

- I. Property Profile**
- |      |                    |                                |
|------|--------------------|--------------------------------|
| 1.1. | Block No           | 26                             |
| 1.2. | Lot No             | 724907                         |
| 1.3. | Zoning District    | R1-7.5                         |
| 1.4. | Overlay            | Historic District and Landmark |
| 1.5. | Lot Area           | 20,790 SQ FT                   |
| 1.6. | Building Footprint | 1,409 SQ FT                    |
| 1.7. | No. Of Floors      | 2.5                            |
| 1.8. | Owner of Record    |                                |

EPISCOPAL DIOCESE OF NEW YORK  
1047 AMSTERDAM AVE.  
NY, NY 10025

Applicant:  
REV JOHN WILLIAMS  
15 SOUTH AVE.  
BEACON, NY 10025

Prepared By:  
BARRY DONALDSON ARCHITECTS  
14 KING ST.  
CROTON ON HUDSON, NY 10520

**2. GENERAL NOTES**

- |      |  |
|------|--|
| 2.1. | Conversion of existing single family home into 3 unit apartment. |
| 2.2. | Existing contours to remain unchanged.                           |
| 2.3. | Existing building footprint to remain unchanged.                 |
| 2.4. | Property is not in a flood zone.                                 |
| 2.5. | No new signage.  |
| 2.6. | No new fences or retaining walls.                                |

**3. LANDSCAPING NOTES**

- |      |                         |
|------|-------------------------|
| 3.1. | No trees to be removed. |
|------|-------------------------|

**WATERFRONT REVITALIZATION PROGRAM NOTE**

WE CERTIFY THAT THIS PROJECT CONFORMS TO THE STANDARDS AND SPIRIT OF BEACON'S WATERFRONT REVITALIZATION PROGRAM. THE PROJECT WILL IMPROVE THE SCENIC AND HISTORIC QUALITY OF THE SITE, AS WELL AS IMPROVE DRAINAGE, AND LANDSCAPING.

**INFLOW AND INFILTRATION NOTE**

WE CERTIFY THAT THE SITE HAS NO ILLEGAL CROSS CONNECTION BETWEEN SEWER AND DRAINAGE. ROOF LEADERS DRAIN TO SURFACE. NO SLUMP PUMP OR SITE DRAINS. MAIN HOUSE DRAIN IS TIED DIRECTLY INTO CITY OF BEACON SEWER SYSTEM

**LANDSCAPING SCHEDULE**

LOCATION	TYPE	CALIPER	AMOUNT
FRONT YARD	LINDEL	4"	5
NEXT TO TRASH STORAGE	BOXWOOD		4
SOUTH AVE PARKING LOT	BOXWOOD		7
SOUTH SIDE OF PARKING LOT	BOXWOOD		8
WEST SIDE OF PARKING LOT	BOXWOOD		5

**PARKING REQUIREMENTS SCHEDULE**

	CODE MIN.	CALCULATED AMOUNT	ACTUAL PROVIDED
SPACES PER UNIT	1	3	
ADDITIONAL SPACES PER BEDROOM	0.25	1.25	
		4.25	6

**ZONING REGULATION SCHEDULE**

R1-7.5	MINIMUM	ACTUAL	NOTE
MINIMUM LOT SIZE	7,500 SQ FT	20,790 SQ	PASS
LOT AREA PER DWELLING UNIT	7,500 SQ FT	6,930 SQ FT	PASS
MINIMUM FRONT YARD	30 FT	20 FT	PRE-EXISTING
MINIMUM SIDE YARD	10 FT		PASS
MINIMUM REAR YARD	30 FT	N/A	
MAXIMUM HEIGHT	2.5 AND 35	32 FT	PASS
MAXIMUM BUILDING COVERAGE	30%	7%	PASS
MULTIPLE FAMILY	N/A		BY SPECIAL PERMIT



AREA MAP  
NOT TO SCALE

- GRASS
- NEW TREE OR SHRUB
- ASPHALT
- CONCRETE
- REMOVALS
- OHW — OVERHEAD POWER LINES
- SS — SEWER

03		
02	3/12/19	PLANNING DEPT. SUBMITTAL
01		DESIGN DEVELOPMENT
NO	DATE	ISSUE
ISSUE RECORD		
SEAL & SIGNATURE		

**BARRY DONALDSON ARCHITECTS**  
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EMAIL BDA@BARRYDONALDSONARCHITECTS.COM

PROJECT  
**Renovation of 21 South Ave.**  
21 South Ave.  
Beacon, NY  
12508

DRAWING TITLE  
**SITE PLAN**

JOB NO. 8032-01-01  
DATE 3/12/19  
SCALE 1" = 10'

DRAWING NO.

