



**1 VICINITY MAP**  
A1 1/2" = 1'-0"

**HOURS OF OPERATION**

SUNDAY - THURSDAY: 10AM - 9PM  
FRIDAY - SATURDAY: 10AM - 12AM

PARKING TABLE (CMS ZONING DISTRICT)				
USE	REQUIRED SPACES	PARKING CRITERIA	SPACES REQUIRED	PROVIDED SPACES
EXISTING NONRESIDENTIAL COMMERCIAL	TWO SPACES PER 1,000 SF OF FLOOR AREA	1100 SF	2	EXISTING: 0 ONSITE, STREET PARKING DIRECTLY ADJACENT TO RESTAURANT, MUNICIPAL PARKING DIRECTLY ACROSS AND WITHIN 800 FEET
PROPOSED		3900 SF	8	0 ONSITE, STREET PARKING DIRECTLY ADJACENT TO RESTAURANT, MUNICIPAL PARKING DIRECTLY ACROSS AND WITHIN 800 FEET

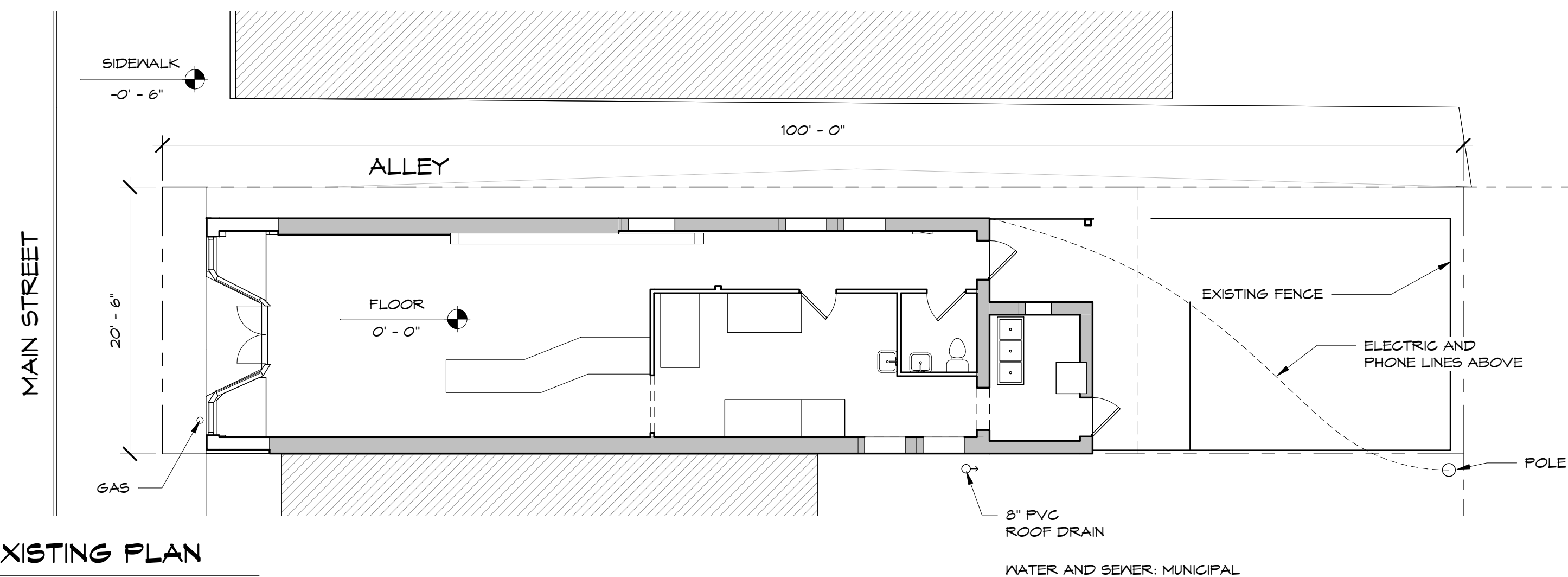
SECTION 223-41.18 REGULATIONS (3) (b) THAT THERE IS SUFFICIENT PUBLIC PARKING AVAILABLE WITHIN 800 FEET OF THE SITE AND WITHIN THE CMS OR P8 DISTRICTS TO MEET FORESEEABLE PARKING NEEDS OF THE PROPOSED USE AND SURROUNDING USES FOR THE DURATION OF THE PROPOSED USE.

