Level Floor Plan  
Flexible Retail Space

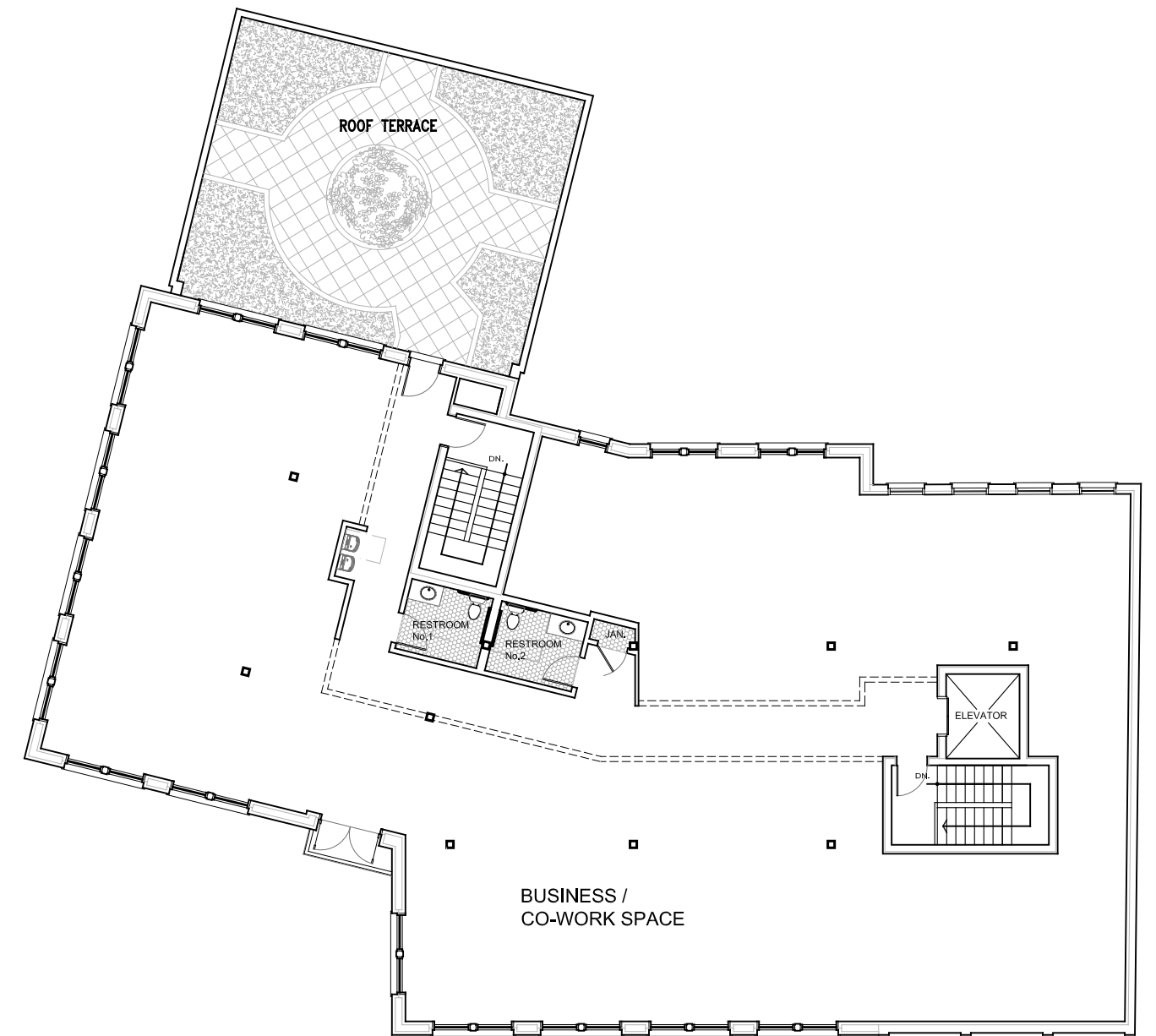


Second Floor Plan  
Affordable and Supportive Residences for Elderly



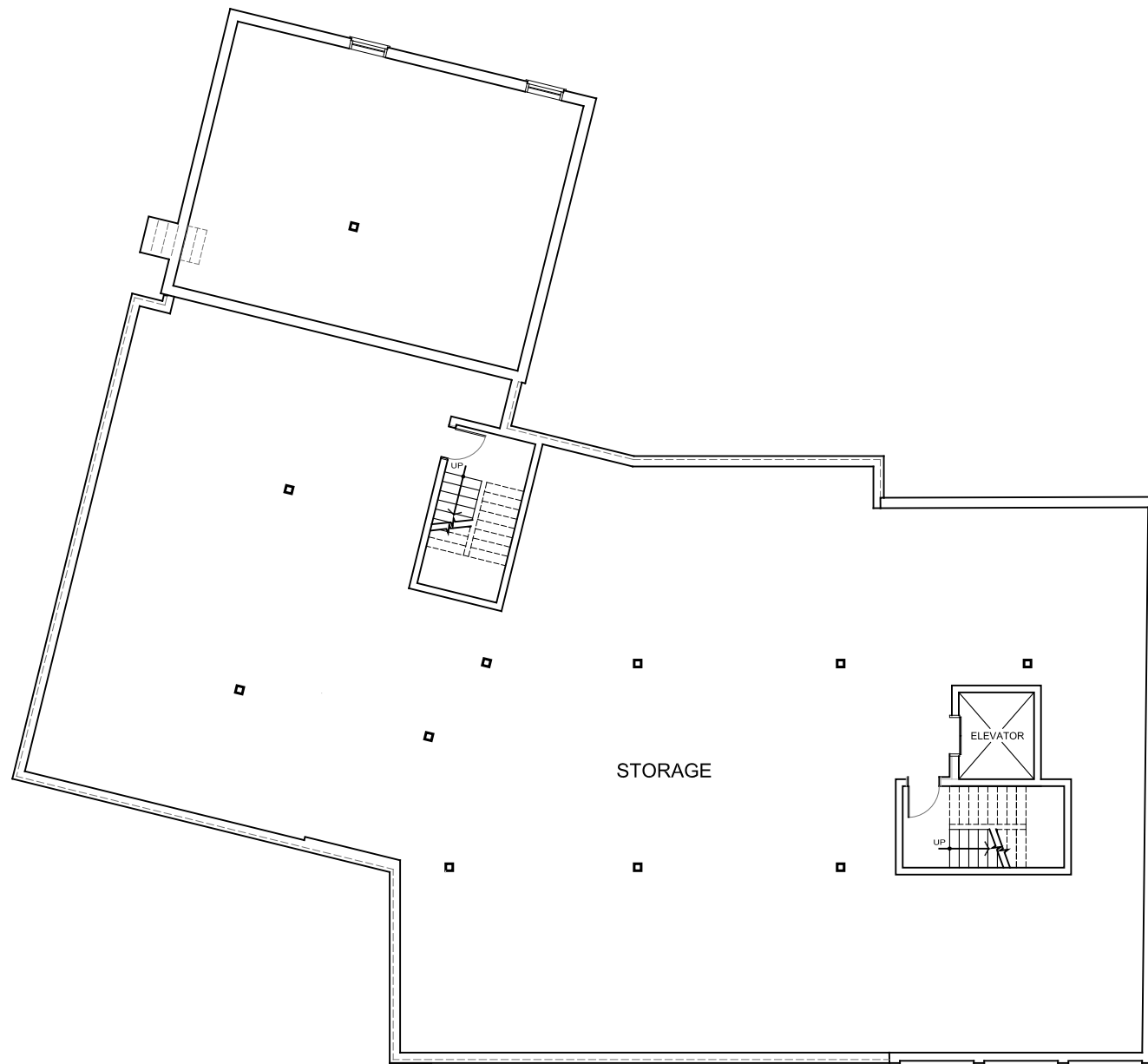
### Third Floor Plan

Bright, Attractive, Flexible Walk-to-Train Workspace

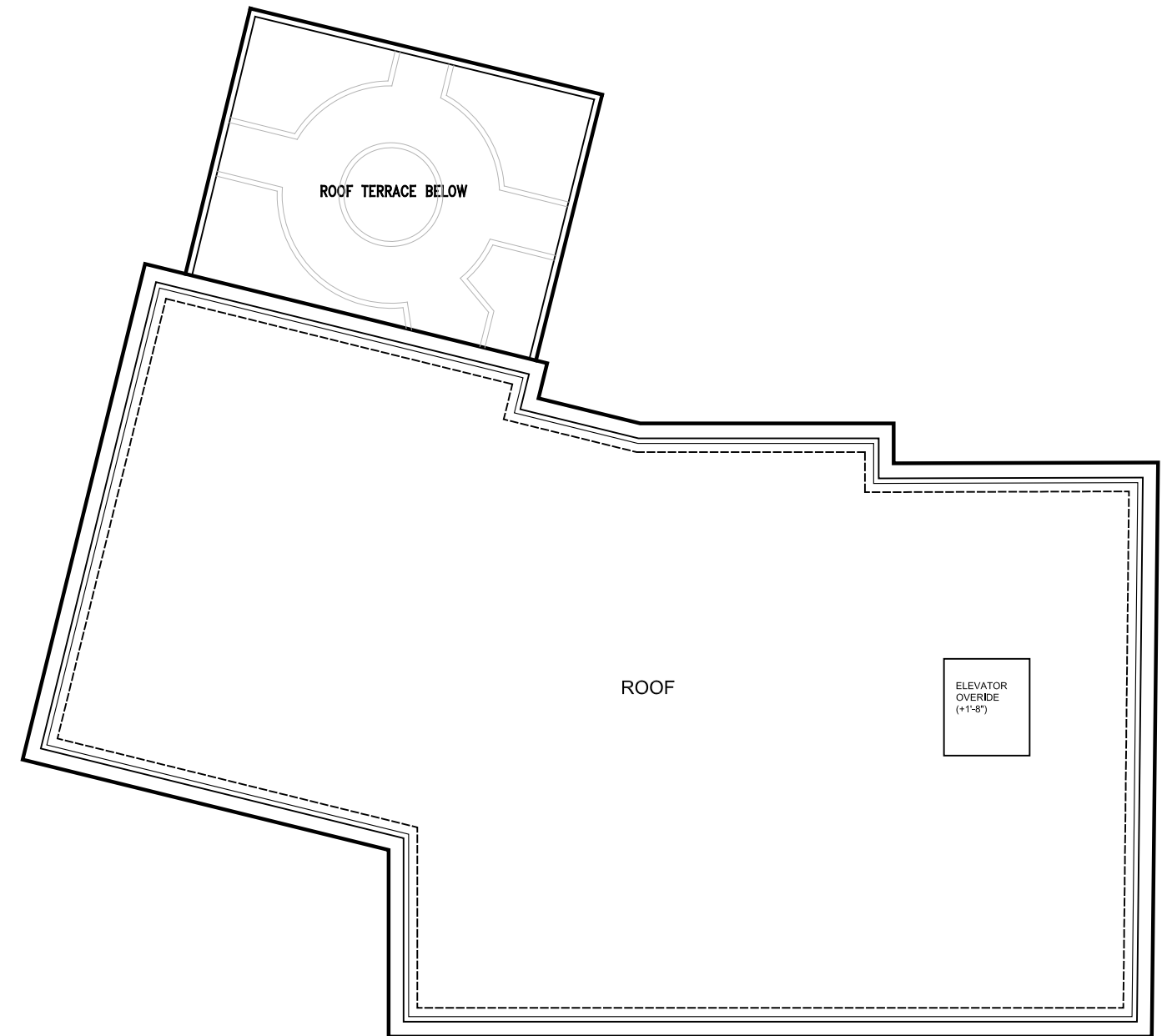


### Fourth Floor Plan





Cellar Floor Plan



Roof Plan





Rear Elevation



Main Street Elevation