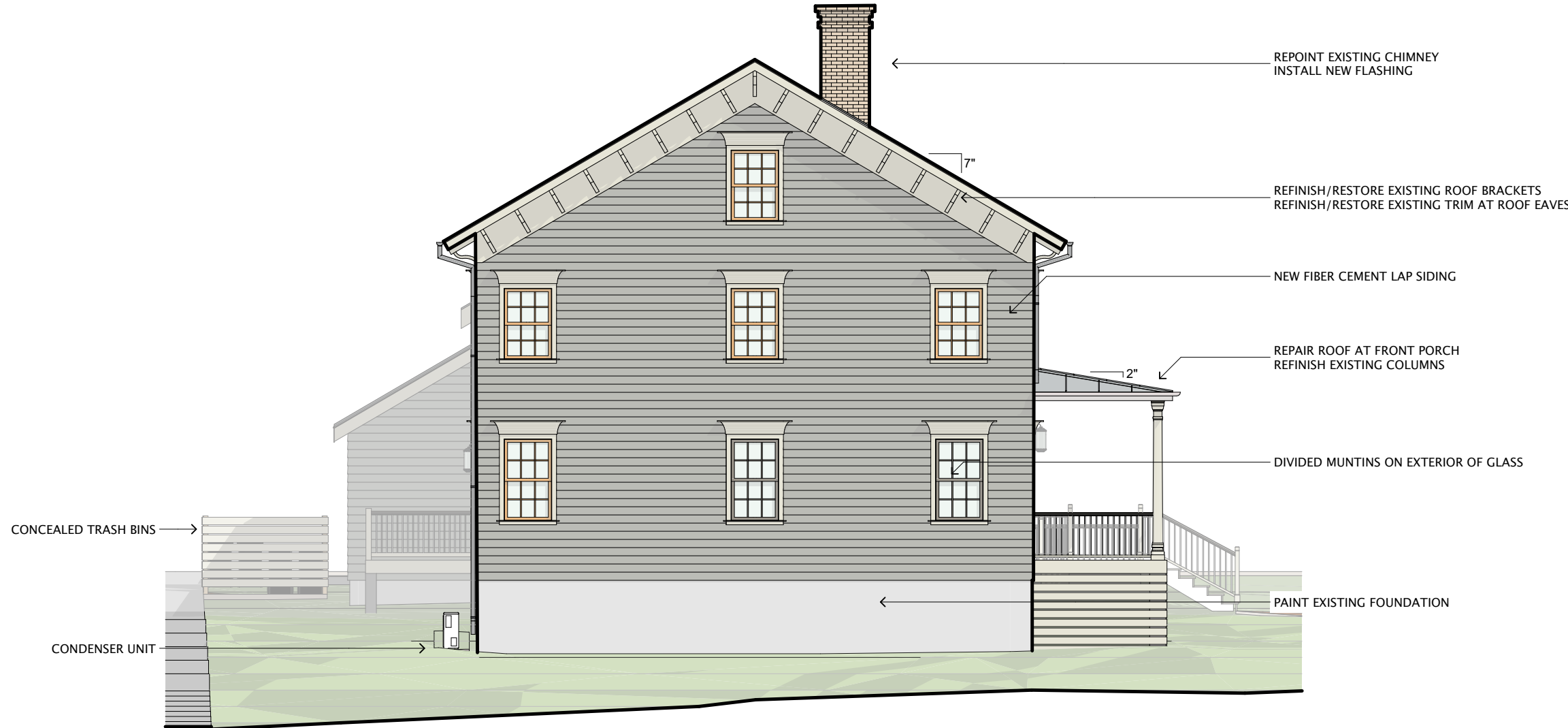


01





**C1** SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



**C2** WEST ELEVATION  
SCALE: 1/8" = 1'-0"



**A1** NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



**A2** EAST ELEVATION  
SCALE: 1/8" = 1'-0"

WINDOW SCHEDULE

TYPE	DESCRIPTION	MANUFACTURER	MODEL	WIDTH	HEIGHT	EXTERIOR FINISH	EXTERIOR FINISH SWATCH	INTERIOR FINISH	DIVIDERS	AMOUNT	NOTES
1	DOWNSTAIRS DOUBLE HUNG	MARVIN	ULTIMATE DOUBLE HUNG NEXT GENERATION	3'	5'-0"	STONE WHITE		WHITE OAK	6x6 EXTERIOR MUNTINS	13	
2	UPSTAIRS DOUBLE HUNG	MARVIN	ULTIMATE DOUBLE HUNG NEXT GENERATION	3'	4'5"	STONE WHITE		WHITE OAK	6x6 EXTERIOR MUNTINS	13	

EXTERIOR LIGHTING SCHEDULE

ID		MANUFACTURER	MODEL	LUMENS	LIGHT COLOR	NOTES
EL-01		BAZZ	LED 410	800	3000 K	4.5" DIMMABLE
EL-02		PROGRESS LIGHTING	P6085-31 WISH COLLECTION ONE-LIGHT MEDIUM WALL LANTERN		3000 K	DARK SKY COMPLIANT
EL-03		PROGRESS LIGHTING	P6424-3130K9 WISH COLLECTION ONE LIGHT LED POST LANTERN		3000 K	DARK SKY COMPLIANT