SECTION 223-26 OFF-STREET PARKING, LOADING AND VEHICULAR ACCESS. RESTAURANT OR COFFEE HOUSE: 1 SPACE FOR EACH 3 PATRON SEATS OR ONE SPACE FOR EACH 150 SQUARE FEET OF GROSS FLOOR, EXCLUDING KITCHEN AND STORAGE AREAS, WHICHEVER IS GREATER. (11 SPACES FOR 1544 SF)  
\*VARIANCE REQUIRED FOR PARKING\*

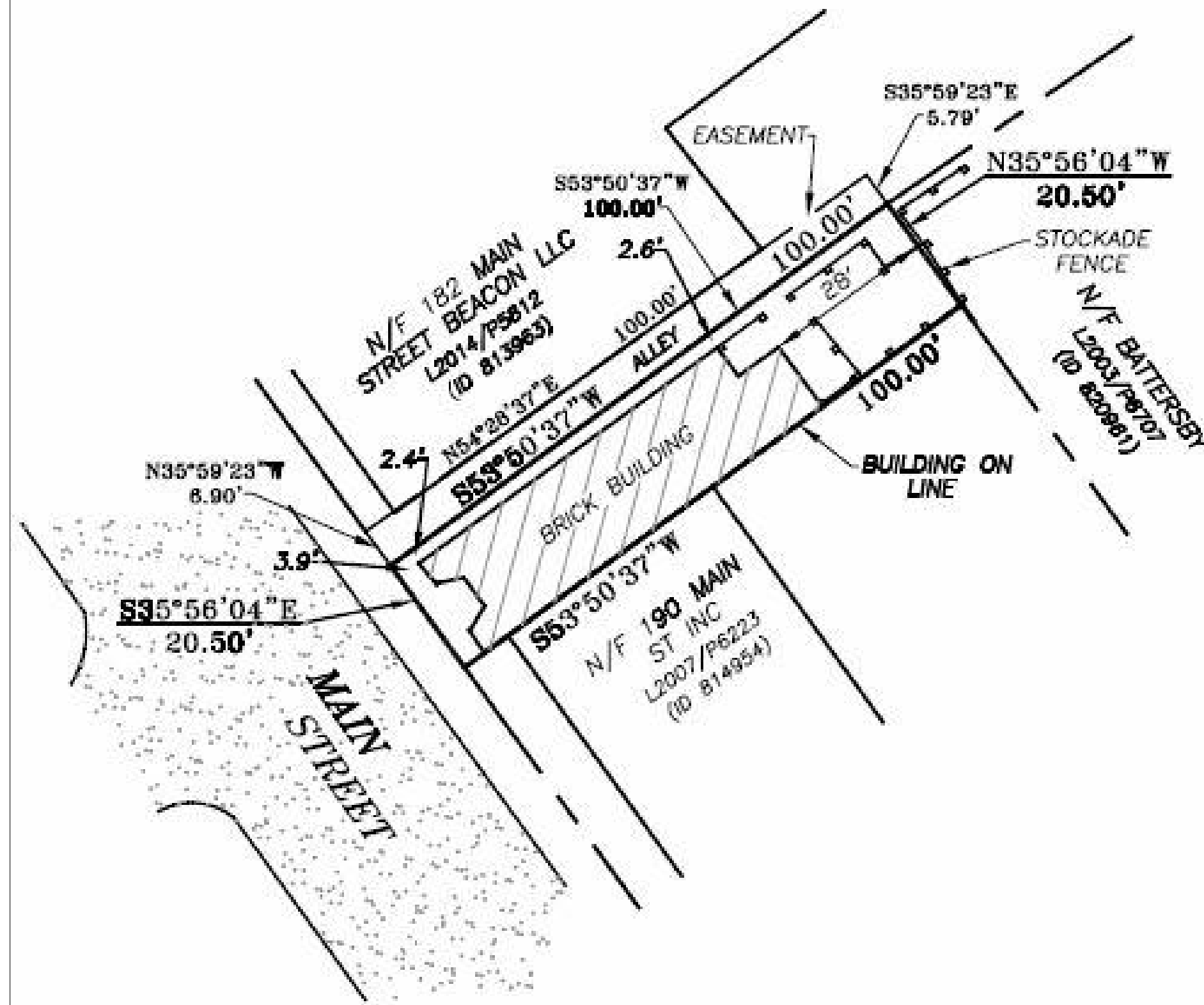
Zoning Compliance Schedule		
Code/Standard	Required	Proposed
223-41.18 A (7) Uses by right.	Restaurant, coffee house, brew pub	Restaurant
223-41.18 E (1) Front Setback	Minimum zero, maximum 10'	3'-10"
223-41.18 E (3) Side Setback	Minimum zero	zero
223-41.18 E (4) Rear setbacks	100'+ - 25' > 100' - 10'	10'
223-41.18 E (5) Minimum Frontage Occupancy	100%	100%
223-41.18 E (6) Minimum Building Height	Minimum two stories	two stories
Design Standards (223-41.18)		
	Top-floor cornice feature and first-floor architectural articulation	Top floor with storefront
	Architectural features on all sides that are visible from street	Architectural features (windows, columns) featured on all visible sides
	Bay windows extend up to 4' over sidewalk	Bay window extends 3'
	first floor to have 70% glass	83%
	second floor to have 30% glass	57%
	finish materials to be stone, brick,	materials to be brick, glass, wood