Cornice Lines and Facade No Taller Than Neighboring 19th C Buildings

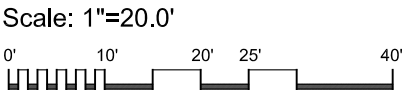






Photo View Looking West



View Looking West



Two Cross Profile Line Added

Details and Materials Matching the Existing Context





Photo - View Looking East



Two Cross Profile Line Added



View Looking East

Highest Quality Materials and Details for a Prominent Location





Looking West 20th C



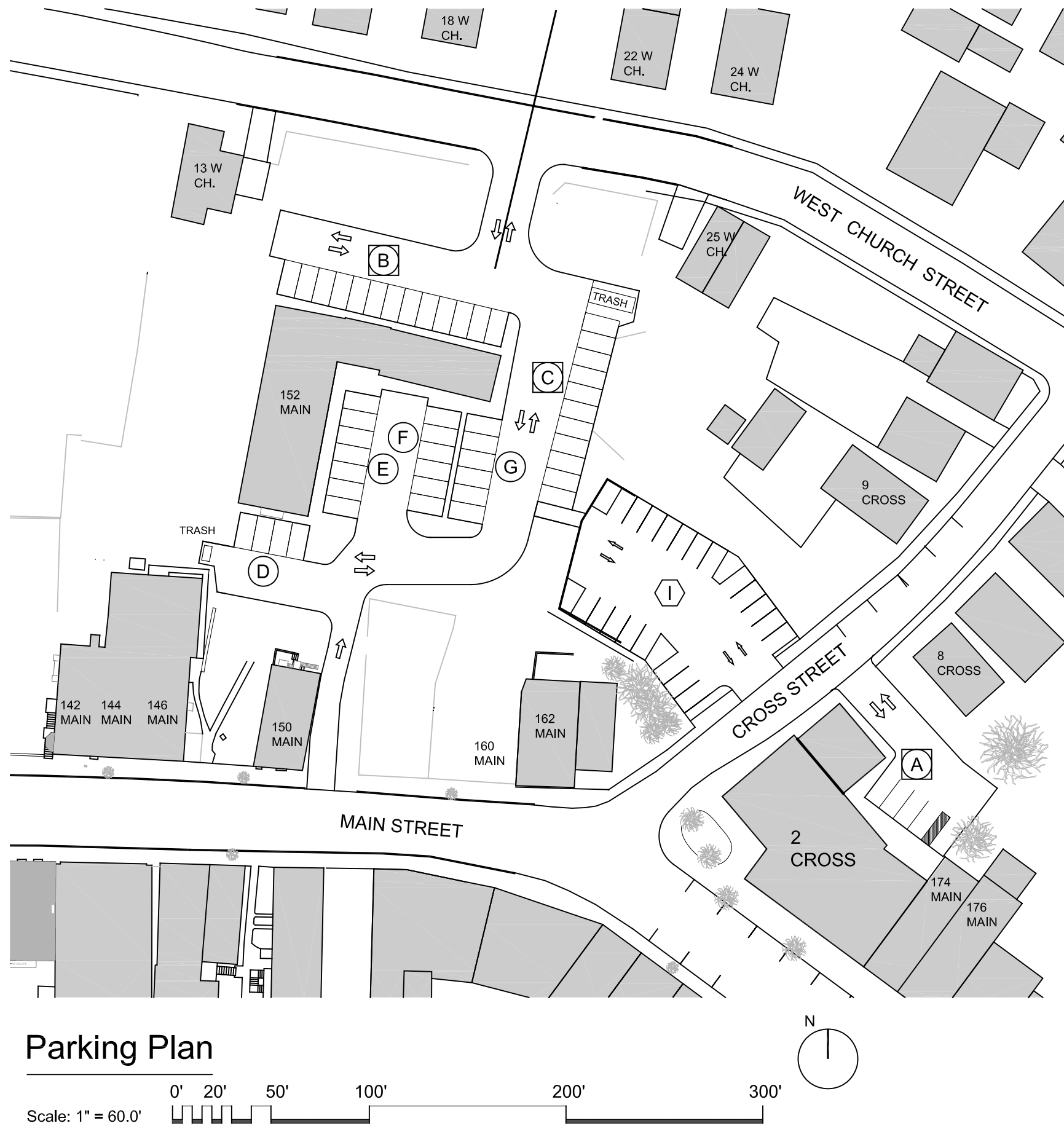
Looking East 20th C



Bird's-eye View

Landscaped Plaza Permanently Open to the Public





Parking Plan

### Parking Summary and Zoning

A

5 SPACES (@ Two Cross Street)

B

13 SPACES

C

11 SPACES

29 SPACES DEDICATED TO TWO CROSS

D

4 SPACES

E

7 SPACES

F

6 SPACES

G

6 SPACES

23 SPACES DEDICATED TO 152 MAIN STREET

I

20 EXISTING PUBLIC SPACES

20 PUBLIC SPACES

72 TOTAL SPACES

Required Off Street Parking for 2 Cross Street: AS-OF-RIGHT

Retail Use: 2 spaces per 1000 square feet of floor area.  
Per Article IVD (CMS) § 223-41, G, (2), (c).

Senior Citizen Residential Use: 1 spaces per 1unit.  
Per Article IVD (CMS) § 223-41, G, (2), (a).

Office Use: (Office and Non-Retail Commercial) 2 spaces per 1000 square feet of floor area.  
Per Article IVD (CMS) § 223-41, G, (2), (b).