FINISH SCHEDULE

ID	DESCRIPTION	MANUFACTURER	MATERIAL	FINISH	COLOR	SWATCH	PANTONE EQUIVALENT
FN 01	CLABBARD SIDING		CEDAR	PAINTED	HARBOR GRAY BENJAMIN MOORE NUMBER: AC-25		427 C
FN 02	STANDING SEAM ROOF	MCELROY	STEEL		SLATE GRAY		424 C
FN 03	DECKING	TREX	FIBER CEMENT	TEXTURED	WOODLAND BROWN		4975 C
FN 04	TRIM AT WINDOWS	LOCAL SOURCE	PAINTED FIR	PAINTED	GLACIER WHITE BENJAMIN MOORE NUMBER: AC-40		663 C
FN 05	PROFILED TRIM AT TOP OF WINDOWS	LOCAL SOURCE	PAINTED FIR	PAINTED	GLACIER WHITE BENJAMIN MOORE NUMBER: AC-40		663 C
FN 06	REFINISHED AND PAINTED EXPOSED FOUNDATION FIELD STONE FOUNDATION	EXISTING REFINISHED		PAINTED	GRAYTINT BENJAMIN MOORE NUMBER: 1611		COOL GRAY 1 C
FN 07	EXISTING DECK RAILING - TOP RAIL	EXISTING REFINISHED		PAINTED	GLACIER WHITE BENJAMIN MOORE NUMBER: AC-40		663 C
FN 08	DECK RAILING - POSTS/BALUSTERS/BOTTOM RAIL	EXISTING REFINISHED		PAINTED	GLACIER WHITE BENJAMIN MOORE NUMBER: AC-40		663 C
FN 09	REFINISHED TRIM	EXISTING REFINISHED		PAINTED	GLACIER WHITE BENJAMIN MOORE NUMBER: AC-40		663 C
FN 10	NEW DECK RAILING	SITE BUILT	DOUGLOUS FIR	STAINED	DARK WALNUT BENJAMIN MOORE NIMBER: 1358		438 C
FN 11	RAILING AT CONCRETE WALKWAY	SITE BUILT	GALVANIZED STEEL	MATT PAINT	STORM SKY BENJAMIN MOORE NUMBER: 1616		COOL GRAY 10 C
FN 12	GUTTERS/DOWNSPOUTS		ALUMINUM		MANUFACTURER'S GREY CLOSEST TO NOTED PANTONE NUMBER		COOL GRAY 1 C

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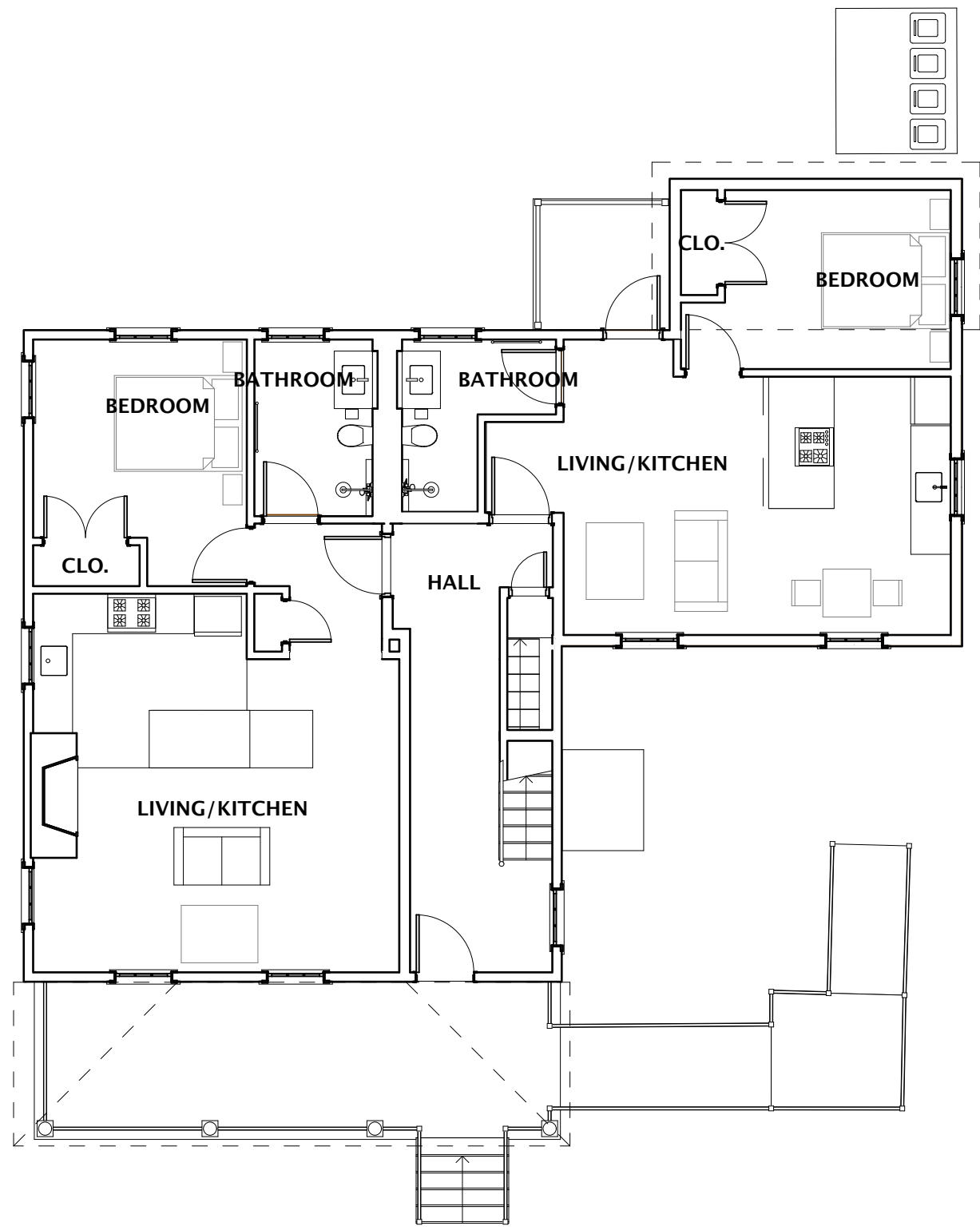
PROJECT  
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21 South Ave.  
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12508