\*VARIANCE REQUIRED FOR PROPOSED REAR SETBACK.

**2 EXISTING PLAN**  
A1 1/8" = 1'-0"



WATER AND SEWER: MUNICIPAL



**LEGEND**  
 ○ IRF/APP    N/F/RF IRON PIPE/ROD FOUND  
 — UTILITY LINE AND POLE  
 - - - - - ADJOINING PROPERTY LINE

**NOTES:**

PROPERTY LINE AS SHOWN ARE BASED ON DEEDS OF RECORD AND FILED MAPS.

THIS IS AN ACCURATE SURVEY COMPLETED IN THE FIELD OCTOBER 2018

SUBJECT TO ALL EASEMENTS AND/OR AGREEMENTS THAT THE PUBLIC UTILITY COMPANIES MAY HAVE.

ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYORS SEAL OR HIS/HER EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES

GUARANTEES OR CERTIFICATIONS INDICATED HEREON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS. SAID GUARANTEES OR CERTIFICATIONS SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. GUARANTEES OR CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

SUBJECT TO ALL RIGHT OF WAY TAKINGS NOT SHOWN OR FOUND IN COUNTY OR TOWN RECORDS

**REFERENCES:**  
-2017/2360

**LAND AREA**  
2,048.98 +/- -5F

SURVEY FOR  
**MIKE ARNOFF**  
CITY OF BEACON  
DUTCHESS COUNTY, NEW YORK

PROJECT TITLE  
**STEVEN J. GREEN PLS**  
LICENSE NO. 050585  
P.O. BOX 854, GOSHEN, NY 10924  
(845) 676-1872

STEVEN J. GREEN PLS    LICENSE 050585    DATE 3/26/2019

UNAUTHORIZED ALTERATION OR ADDITION TO A PLAN REQUIRES A LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER'S SEAL AS A VIOLATION OF SECTION 7006 SUB-DIVISION 2 OF THE N.Y. STATE EMBOSSED SEAL LAW

SCALE	PROJECT	CAD REFERENCE
1" = 20'	J18-081	
PAPER ID	DATE	DWG NO
811965	10/4/2018	1 of 1



**3 FRONT ELEVATION**  
A1 1/8" = 1'-0"



Approved by Resolution of the Beacon Planning Board on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_  
subject to all conditions as stated therein