Existing Off-Street Parking at 152 Main Street (Lindley Todd Lot):

EXISTING MAPPED SPACES AT 152 MAIN STREET = 21 SPACES

Existing public Parking off Cross Street:

EXISTING PUBLIC SPACES = 20 SPACES

TWO CROSS STREET MATRIX:

Square Footage	
Street Level	6,912 sf
Second Floor	6,912 sf
Third Floor	6,912 sf
Fourth Floor	5,893 sf
Total Square Footage	26,629 sf

Off-Street-Parking: AS-OF-RIGHT

Retail Use at Street Level - 2 per 1000 sf	14 spaces
9 Senior Citizen Residential Units - 1 per unit	9 spaces
Office Use - 2 per 1000 sf	28 spaces
Total Spaces Required (AS-OF-RIGHT)	51 spaces

Off-Street-Parking: REQUESTED CONSIDERATION

Retail Use at Street Level - 2 per 1000 sf	0 spaces
9 Senior Citizen Residential Units - 1 per unit	3 spaces
Office Use - 2 per 1000 sf	26 spaces
Total Spaces Proposed	29 spaces

Proposed Off-Street-Parking at:  
Two Cross Street, 152 Main Street and the Existing Public Lot

Total Spaces Proposed: = 72 spaces

Two Cross Street - Hudson Todd LLC

August 27, 2019 10 of 11



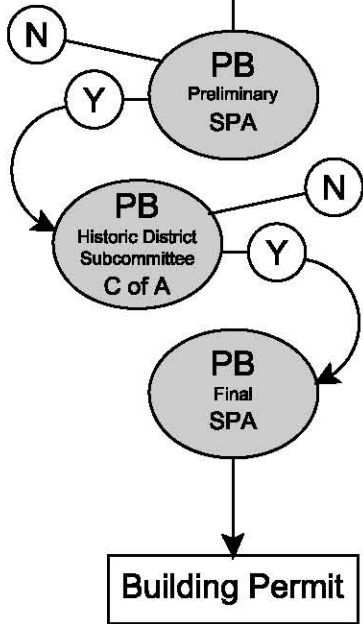
Height of Street Facade & Cornice Identical for Both Proposed Four Story and As-of-Right Designs.



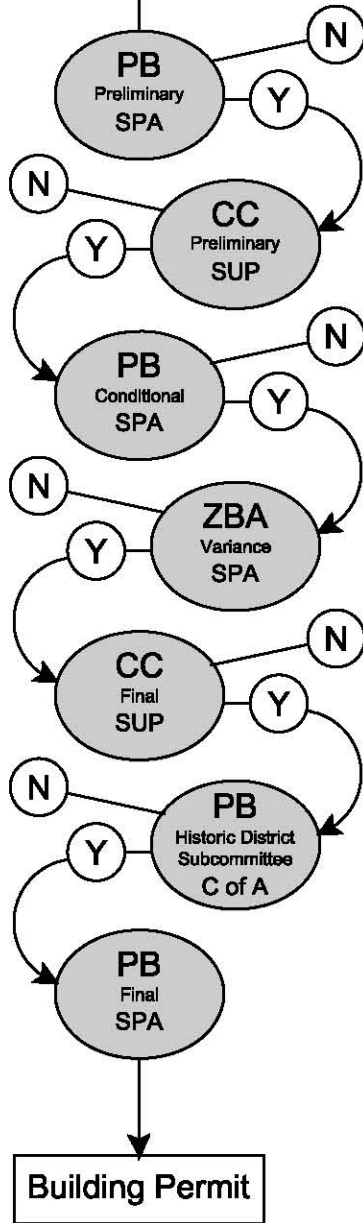
As-of-Right Design



Approval  
Process  
Steps



Four Story Design



Benefits Made Possible by  
Special Use Permit and Variance.

- Southwest Facing Landscaped Public Plaza with Amenities and Design TBD in Negotiations with City.
- Supportive Apartments for Elderly Persons.
- Increased Workspace for Office Employment on Main Street.

Abbreviations:

- PB ..... Planning Board  
SPA..... Site Plan Approval  
CC ..... City Council  
SUP.....Special Use Permit  
ZBA ..... Zoning Board of Appeals  
C of A..... Certificate of Appropriateness  
N..... Not Approved to Proceed  
Y..... Approved to Proceed