DRAWING TITLE  
ELEVATIONS

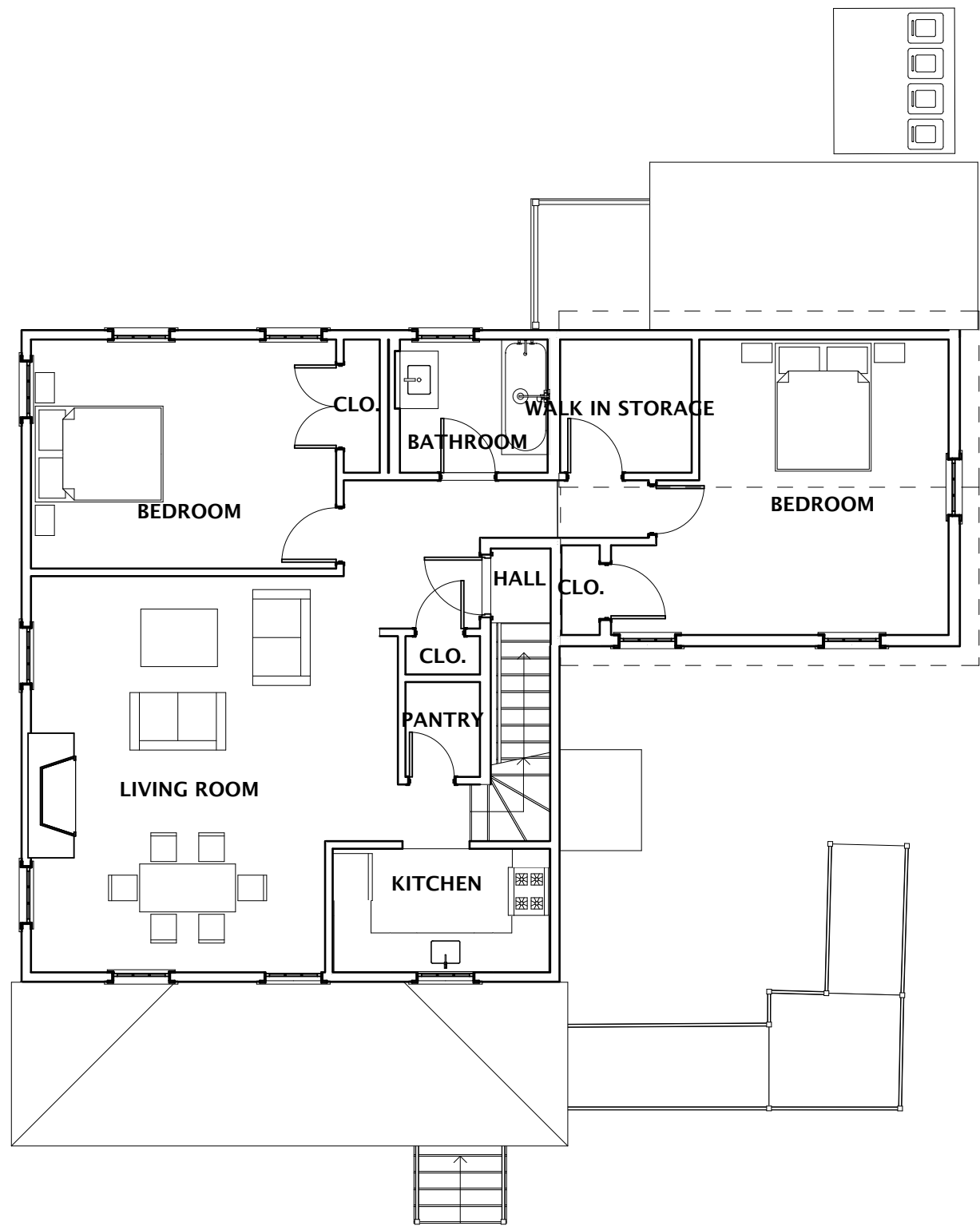
JOB NO. 8032-01-01  
DATE 3/12/19  
SCALE 1/8" = 1'-0"

DRAWING NO.