Chairman, City Planning Board

DRAWN BY:  
GL

PROJECT NO:  
18-121

DATE:  
03/27/2019

SHEET NO:  
**A1**

PROGRESS PRINT NOT FOR CONSTRUCTION

Creating spaces and places of lasting beauty

**ALFANDRE ARCHITECTURE**

231 Main Street, Suite 201, New Paltz, NY 12561 845.255.4774  
www.alfandre.com

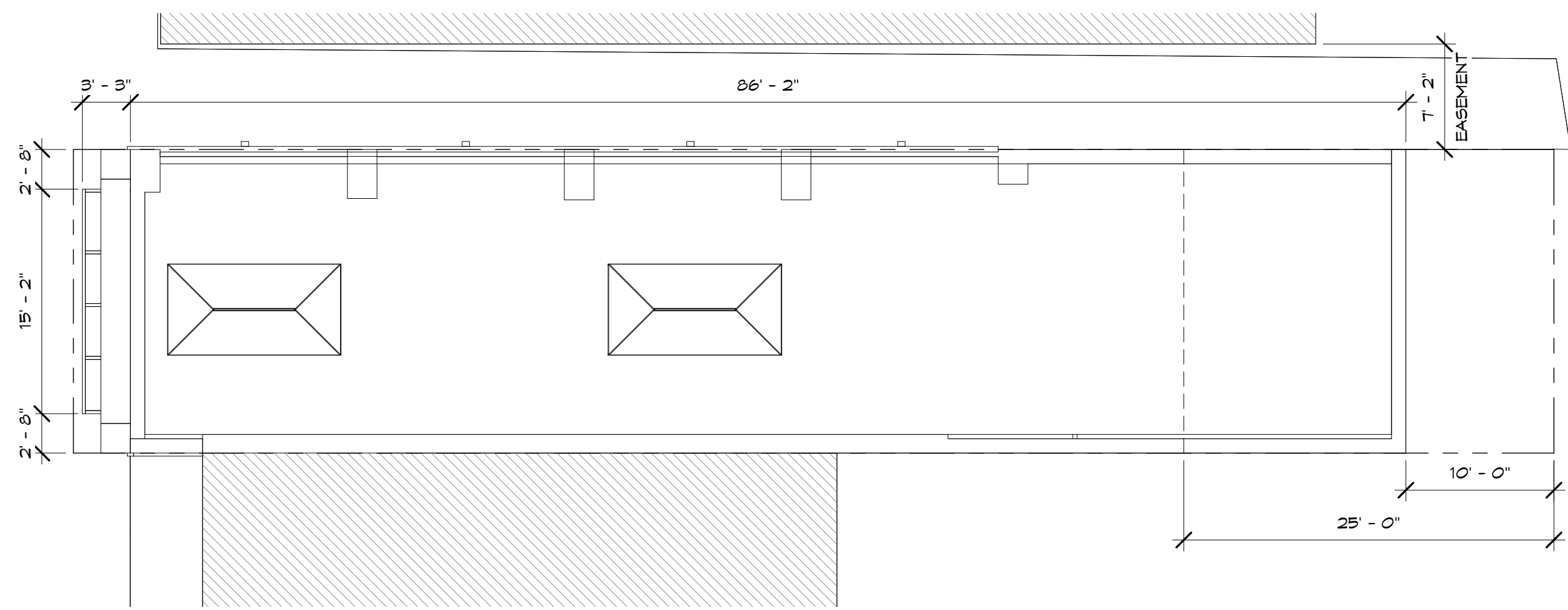
SCHEMATIC DESIGN

**MEYER'S OLDE DUTCH**

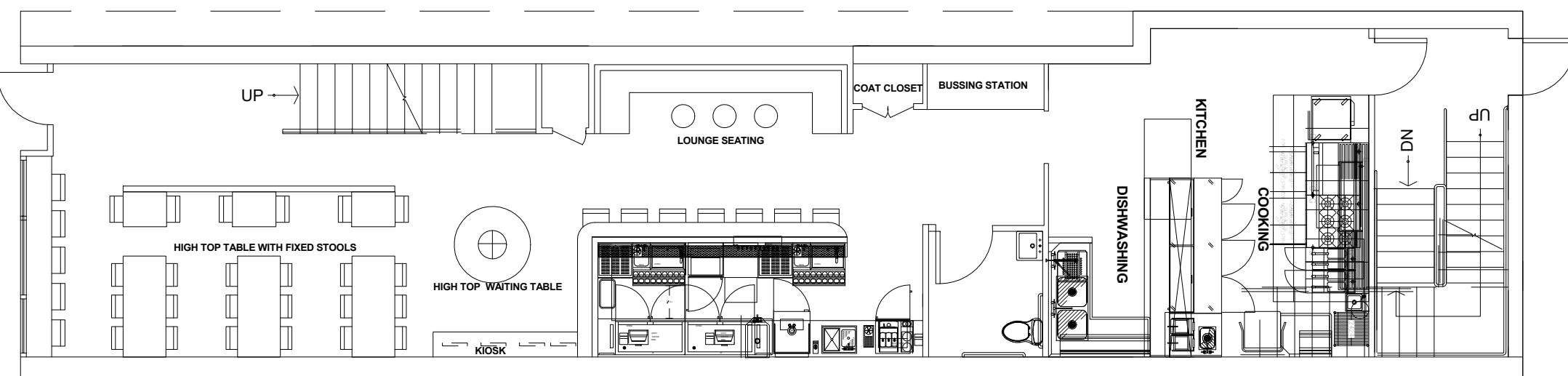
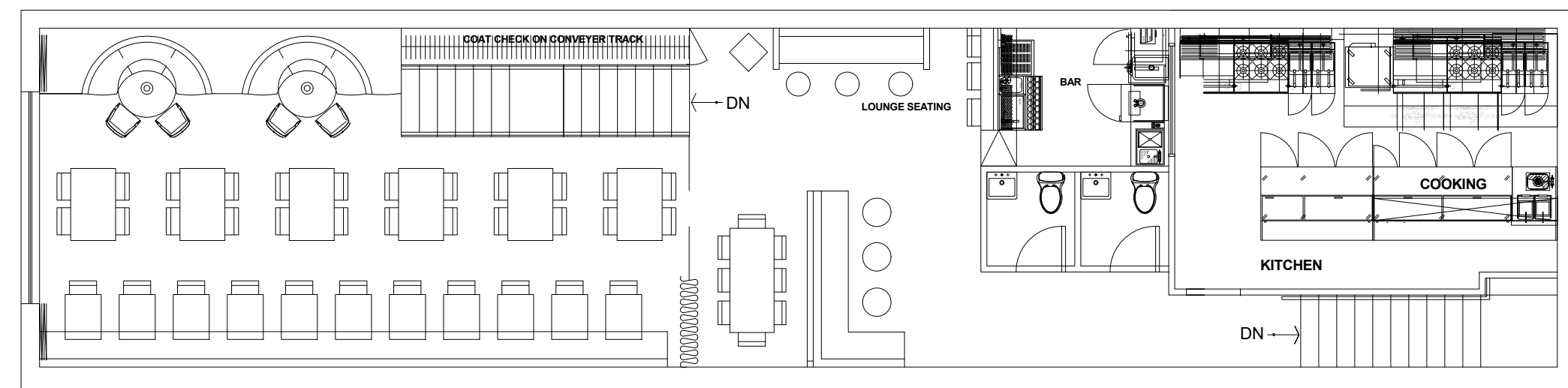
MAIN STREET, BEACON, NY 12508

EXISTING SITE AND BUILDING

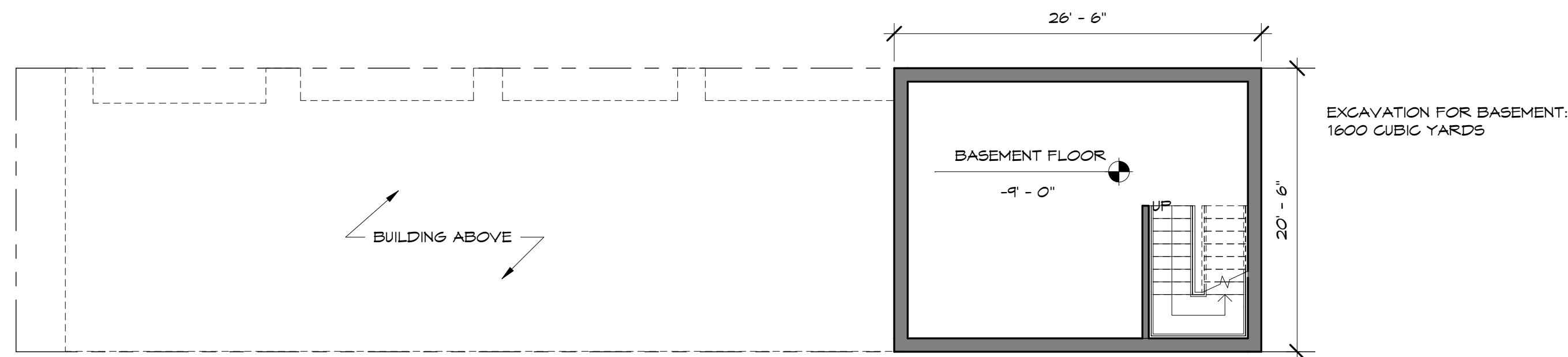
IT IS UNLAWFUL TO MODIFY A DOCUMENT BEARING THE SEAL AND SIGNATURE OF A LICENSED ARCHITECT



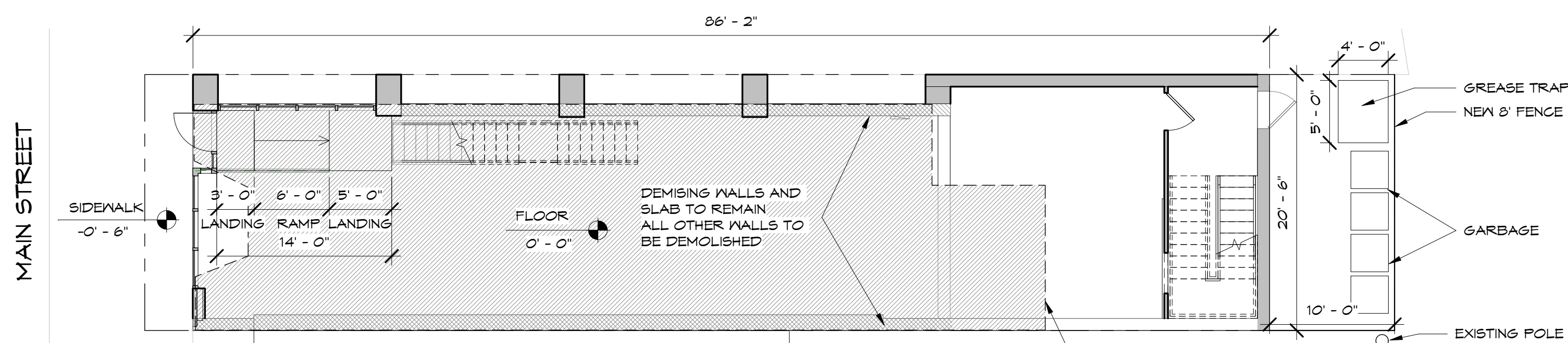
1 PROPOSED SITE PLAN  
A2 1/8" = 1'-0"