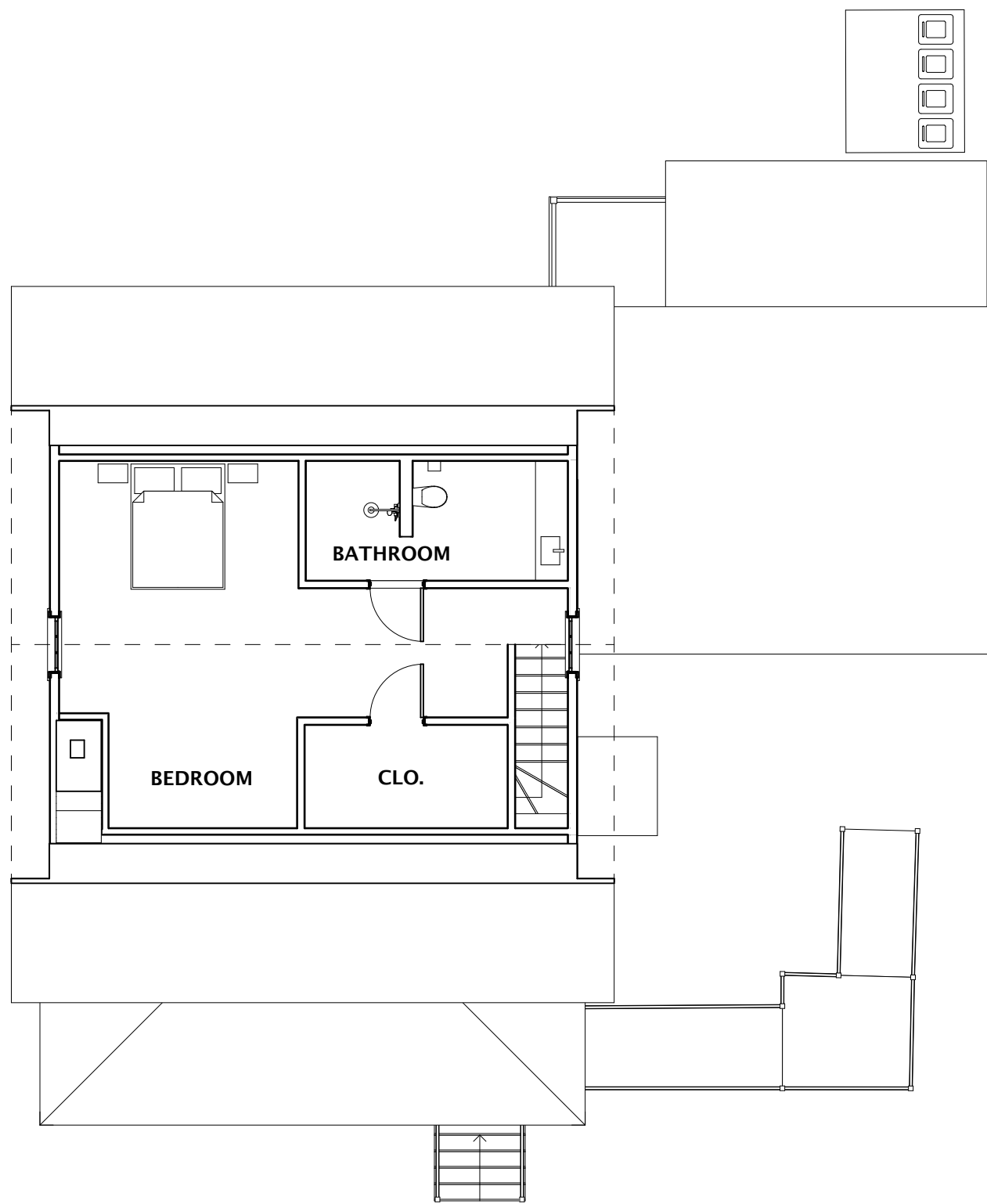
02



C1 1ST FLOOR APARTMENT 1 AND 2  
SCALE: 1/8" = 1'-0"



C3 2ND FLOOR APARTMENT 03  
SCALE: 1/8" = 1'-0"



A1 3RD FLOOR APARTMENT 03 MASTER BEDROOM  
SCALE: 1/8" = 1'-0"

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ISSUE RECORD

SEAL & SIGNATURE

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DRAWING TITLE  
SCHEMATIC PLANS

JOB NO.	DATE	SCALE
8032-01-01	3/12/19	1/8" = 1'-0"

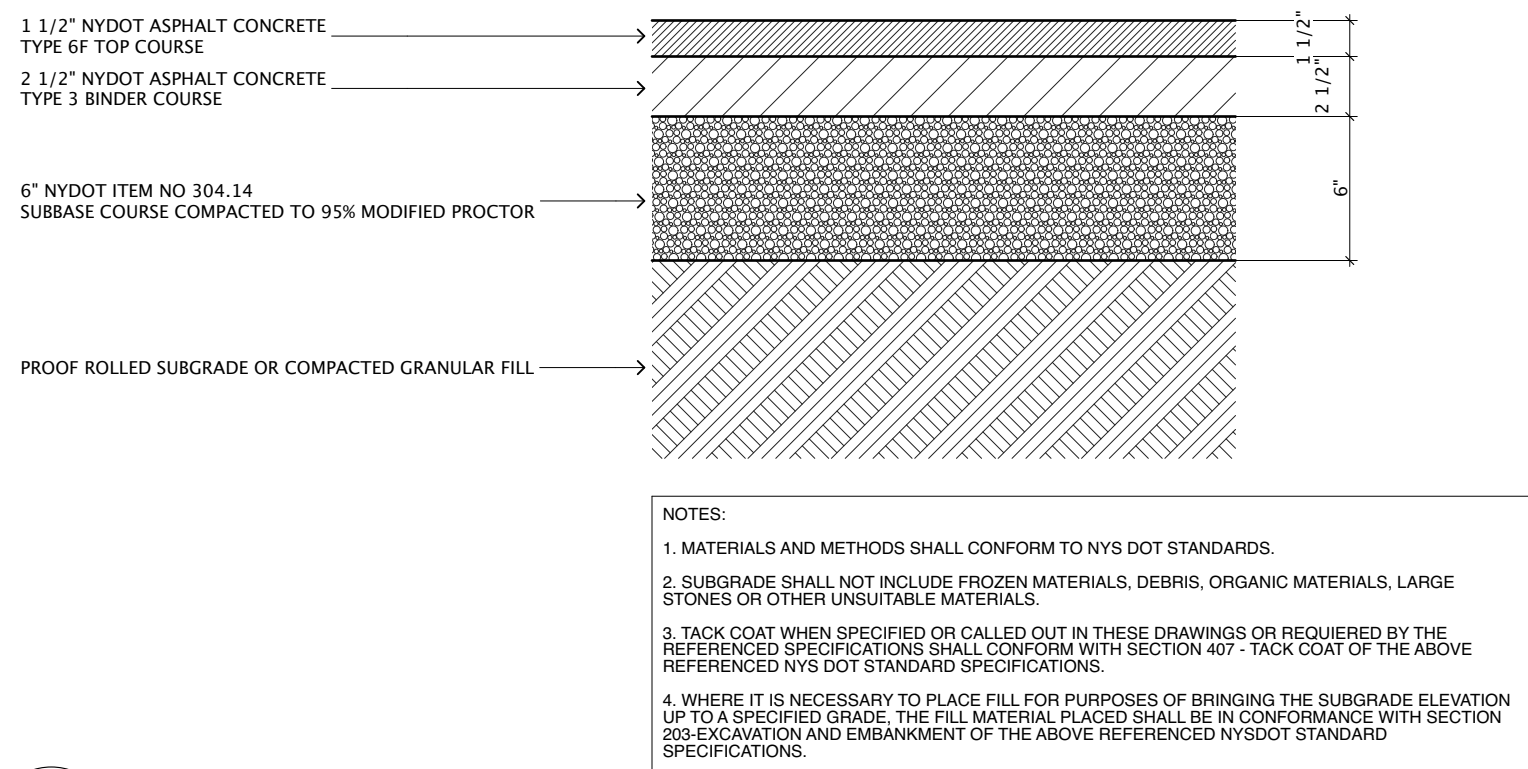
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03