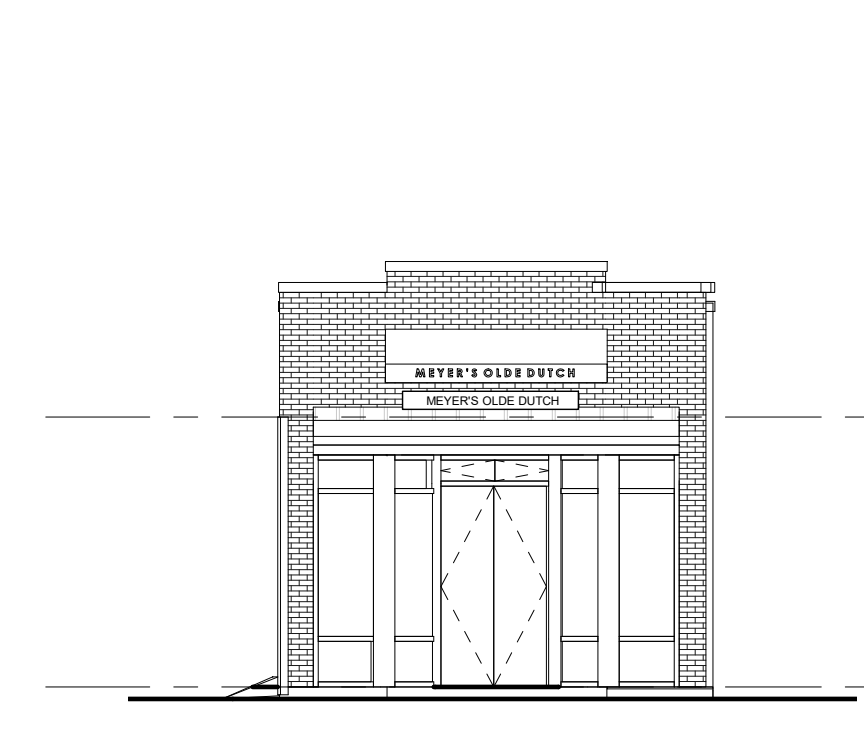
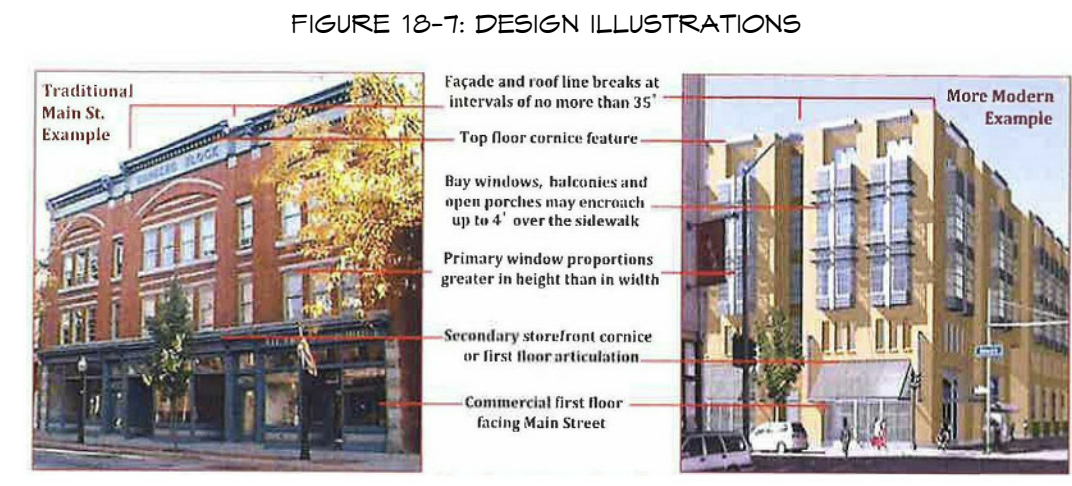
2 PRELIMINARY PLANS  
A2 1/8" = 1'-0"