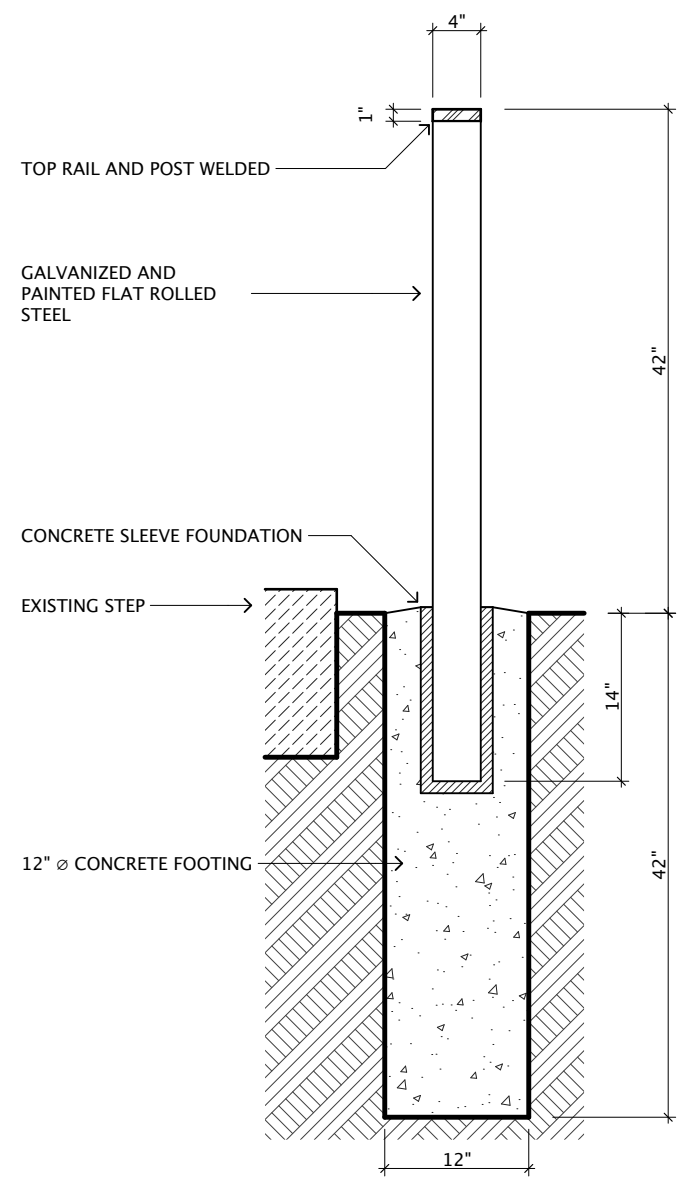




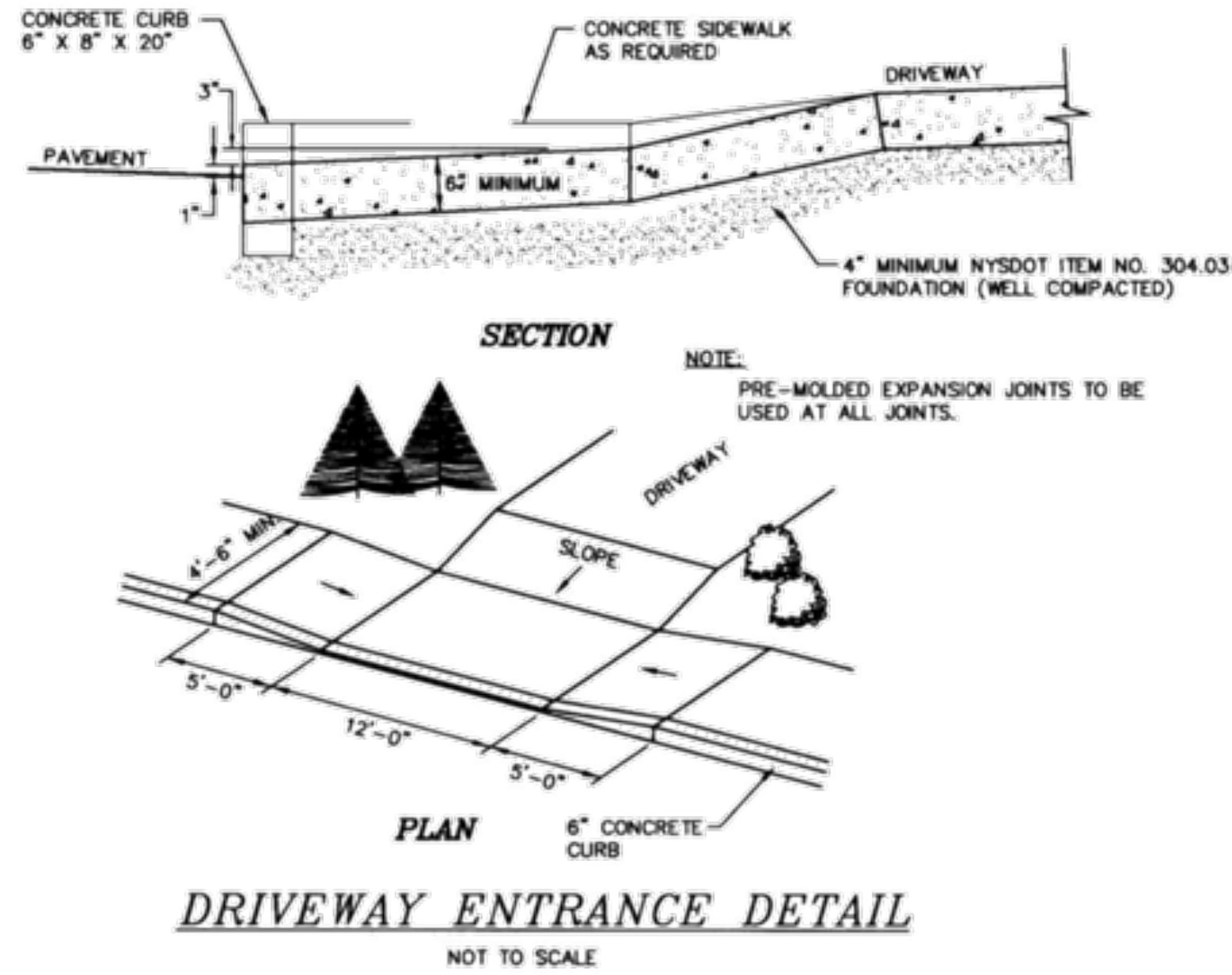
D1 SITE RAILING ELEVATION  
SCALE: 3/4" = 1'-0"