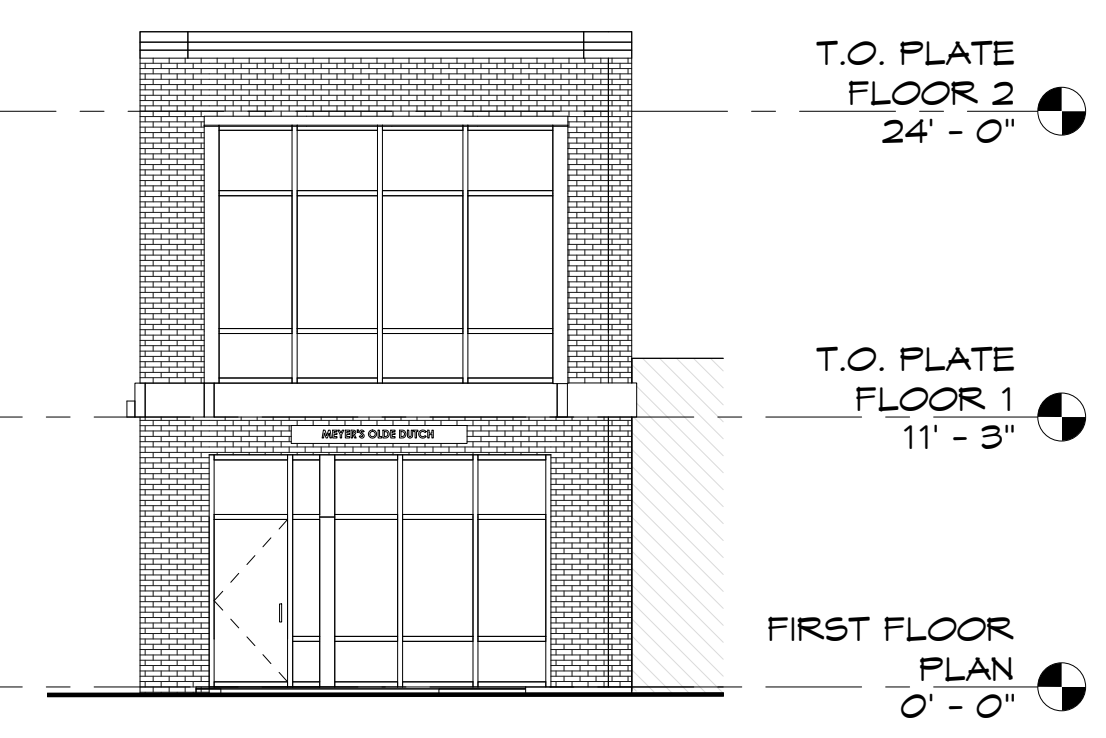
6 BASEMENT PLAN  
A2 1/8" = 1'-0"



5 FIRST FLOOR EXISTING VS PROPOSED  
A2 1/8" = 1'-0"



8 EXISTING FRONT ELEVATION  
A2 1/8" = 1'-0"



7 PROPOSED FRONT ELEVATION  
A2 1/8" = 1'-0"



MEYER'S OLDE DUTCH

EXISTING SIGN TO REMAIN

9 SIGNAGE  
A2 1/2" = 1'-0"

Features & Specifications

Optical System

- High-performance Chip On Board (COB) LEDs behind clear tempered glass for maximum light output.
- 3000K / 4000K / 5000K color temperatures.
- Minimum CRI of 75.
- Zero spillage.

Electrical

- High-performance driver features over-voltage, under-voltage, short-circuit and over-temperature protection.
- 20 volt dimming 10% - 100% standard.
- Standard Universal Voltage 120V-277 VAC Input 50/60 Hz
- 1.2% Flicker-Free >1000 Hours
- Total Harmonic Distortion <20%
- Power factor >.95
- Heat power stays constant over life.
- Driver Chip-Stack Power is 0 watts.
- Chip On Board (COB) LEDs with integrated circuit board mounted directly to the housing to maximize heat dissipation and promote long life.
- Components are fully encased in potting material for moisture resistance. Older models with PCB standards. Driver and key electronic components can easily be accessed.
- Minimum 2.5M surge rating

Controls

- Optional 120V electronic button Photocell.
- Apertures for field or factory installed photocell.

Dimensions

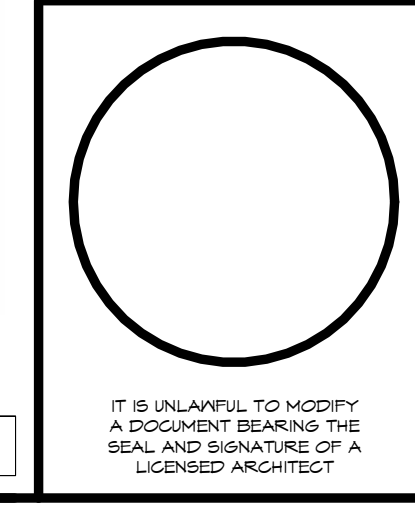
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DRAWN BY:	GL
PROJECT NO:	18-121
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SCHEMATIC DESIGN

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MAIN STREET, BEACON, NY 12508

PROPOSED RESTAURANT

PROGRESS PRINT NOT FOR CONSTRUCTION