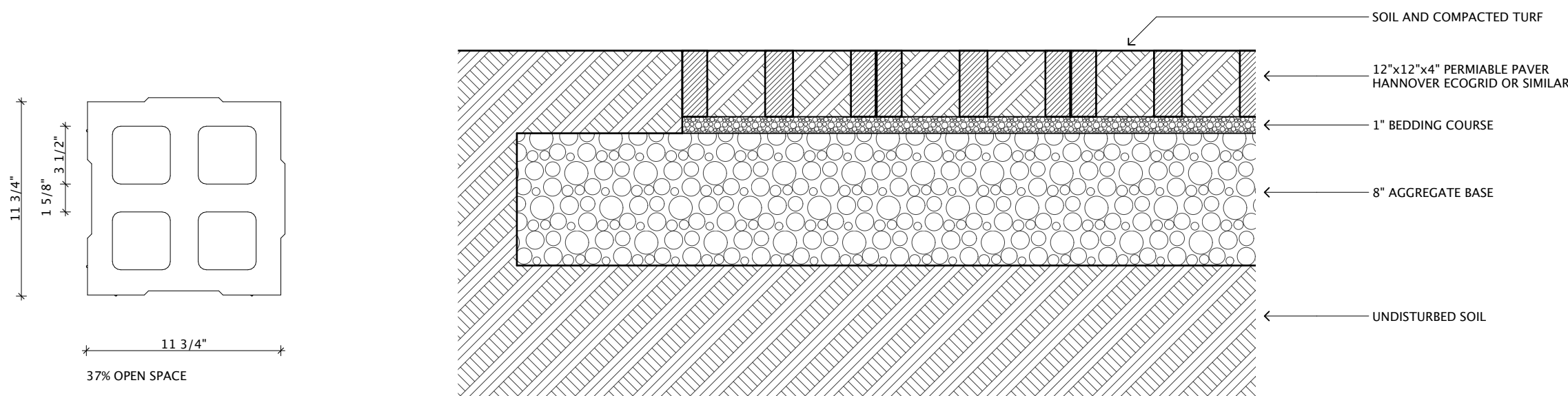
C1 NEW PAVING DETAIL  
SCALE: 1 1/2" = 1'-0"



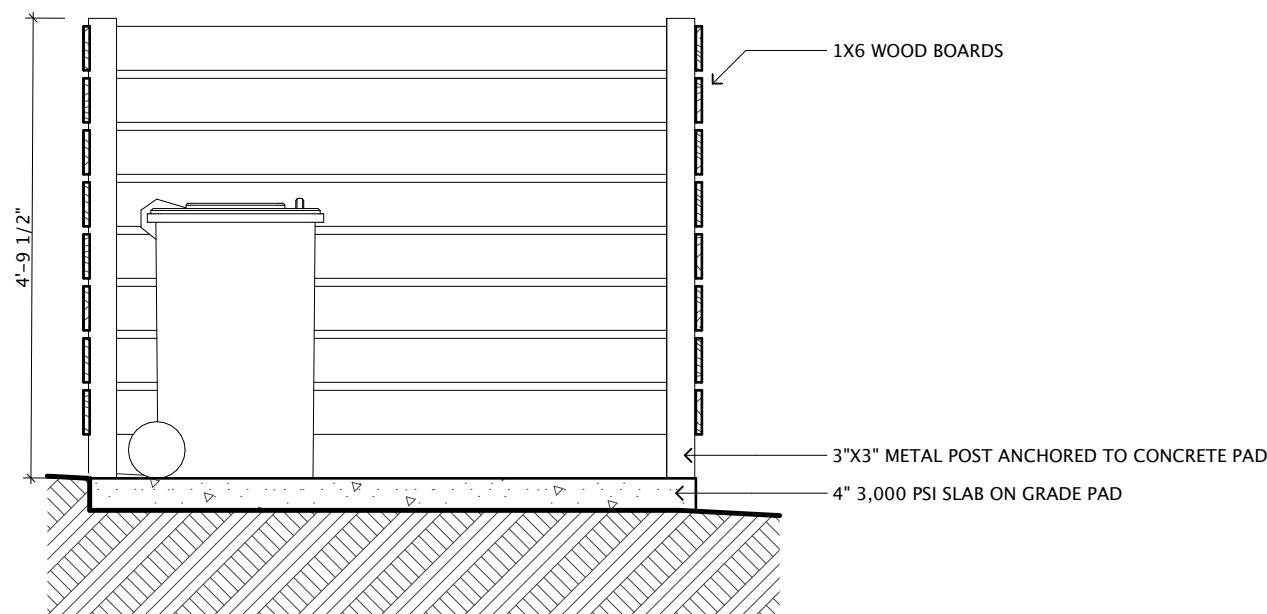
C3 SITE RAILING DETAIL  
SCALE: 3/4" = 1'-0"



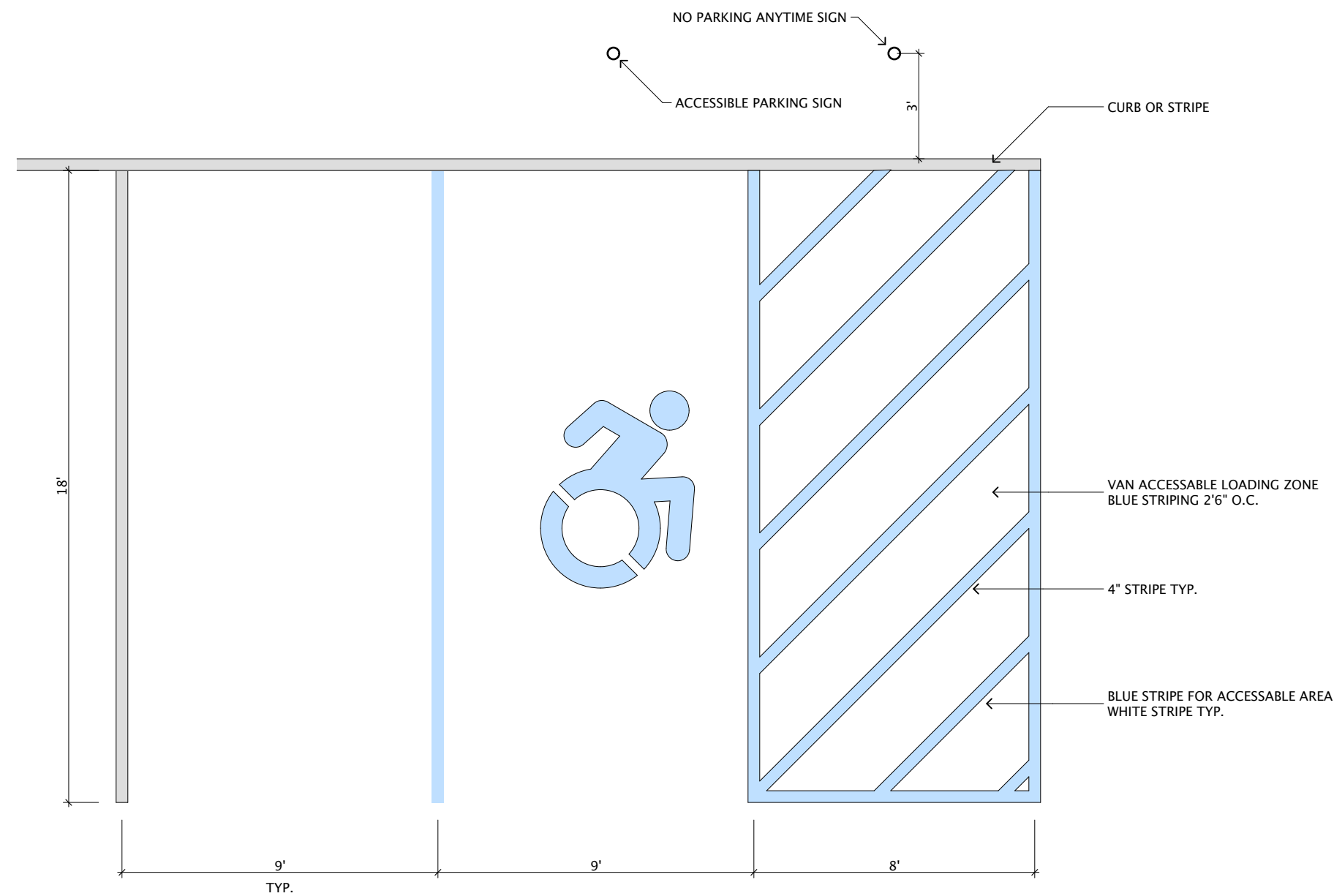
C4 DRIVEWAY ENTRANCE DETAIL  
SCALE: 1" = 10'



B1 PERMEABLE PAVER DETAIL  
SCALE: 1 1/2" = 1'-0"



A1 WOOD TRASH ENCLOSURE DETAIL  
SCALE: 1/2" = 1'-0"



A4 PARKING DETAIL  
SCALE: 1/4" = 1'-0"

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DRAWING TITLE  
DETAILS

JOB NO. 8032-01-01	DATE 3/12/19	SCALE
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DRAWING NO.

04